



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060794

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 26 Roaring Beach Road, South Arm

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 23/06/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 23/06/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 23/06/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Proposed Additions and Alterations

Location: 26 Roaring Beach Road, South Arm

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential - Single Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 24740	FOLIO 1
EDITION 5	DATE OF ISSUE 23-Feb-2026

SEARCH DATE : 16-Mar-2026

SEARCH TIME : 08.54 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 1 on Diagram 24740

Being the land described in Conveyance No. 60/2309

Derivation : Part of 3900 Acres Gtd to G H B Gellibrand

Prior CT 4137/3

SCHEDULE 1

D127464 TRANSFER to ELIZABETH ANNE GRAHAM and COLIN PETER FRY
Registered 02-June-2014 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

D127465 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 02-June-2014 at 12.01 pm

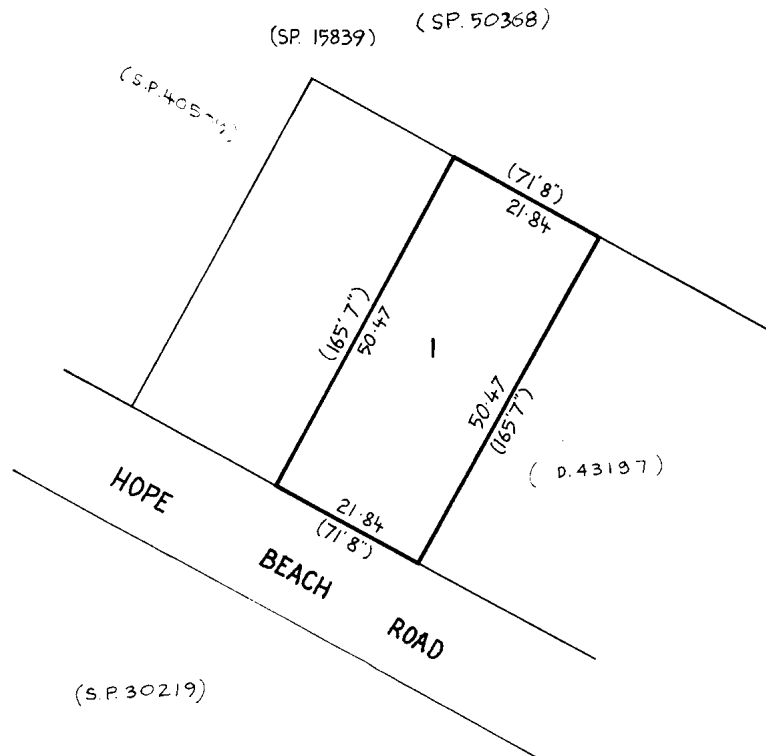
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

APPROVED FROM - 5 DEC 1984 <i>E. R. Thang</i> RECORDER OF TITLES	CONVERSION PLAN (60/2309)	REGISTERED NUMBER D.24740
FILE NUMBER A6904	GRANTEE PART OF 3900-0-0 GEORGE HENRY BLAKE GELLIBRAND	DRAWN PBP 3-12-84

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF
LAND DISTRICT OF MONMOUTH
PARISH OF RALPHS BAY
LENGTHS ARE IN METRES NOT TO SCALE
LENGTHS IN BRACKETS IN LINKS/FEET & INCHES



THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION

PROPOSED ADDITIONS & ALTERATIONS

26 ROARING BEACH ROAD,
SOUTH ARM TAS 7022

DWG. No.	DRAWING TITLE	CURRENT REVISION	ISSUE DATE
B000	DRAWING INDEX & COVER SHEET	C	24/05/26
B001	PROPOSED SITE PLAN	C	24/05/26
B101	DEMOLITION PLAN	C	24/05/26
B102	PROPOSED FLOOR PLAN	C	24/05/26
B201	EXISTING ELEVATIONS 01	C	24/05/26
B202	EXISTING ELEVATIONS 02	C	24/05/26
B203	PROPOSED ELEVATIONS 01	C	24/05/26
B204	PROPOSED ELEVATIONS 02	C	24/05/26

GENERAL INFORMATION

LAND CERTIFICATE OF TITLE REFERENCE No. - VOL. 24740 / FOL. 1

CLIMATE ZONE FOR THERMAL DESIGN (building code of australia) - ZONE 7

MUNICIPALITY - CLARENCE

ZONING - RURAL

PLANNING SCHEME OVERLAYS - BUSHFIRE-PRONE AREA

BUSHFIRE-PRONE AREA BAL RATING (bushfire attack level) - TO BE DETERMINED

SUB-ALPINE / ALPINE AREA (fire safety) - N/A (<300m ABOVE AHD).

