



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060792

PROPOSAL: Change of Use to Visitor Accommodation (Stables Building) and Additions & Alterations

LOCATION: 16 Bridge Street, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 23/06/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 23/06/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 23/06/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



City of Clarence

City of Clarence
38 Bligh St Rosny Park
PO Box 96
Rosny Park TAS, 7018

03 6217 9500
clarence@ccc.tas.gov.au
ccc.tas.gov.au

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: alterations and extensions *and change of use to visitor accommodation.*

Location: 16 Bridge Street, Richmond

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residence**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

SEARCH OF TORRENS TITLE

VOLUME 17168	FOLIO 1
EDITION 11	DATE OF ISSUE 05-Mar-2025

SEARCH DATE : 16-Aug-2025

SEARCH TIME : 04.40 PM

DESCRIPTION OF LAND

Town of RICHMOND

Lot 1 on Sealed Plan 17168

Derivation : Part of 0A-3R-32Ps. Gtd. to J. Steele.

Prior CT 3929/54

SCHEDULE 1

N240005 TRANSFER to JOHN MARTIN HUMMELSTAD and DEANNE BELINDA HUMMELSTAD Registered 05-Mar-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

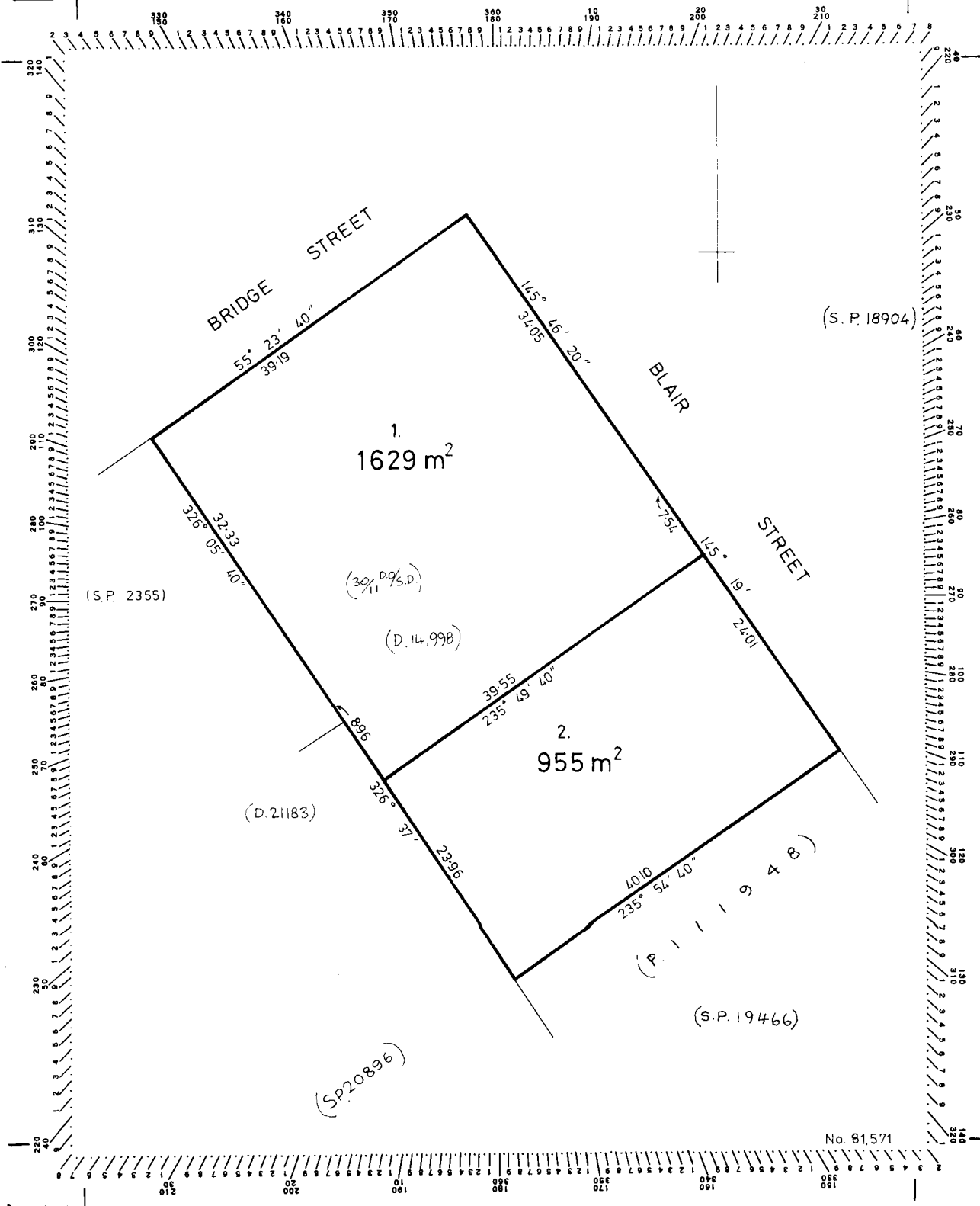
SP 17168 FENCING COVENANT in Schedule of Easements