CORROSION ENVIRONMENT - MEDIUM (i.e. more than 1km from breaking surf or more than 100m from salt water not subject to breaking surf or non-heavy industrial areas).

SITE HAZARDS - UNKNOWN, BUILDER TO INSPECT SITE TO IDENTIFY & DOCUMENT SITE HAZARDS PRIOR TO COMMENCING WORKS.

EXTERNAL BUILDING AREAS

SITE AREA - 1,118m²

EXISTING DWELLING - 64.54m²
PROPOSED ADDITION - 31.02m²
PROPOSED DECK - 35.47m²

TOTAL PROPOSED BUILDING AREA - 131.03m²

PROPOSED SITE COVERAGE - 11.72%

IMPORTANT

- USE WRITTEN DIMENSIONS ONLY.
- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK.
- ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
- THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL, AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS
- MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
- ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE BUILDING DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.

ACCRED. No. 380567297

DRAWING TITLE DRAWING INDEX & COVER SHEET

Robert Beadle
building design & drafting

12 WILLOW AVENUE, KINGSTON T
TASMANIA 7050 E

0408 171 304
beadledrafting@gmail.com

DRAWN R.BEADLE
SCALE 1 : 1@ A3

DRAWING B000

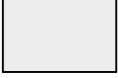

PROJECT No. 2603

REVISION C

PROPOSED ADDITIONS & ALTERATIONS
26 ROARING BEACH ROAD,
SOUTH ARM TAS 7022




REV	DESCRIPTION	BY	DATE
C	FOR PLANNING APPROVAL	RB	24/05/26
B	FOR CLIENT REVIEW	RB	11/04/26
A	FOR CLIENT REVIEW	RB	22/03/26

KEY

-  EXISTING ASPHALT PUBLIC ROADWAY
-  BOUNDARY SETBACK AS PER TASMANIAN PLANNING SCHEME - CLARENCE

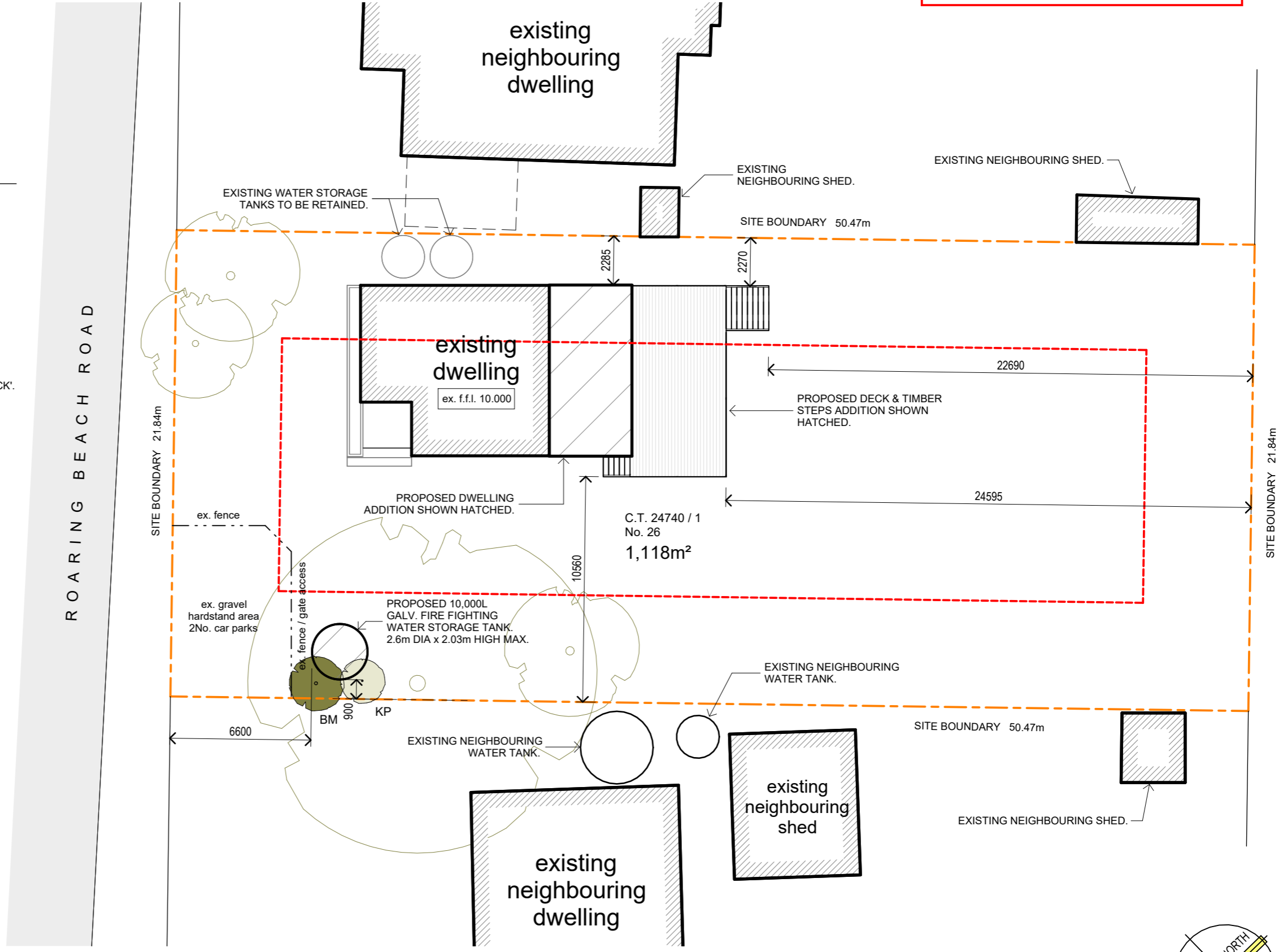
NOTE: ENTIRE SITE COVERED BY THE FOLLOWING TASMANIAN PLANNING SCHEME OVERLAYS:
 • BUSHFIRE PRONE AREAS