E406353 MORTGAGE to Westpac Banking Corporation Registered 05-Mar-2025 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: A.R. PEACOCK	PLAN OF SURVEY by Surveyor J.B. MEDBURY of land situated in the	Registered Number: S.P. 17168
Title Reference: C.T. 3859/99	TOWN OF RICHMOND	Effective from: 11 DEC 1981
Grantee: Part of OA.-3R.-32P. Gtd. to Joshua Steele		SCALE 1: 400 MEASUREMENTS IN METRES ACTING DEPUTY Recorder of titles





SCHEDULE OF EASEMENTS

Plan No. S.P 17168

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

COVENANT The Owners of Lots 1 & 2 on the Plan hereby covenant with Arthur Richard Peacock(hereinafter called "the Vendor") that the Vendor shall not be required to fence.

No easements, no other covenants and no profits a'prendre are created to benefit or burden the Lots shown on the plan.

SIGNED by ARTHUR RICHARD PEACOCK)
the Registered Proprietor of the)
lands comprised in Certificate)
of Title Volume 3859 Folio 99)
in the presence of:-)

Handwritten signature of Arthur Richard Peacock

Handwritten signatures of witnesses: Alan Clark and Robert

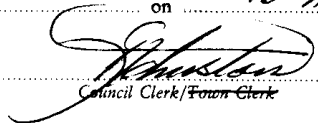
17168

This is the schedule of easements attached to the plan of Lots 1 & 2
(Insert Subdivider's Full Name)

F. R. PEACOCK affecting land in

Certificate of Title Volume 3859 Folio 99
(Insert Title Reference)

Sealed by RICHMOND COUNCIL on 10-11-1981


Council Clerk/Town Clerk

35068

scope of works:

- | | |
|--------------------------------------|--------------------------------------|
| 1 demolish modern kitchen joinery | 10 new woodheater |
| 2 " " east timber wall | 11 new matching gate in modern fence |
| 3 form opening in sandstone wall | |
| 4 construct new east wall and canopy | |
| 5 construct conservatory | |
| 6 construct new kitchen joinery | |
| 7 new stud walls | |
| 8 new bathroom and w.c. | |
| 9 new staircase | |

new 1500 paling fence

4300

4800

5 conservatory

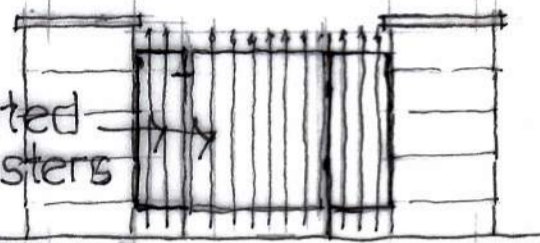
new sandstone wall

existing fence

90° pvc vents, one high, one low

Thunderstone pavers

black painted steel balusters



stone stacked besser blocks broken to correct

proposed gate 11

new air drain vented both ends

B →

C ↓

existing feed bin framing

3

1600

3700

750

2500

10

4

2

6

mezzanine

9

7

8

8

retain glass floor panels

750 750 750

7

1100

800

B →

existing laundry

new c.g.i.