LANDSCAPING KEY

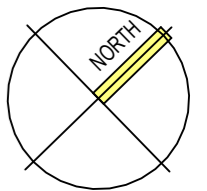
- EX  EXISTING TREES AND SHRUBS - EUCALYPTS & NATIVES
- BM  BANKSIA MARGINATA - SILVER BANKSIA
- KP  CALLISTEMON - BOTTLEBRUSH KINGS PARK SPECIAL

NOTE: ALL PROPOSED PLANTS TO BE SUPPLIED AND PLANTED AS 'TUBE STOCK'.

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION



SITE PLAN
1 : 200



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12 WILLOW AVENUE, KINGSTON TASMANIA 7050
 T 0408 171 304
 E beadedrafting@gmail.com

ACCRED. No. **380567297** DRAWING TITLE **PROPOSED SITE PLAN**
 DRAWN **RB**
 SCALE **As indicated@ A3** DRAWING **B001**
 PROJECT No. **2603** REVISION **C**

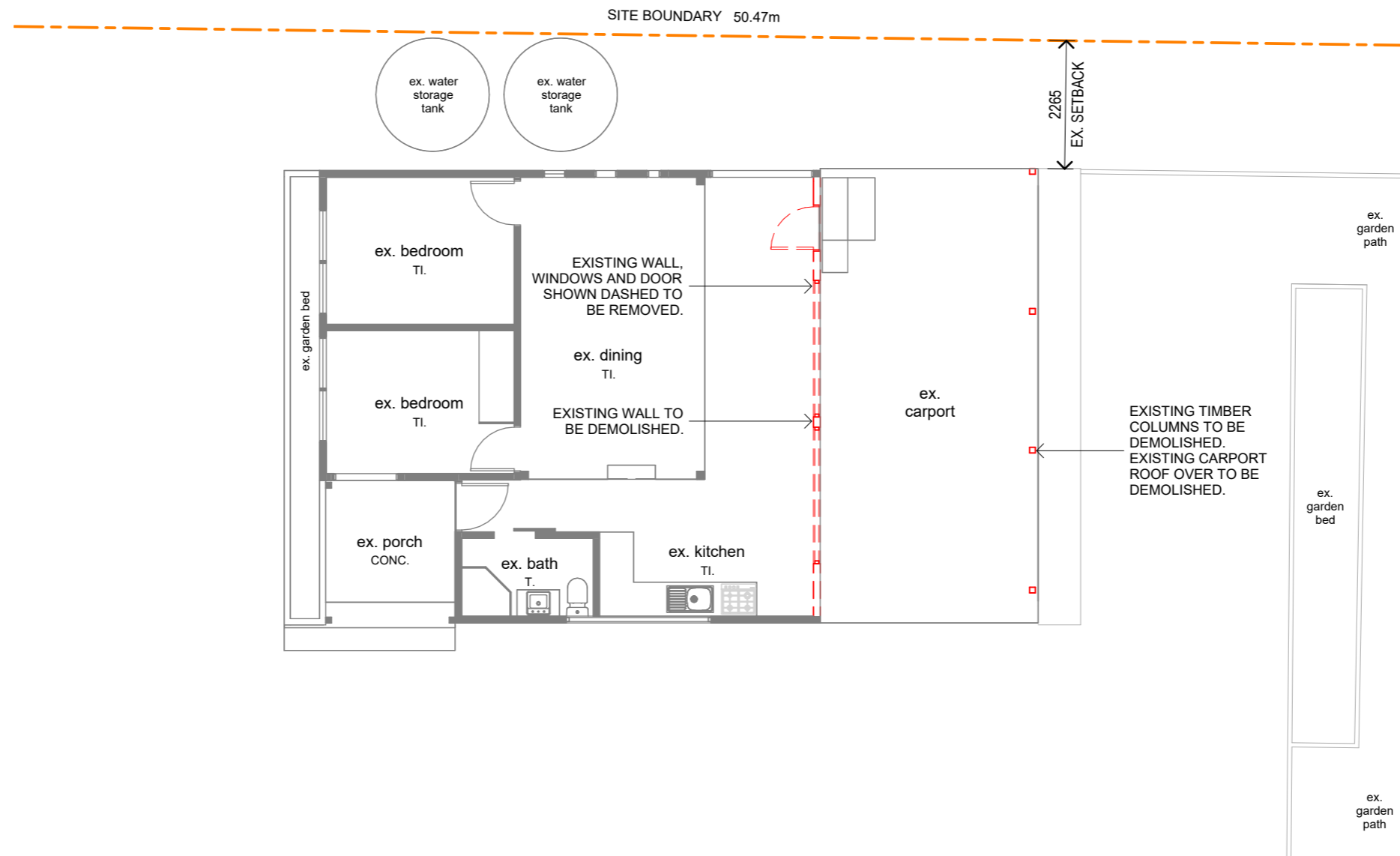
PROPOSED ADDITIONS & ALTERATIONS
26 ROARING BEACH ROAD,
SOUTH ARM TAS 7022

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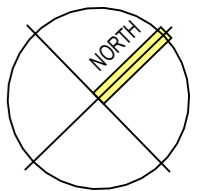
WALL LEGEND

-  EXISTING WALL
-  DEMOLITION

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DEMOLITION PLAN
1 : 100



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ACCRED. No. **380567297** DRAWING TITLE **DEMOLITION PLAN**
DRAWN **RB**
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PROJECT No. **2603** REVISION **C**

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WALL LEGEND

- EXISTING WALL
- 90mm STUD WALL, EXTERNAL CLADDING

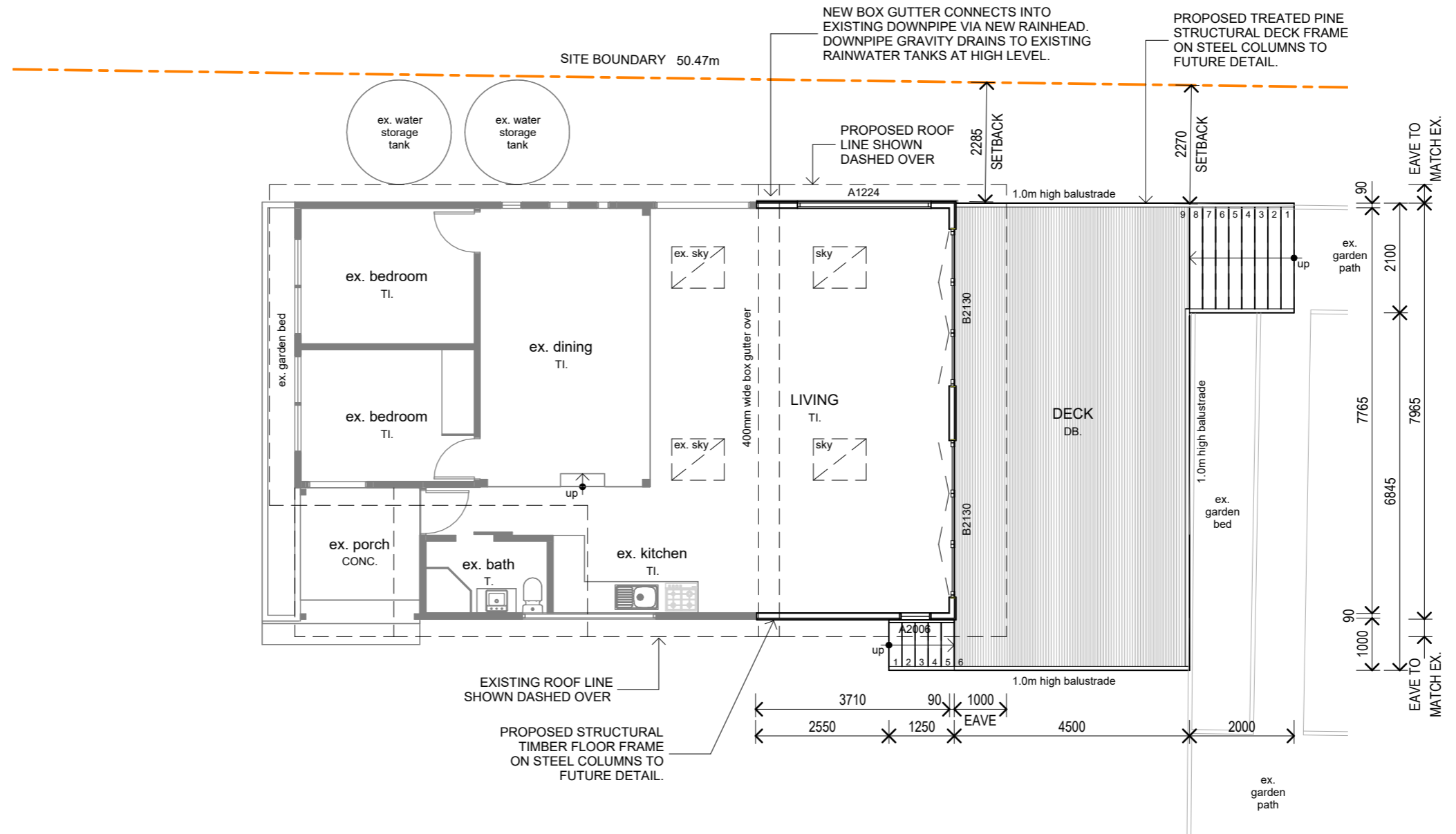
NOTE:
PLAN DIMENSIONS ARE TAKEN FROM FRAMING AND DO NOT ACCOUNT FOR INTERNAL OR EXTERNAL FINISHES.

NO WORKS PROPOSED TO THE EXISTING ONSITE WASTE WATER TREATMENT SYSTEM AND EXISTING PLUMBING FIXTURES. NEW ROOF AREA CONNECTED TO EXISTING STORMWATER LINES VIA EXISTING DOWNPIPE.

FLOOR FINISHES

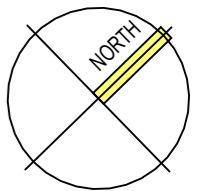
- CONC. TROWEL FINISHED CONCRETE
- TL. TIMBER FLOOR BOARDS (MATCH EXISTING)
- DB. DECKING BOARDS (BAL RATED)
- T. FLOOR TILES

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION



PROPOSED FLOOR PLAN

1 : 100



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ACCRED. No. 380567297
DRAWING TITLE PROPOSED FLOOR PLAN
DRAWN RB
SCALE 1 : 100@ A3
PROJECT No. 2603
REVISION C