stained vertical boards

1200 wide canopy

painted timber windows digitized

2
4

timber painted doors

east elevation 1:50

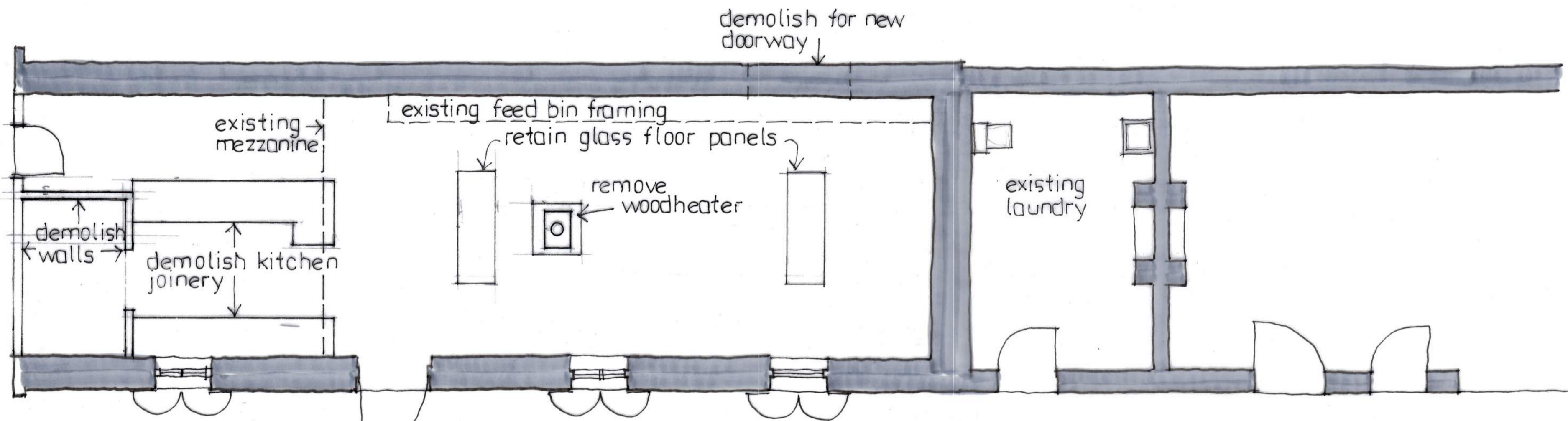
Architect: Graeme Corney April 2026
Client: John and Dee Hummelstad

proposed alterations to 16 Bridge Street, Richmond drg. 2

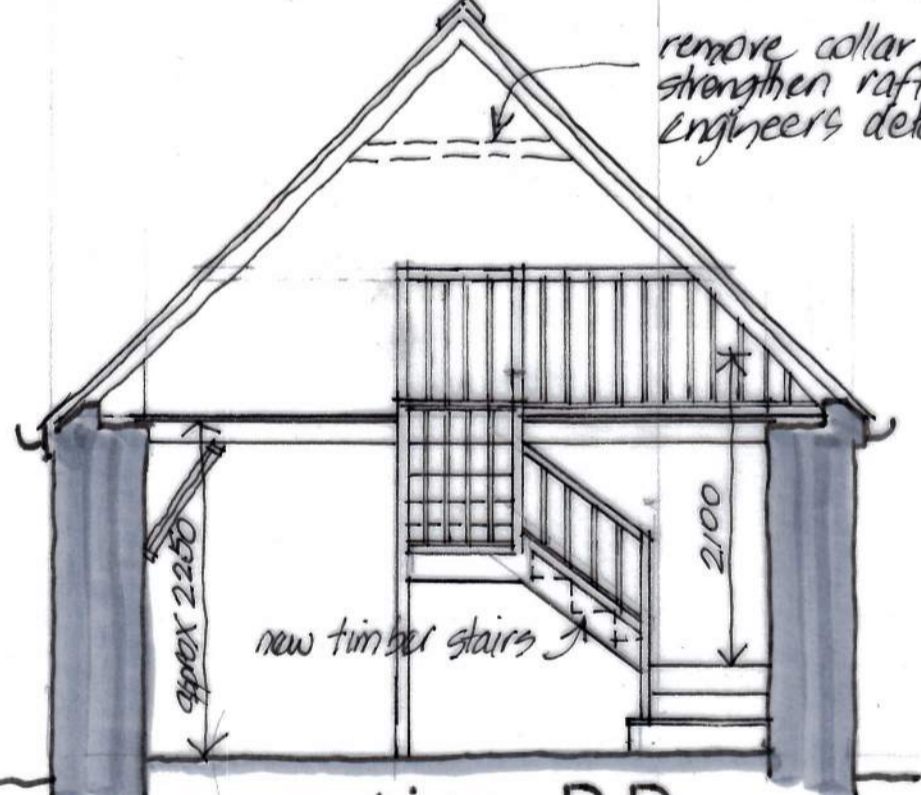


11

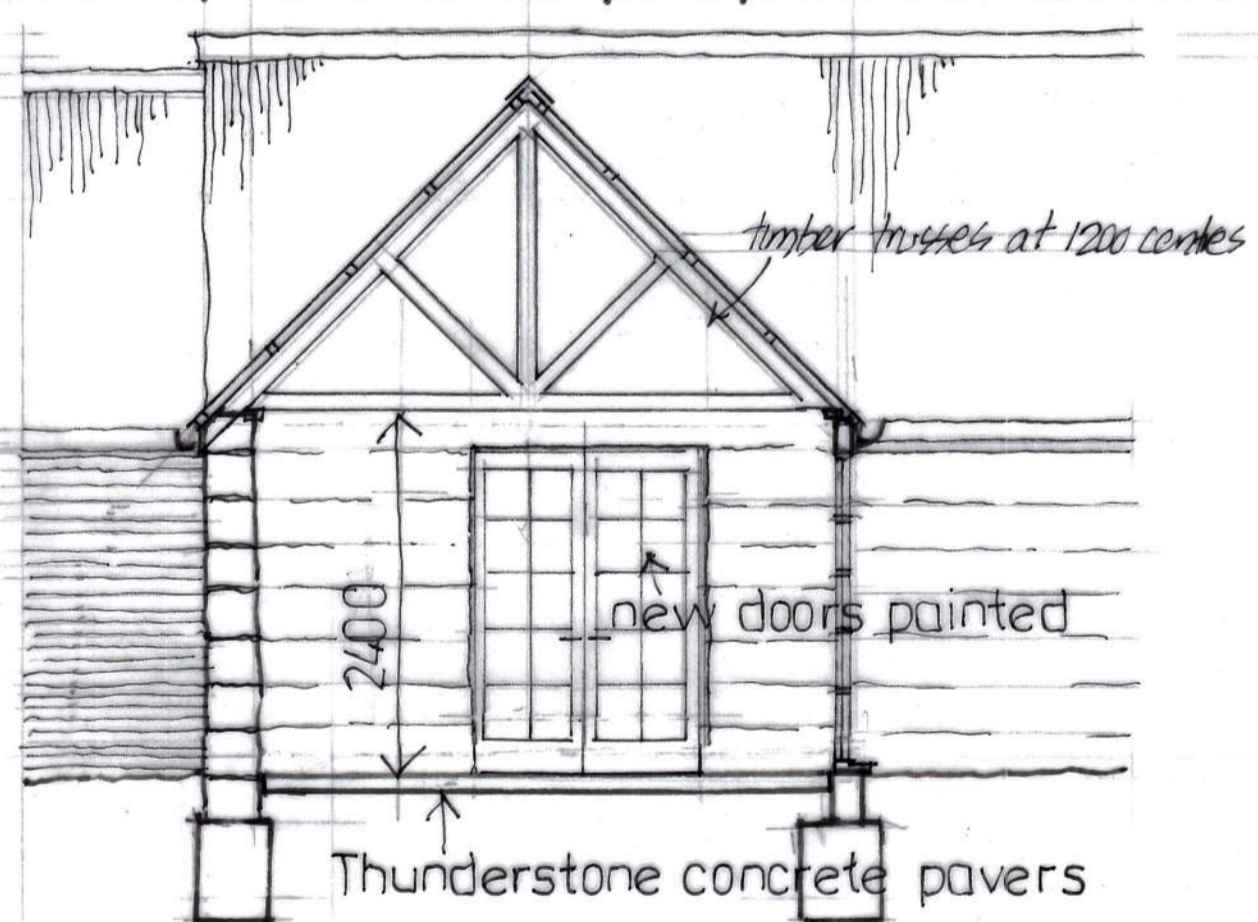