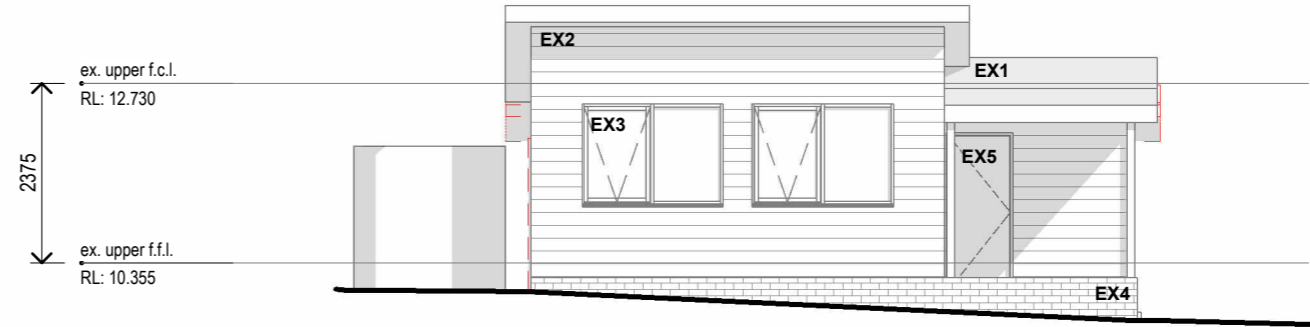
PROPOSED ADDITIONS & ALTERATIONS
26 ROARING BEACH ROAD,
SOUTH ARM TAS 7022

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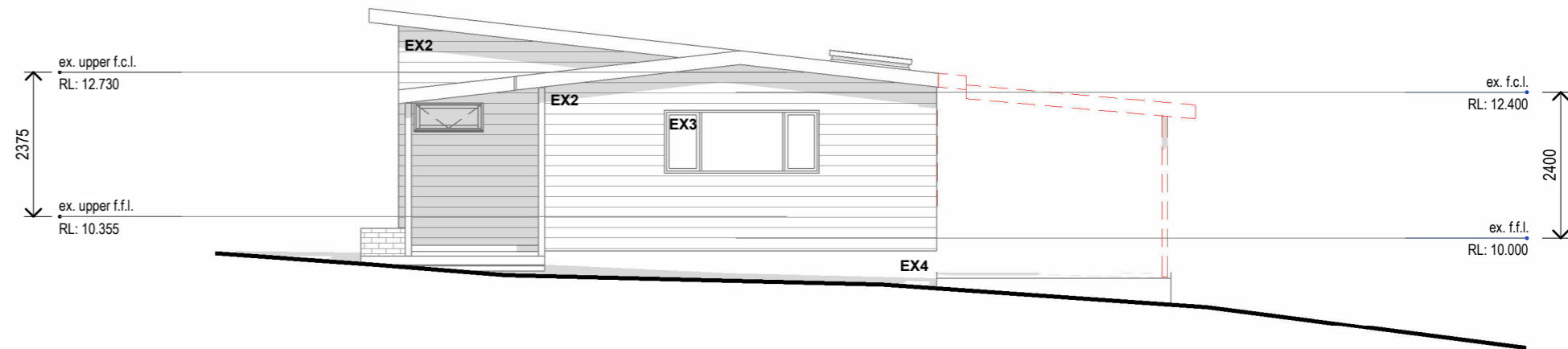
EXTERNAL FINISHES

- EX1** EXISTING CUSTOM ORB ROOF SHEETING.
- EX2** EXISTING HORIZONTAL TIMBER WEATHERBOARDS.
- EX3** EXISTING TIMBER FRAMED WINDOWS.
- EX4** EXISTING BRICKWORK.
- EX5** EXISTING TIMBER FRAMED DOORS.

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EXISTING SOUTH WEST ELEVATION
1 : 100