11



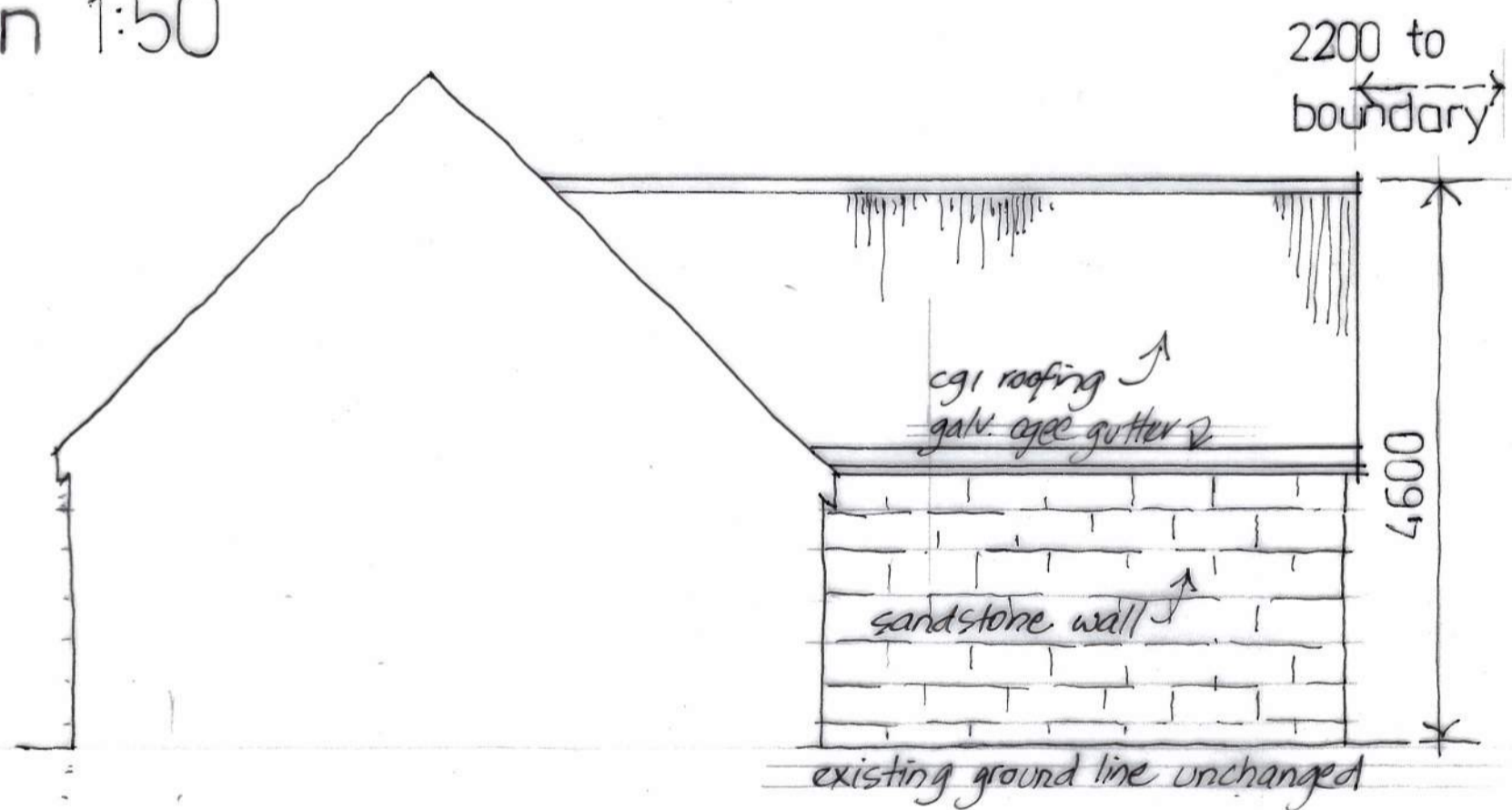
stables existing floor plan and proposed demolition 1:50



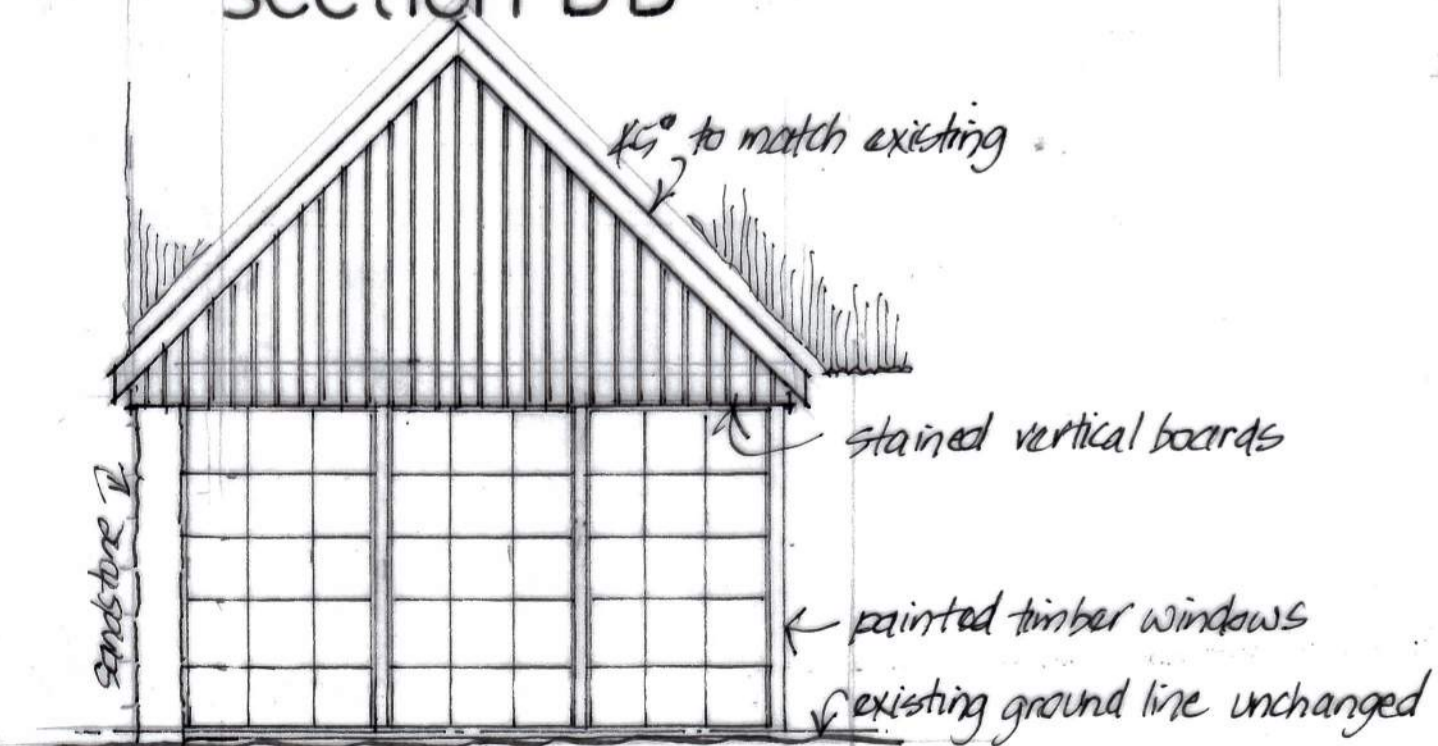
section BB



section CC



west elevation of conservatory



south elevation of conservatory

Client: John and Dee Hummelstad Architect: Graeme Corney April 2026
 proposed alterations to 16 Bridge Street, Richmond

HERITAGE IMPACT ASSESSMENT

Proposed alterations to *BELLEVUE*, 16 Bridge Street, Richmond

Prepared by **graeme corney** architect & heritage consultant
3/78a Esplanade, Rose Bay 7015 tel (03) 6243 1994 or 0448 014 005

draft 10 April 2026



Bellevue 16 Bridge Street, Richmond

1 INTRODUCTION

Bellevue, 16 Bridge Street, Richmond is listed as within Richmond Township Heritage Precinct in the Clarence Local Provision Schedule of the State Planning Scheme and also as a place in the Tasmanian Heritage Register.

This proposal is to convert an historic outbuilding, formerly a stables, to visitor accommodation and to construct an additional bathroom to the first floor of the house..

The Planning Scheme requires an assessment of that conversion against the State Planning Scheme to ensure heritage values of the place are not affected by the proposal.

I have been commissioned to assess the impact of the proposed conversion on the heritage values of the place.

No archival research has been carried out for this report.

1.01 Author identification

This assessment was prepared by Graeme Corney, architect & heritage consultant. I am accepted as an expert in heritage matters by the Resource Management & Planning Appeal Tribunal.



Blair Street showing former stables

2 HERITAGE VALUES OF THE PLACE

“CLA-Table C6.2 Local Heritage Precincts” of the planning scheme is referred to.

The Local provisions Schedule describes this Richmond Township **Precinct** as follows:

The Richmond Township Precinct is of historic cultural heritage significance because:

- (a) it is one of the best surviving examples of an Australian colonial township from the early period of colonisation;
- (b) it demonstrates the theme of the penal system, through the use of sandstone and the various buildings associated with convicts;
- (c) it comprises of a concentration of highly intact historic buildings of Colonial Georgian style.

Design Criteria/Conservation Policy:

- (a) to enhance the historic integrity of groups of buildings and the streetscapes;
- (b) to retain the distinctive character of Richmond which is derived from its buildings, open spaces, undulating topography, market garden and historic gardens and orchards, and in particular the scale of buildings, low solid fences, walls, style of building, building lines and building materials;
- (c) to retain important views to town landmarks and the surrounding rural countryside

Bellevue, 16 Bridge Street, Richmond is listed as place R599 in the Tasmanian Heritage Register.