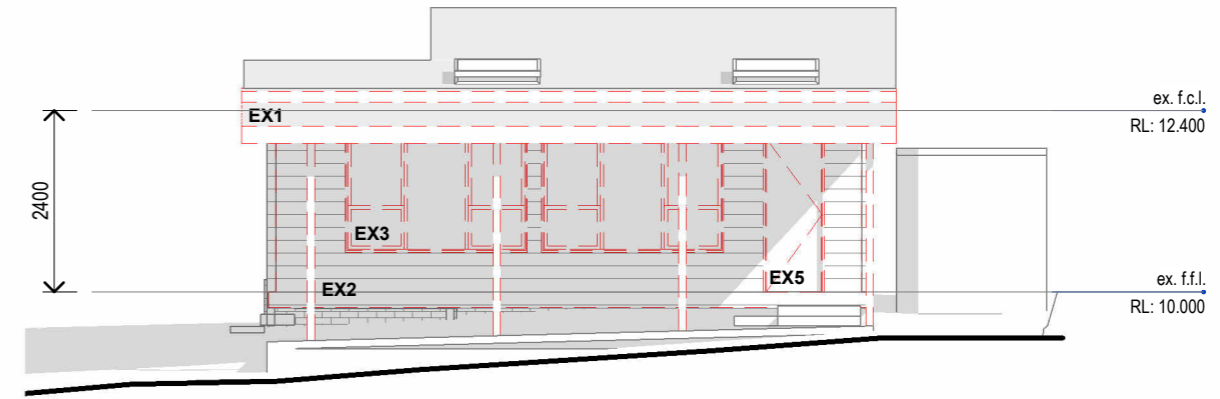


EXISTING SOUTH EAST ELEVATION
1 : 100

EXTERNAL FINISHES

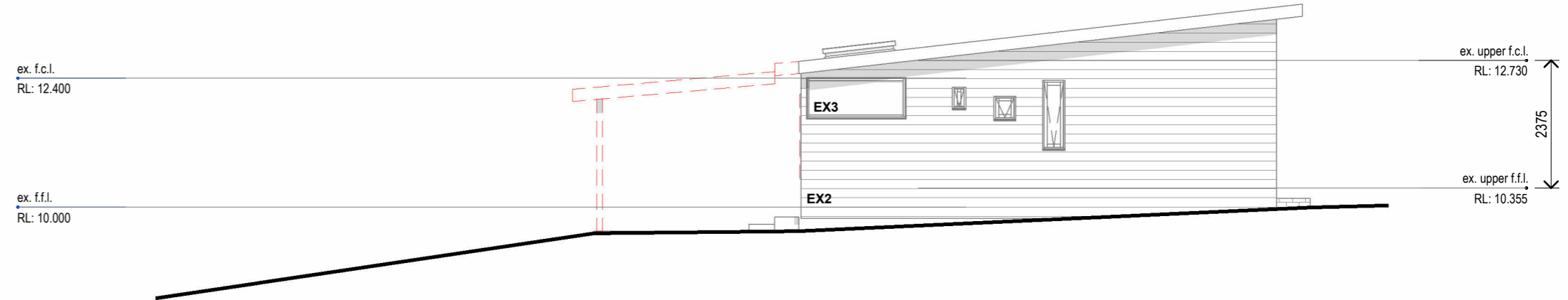
- EX1** EXISTING CUSTOM ORB ROOF SHEETING.
- EX2** EXISTING HORIZONTAL TIMBER WEATHERBOARDS.
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- EX4** EXISTING BRICKWORK.
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EXISTING NORTH EAST ELEVATION