The following statements of historic heritage significance describe 16 Bridge Street in the Tasmanian heritage Register:

- a) Historical
no statement under this criterion
- (b) Rarity
no statement under this criterion
- (d) Representativeness

Bellevue house and outbuildings are of historic heritage significance because of its ability to demonstrate the principal characteristics of an Old Colonial Georgian substantial house, its construction method, design, fabrication and function. and associated hall.

(f) Community

Bellevue House is of historic heritage significance because its townscape associations are regarded as important to the community’s sense of place.

- (g) Association
no statement under this criterion
- (h) Aesthetic
no statement under this criterion

Note that *Bellevue House* demonstrates the characteristics of a Victorian Georgian house and outbuildings rather than Old Colonial Georgian.

3 Proposed Works

The proposed works to *Bellevue* generally are to introduce a new first floor bathroom into an existing small storeroom in the main house; to alter the existing former stables to accommodate visitors; and to make two new pedestrian gates in the existing modern steel fence to the rear. In detail works include the following:

STABLES:

1. Demolish the modern kitchen
2. Demolish the modern eastern timber wall
3. Form a new doorway in the rear sandstone wall
4. Construct a new east wall and canopy
5. Construct a conservatory extension
6. Construct new kitchen joinery
7. Build new stud walls for bathroom and w.c.
8. Build new bathroom and w.c.
9. Build new timber staircase to mezzanine
10. Install new wood heater
11. Build two matching pedestrian gates

FIRST FLOOR BATHROOM:

12. Remove modern cupboards in storeroom
13. Build new stud walls with plasterboard linings
14. Relocate hydraulics control and build new cupboard
15. Install new w.c.
16. Install new handbasin
17. Alter modern fixed window to an openable sash of same size
18. Install shower
19. Install (missing) door handles and door architraves
20. Install tiles to floor of bathroom and shower
21. Build bulkhead to conceal modern services
22. Install new towel rail
23. Install soundproofing
24. Install Grohe controls to new shower.

Currently the former stables have modern benches and modern stud walls inside. It also still contains original loft floor joists and floorboards and original feed battens. All original fabric will be retained. The existing modern timber floor also has two glass interpretation panels displaying the original cobble floor beneath. Previous conservation works have been carried out to an exceptional standard.

4 ASSESSMENT AGAINST STATE PLANNING SCHEME AND THE HERITAGE ACT

Bellevue is within General Residential area 8 of the State Planning Scheme. Accordingly, the following clauses of the Tasmanian Planning Scheme apply:

8.2 Use table

Residential use including 'multiple dwellings' 'shared accommodation' are permitted.

8.3.2 Visitor Accommodation

Objective:	That Visitor Accommodation: (a) Is compatible with the character and use of the area; (b) Does not cause an unreasonable loss of amenity; and (c) Does not impact the local efficiency of roads or rights of ways.	My response: (a) The stables conversion will retain its original form and fabric and will be compatible with the domestic character of the area. (b) There will be no loss of or alteration to the amenity of either the house or the neighborhood. (c) No additional carparking or roadworks are required.
Acceptable Solutions	Performance Criteria	My response:
A1 Visitor Accommodation must... (a) Accommodate guests in existing habitable buildings; and (b) Have a gross floor area of not more than 200sqm per lot.	P1 Visitor Accommodation must be compatible with the character and use of the area and not cause an unreasonable loss of residential amenity, having regard to: (a) The privacy of adjoining properties; (b) Any likely increase in noise to adjoining properties; (c) The scale of the use and its compatibility with the surrounding character and uses in the area; (d) Retaining the primary residential function in the area; (e) The impact on the safety and efficiency of the local road network; and (f) Any impact on the owners and users rights of way.	(a) The proposal does not affect the privacy of adjoining properties as it is discrete and cannot be easily seen. (b) Noise levels will be low normal domestic levels and will be well away from adjoining buildings. (c) The scale of the proposal is very small in that it is for single bedroom accommodation. (d) The proposal retains residential function of the area. (e) No additional carparking or roadways are required. (f) Not applicable
A2 Visitor Accommodation is not for a strata lot (...)	P2 Not applicable	