1 : 100



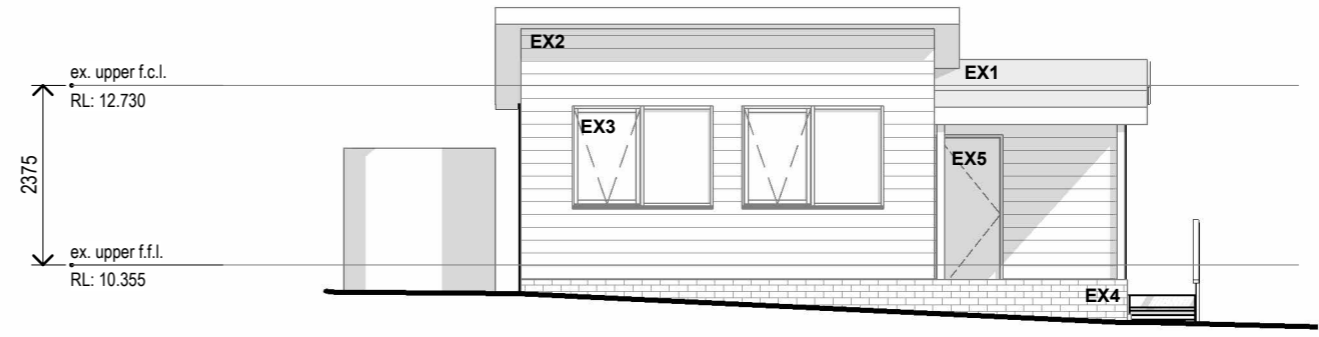
EXISTING NORTH WEST ELEVATION

1 : 100

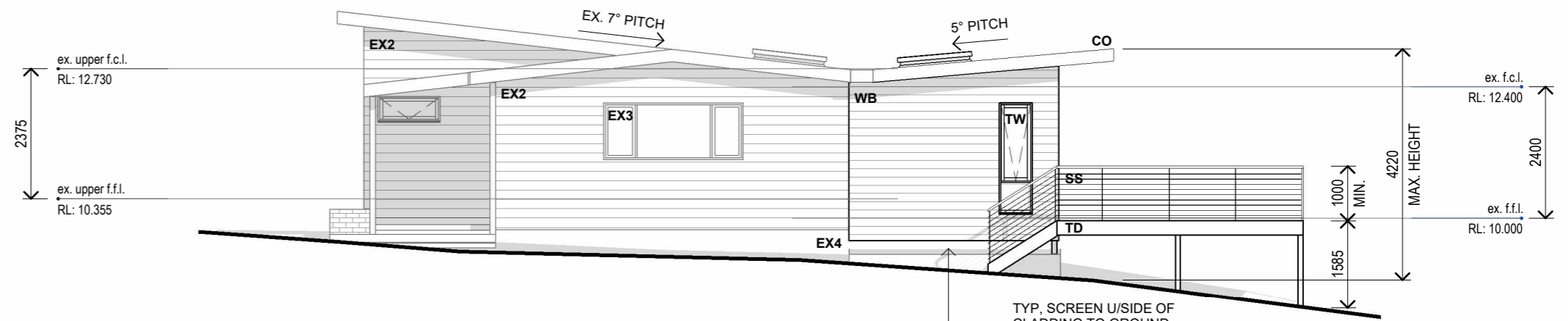
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- EX2** EXISTING HORIZONTAL TIMBER WEATHERBOARDS.
- EX3** EXISTING TIMBER FRAMED WINDOWS.
- EX4** EXISTING BRICKWORK.
- EX5** EXISTING TIMBER FRAMED DOORS.
- CO** CUSTOM ORB ROOF SHEETING, COLORBOND FINISH. COLOUR - TO MATCH EXISTING.
- WB** JAMES HARDIE 'LINEA' HORIZONTAL FIBRE CEMENT WEATHER BOARD CLADDING. PAINTED FINISH. COLOUR - AS SELECTED.
- TW** TIMBER FRAMED DOUBLE GLAZED WINDOWS & DOORS. PAINTED FINISH. COLOUR - AS SELECTED.
- TD** TREATED PINE TIMBER DECK FRAME STRUCTURE. NATURAL OILED FINISH. STEEL COLUMNS, PAINTED FINISH.
- SS** STAINLESS STEEL WIRE BALUSTRADE SYSTEM. TIMBER HANDRAIL. NATURAL OILED FINISH.

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SOUTH WEST ELEVATION
1 : 100



SOUTH EAST ELEVATION
1 : 100

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ACCRED. No. **RB** DRAWING TITLE **PROPOSED ELEVATIONS 01**