8.4.2 Setbacks and Building Envelopes for All Buildings

Objective:	The Siting and Scale of Dwellings: (a) Provides reasonable consistency between dwellings and their frontage within a street; (b) Provides consistency in the apparent scale, bulk, massing, and proportion of dwellings; (c) Provides separation between dwellings on adjoining properties to allow for reasonable opportunities for daylight. And sunlight to enter habitable rooms and private open space; and (d) Provides reasonable access to sunlight for existing solar energy installations.	My response: (a) There is no change to the frontage setback. (b) The scale, bulk, massing and proportions remain unchanged. (c) There will remain reasonable separation to adjoining buildings, sunlight and privacy will be unaffected. (d) There will be no change to access for sunlight other than some additional sun can enter the existing former stables.
Acceptable Solutions	Performance Criteria	My response:
A1 Visitor Accommodation must... (a) Accommodate guests in existing	P1 Visitor Accommodation must be compatible with the character and use of the area and not cause an unreasonable loss of residential amenity, having regard	(a) The stables conversion will retain the residential character of the area and will have no impact on privacy of adjoining properties.

<p>habitable buildings; and (b) Have a gross floor area of not more than 200sqm per lot.</p>	<p>to:</p> <ul style="list-style-type: none"> (a) The privacy of adjoining properties; (b) Any likely increase in noise to adjoining properties; (c) The scale of the use and its compatibility with the surrounding character and uses in the area; (d) Retaining the primary residential function in the area; (e) The impact on the safety and efficiency of the local road network; and (f) Any impact on the owners and users rights of way. 	<ul style="list-style-type: none"> (b) There will be minimal increase in noise which is unlikely to be noticeable. That increase will be normal residential noise. (c) The scale of use will be for a one bedroom accommodation which will be small and within the normal confines of the local residential amenity.
<p>A2 Visitor Accommodation is not for a strata lot (...)</p>	<p>P2 Not applicable</p>	
<p>A3 A dwelling (must be contained within the building envelope)</p>	<p>P3 The siting and scale of the dwelling must (not cause an unreasonable loss of amenity to adjoining properties)</p>	<p>The proposed canopy addition is within the building envelope. The canopy is set approximately 10m away from the neighbouring house and so will not impact on sunlight or shade, separation between adjoining dwellings, and cannot be seen from the neighbouring property.</p>



First floor store

As 16 Bridge Street, Richmond is on the Tasmanian Heritage Register it is subject to the *Historic Cultural Heritage Act 1995*. As such the following clause of the Act apply:

35 (1) A person must not carry out any heritage works unless those heritage works have heritage approval.

39 (2) The Heritage Council is to consider the discretionary permit application and in so doing –

- (a) Is to have regard to the likely impact of the relevant heritage works on the historic cultural heritage significance of the relevant registered place or heritage area and any registered place that adjoins the relevant registered place or heritage area; (...)

- (6) At least 7 days before the assessment period for the discretionary permit application expires, the Heritage Council is to notify the relevant planning authority that –
 - (a) the Heritage Council consents to the discretionary permit being granted; or
 - (b) the Heritage Council consents to the discretionary permit being granted subject to conditions specified in the notification; or
 - (c) the discretionary permit shall be refused.
- (7) (...) the Heritage Council may, without limiting its discretion, specify conditions that –
 - (a) set standards by which the heritage works are to be carried out or are to be rectified; and
 - (b) require that suitably qualified persons be engaged to supervise, manage or do the heritage works or any part or stage of the heritage works; and
 - (b) require that arrangements be made for the curation and storage of items removed from the registered place or heritage area; and
 - (c) require that a photographic or other record be made of the heritage works or any part or stage of the heritage works.

The heritage values of *Bellevue* and outbuildings are generally associated with its style and construction as a Victorian Georgian house and to its contribution to the historic streetscape and wider townscape.

The proposed changes to the first floor bathroom will merely alter an existing storeroom into a small bathroom. There will be no changes to or loss of heritage fabric. There will be no adverse heritage impact on heritage values or on heritage fabric.

The proposed changes to the former stables will not require a very minor loss of heritage fabric where a new doorway is created through a sandstone rear wall. It is considered that there will be no significant diminution of heritage values. All other changes will be to modern fabric and all proposed works will be sympathetic to the heritage fabric and to heritage values of the place.

The proposed changes to the fence to create two modern pedestrian gates will merely move an existing modern gate to the external boundary and construct a matching new gate.

The author considers that there will be no adverse impact on the heritage significance of the place brought about from any of the proposed works. It is believed that all works will be sympathetic with existing heritage values.

5 DISCUSSION AND CONCLUSION.

All former work carried out over the last decade have been carried out to an exceptional heritage standard. These current proposals are likewise of sound heritage quality and are considered to have no adverse impact on the heritage values of the place.

In my opinion the proposals can be approved.

.....

Graeme Corney
Architect and Heritage Consultant 10 April 2026