DRAWN **RB**
SCALE **As indicated@ A3** DRAWING **B203**
PROJECT No. **2603** REVISION **C**

PROPOSED ADDITIONS & ALTERATIONS
26 ROARING BEACH ROAD,
SOUTH ARM TAS 7022

REV	DESCRIPTION	BY	DATE
C	FOR PLANNING APPROVAL	RB	24/05/26
B	FOR CLIENT REVIEW	RB	11/04/26
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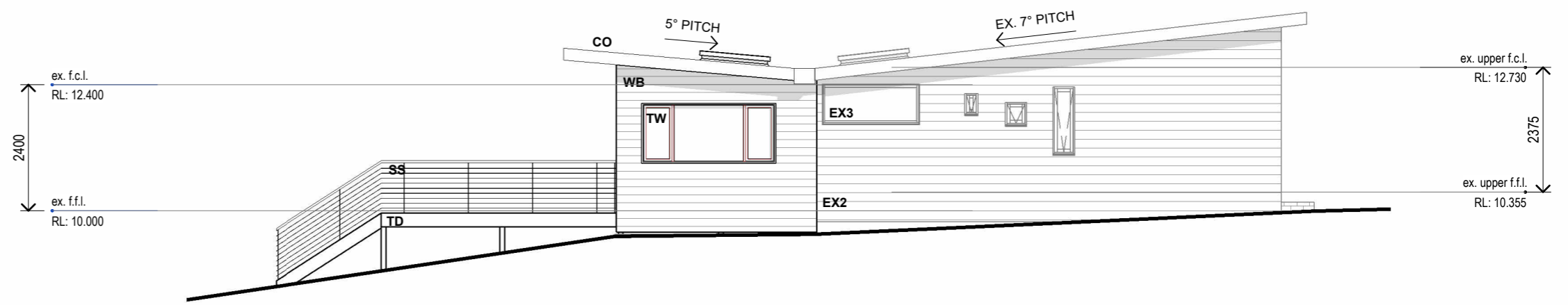
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STEEL COLUMNS, PAINTED FINISH.
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TIMBER HANDRAIL. NATURAL OILED FINISH.

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NORTH EAST ELEVATION
1 : 100



NORTH WEST ELEVATION
1 : 100

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ACCRED. No. **RB** DRAWING TITLE **PROPOSED ELEVATIONS 02**
DRAWN **RB**
SCALE **As indicated@ A3** DRAWING **B204**
PROJECT No. **2603** REVISION **C**

PROPOSED ADDITIONS & ALTERATIONS
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