



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060902

PROPOSAL: Two Multiple Dwellings

LOCATION: 7 Pymont Road, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01/07/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01/07/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01/07/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Proposed new 2-unit residential development

Location: Lot 44 Tasman Rise, Rokeby

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant land**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Date: 23/04/2026



SEARCH OF TORRENS TITLE

VOLUME 189872	FOLIO 44
EDITION 1	DATE OF ISSUE 01-Apr-2026

SEARCH DATE : 16-Apr-2026

SEARCH TIME : 05.04 pm

DESCRIPTION OF LAND

City of CLARENCE
 Lot 44 on Sealed Plan 189872
 Derivation : Part of Lot 37617 (56.81ha) Gtd. to The
 Director-General of Housing & Construction
 Prior CT 164406/3

SCHEDULE 1

M926006 TRANSFER to ORIGINAL INSIGHT PTY LTD Registered
 19-Dec-2021 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP189872 EASEMENTS in Schedule of Easements
 SP189872 COVENANTS in Schedule of Easements
 SP189872 FENCING COVENANT in Schedule of Easements
 SP142549 COVENANTS in Schedule of Easements
 SP142549 FENCING COVENANT in Schedule of Easements
 SP142549 WATER SUPPLY RESTRICTION
 SP142549 SEWERAGE AND/OR DRAINAGE RESTRICTION
 N194698 MORTGAGE to Manda Capital Holdings Pty Ltd
 Registered 21-June-2024 at 12.01 pm
 N280782 MORTGAGE to RCCC Civil Contracting Pty Ltd
 Registered 11-Oct-2025 at noon
 E380291 AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 01-Apr-2026 at noon

UNREGISTERED DEALINGS AND NOTATIONS

N104005 CAVEAT by Manda Capital Holdings Pty Ltd Lodged by
 PAGE SEAGER [Merged] on 16-Dec-2025 BP: N104005

OWNER:
ORIGINAL INSIGHT PTY LTD

FOLIO REFERENCE:
164406/3

GRANTEE:
Part of Lot 37617 (56.81ha) and Part of Lot 37843, (18.21ha) Gtd to The Director-General of Housing & Construction

NEW PLAN OF SURVEY

BY SURVEYOR:
N. J. SWARDS of
LEARY COX & CRIPPS SURVEYORS
Unit G04 40 Mollie Street, HOBART TAS 7000
P 03 6118 2030
E admin@lccsurvey.com

LOCATION:
City of CLARENCE

SCALE 1: 2500

LENGTHS IN METRES

Registered Number
SP 189872

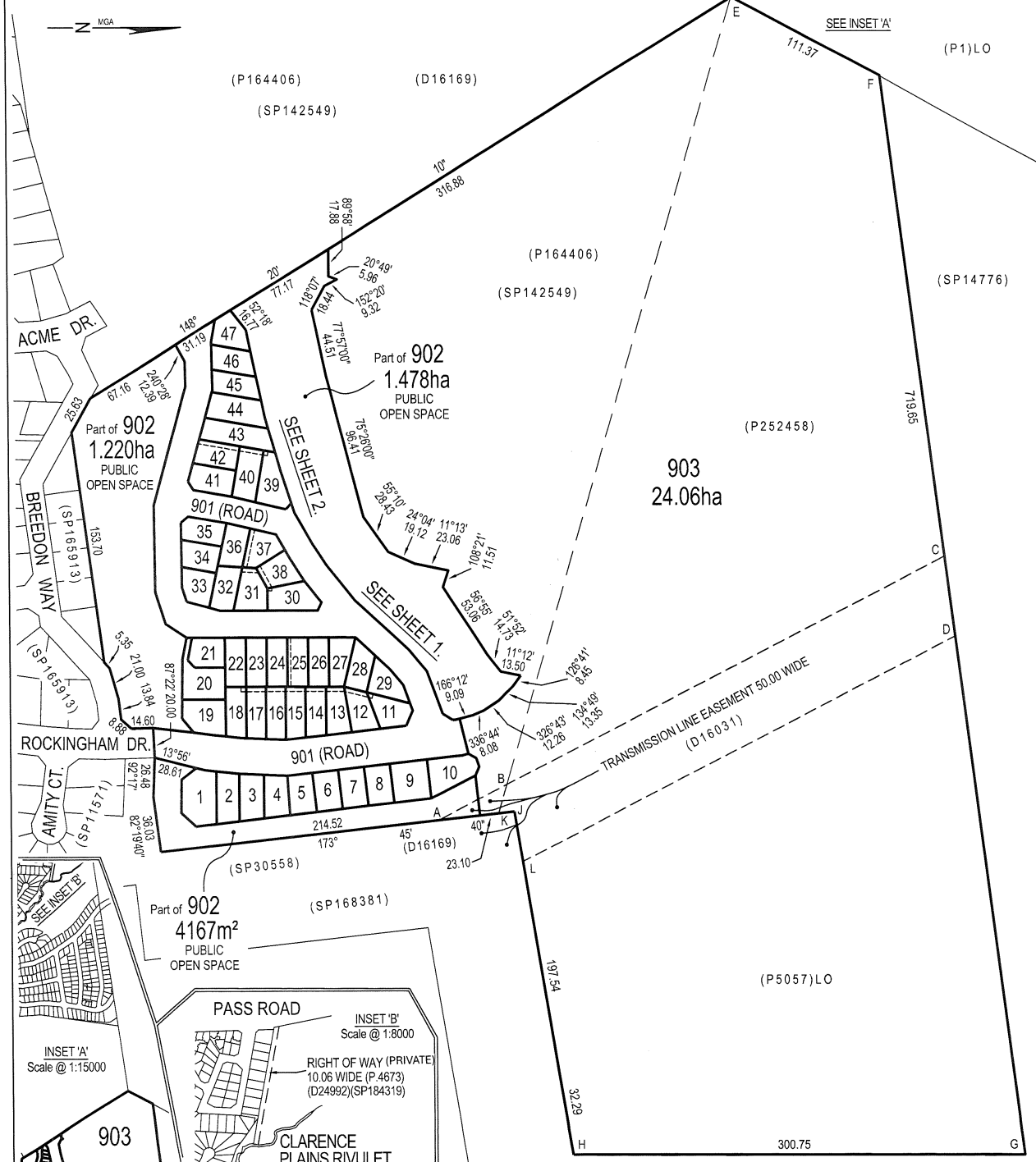
APPROVED EFFECTIVE FROM - 1 APR 2026

N. Swards
Recorder of Titles

PRIORITY FINAL PLAN LOTS 902 & 903 HAVE BEEN COMPILED FROM SP164405, P164406 AND THIS SURVEY

INDEX PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



N. Swards
Registered Land Surveyor

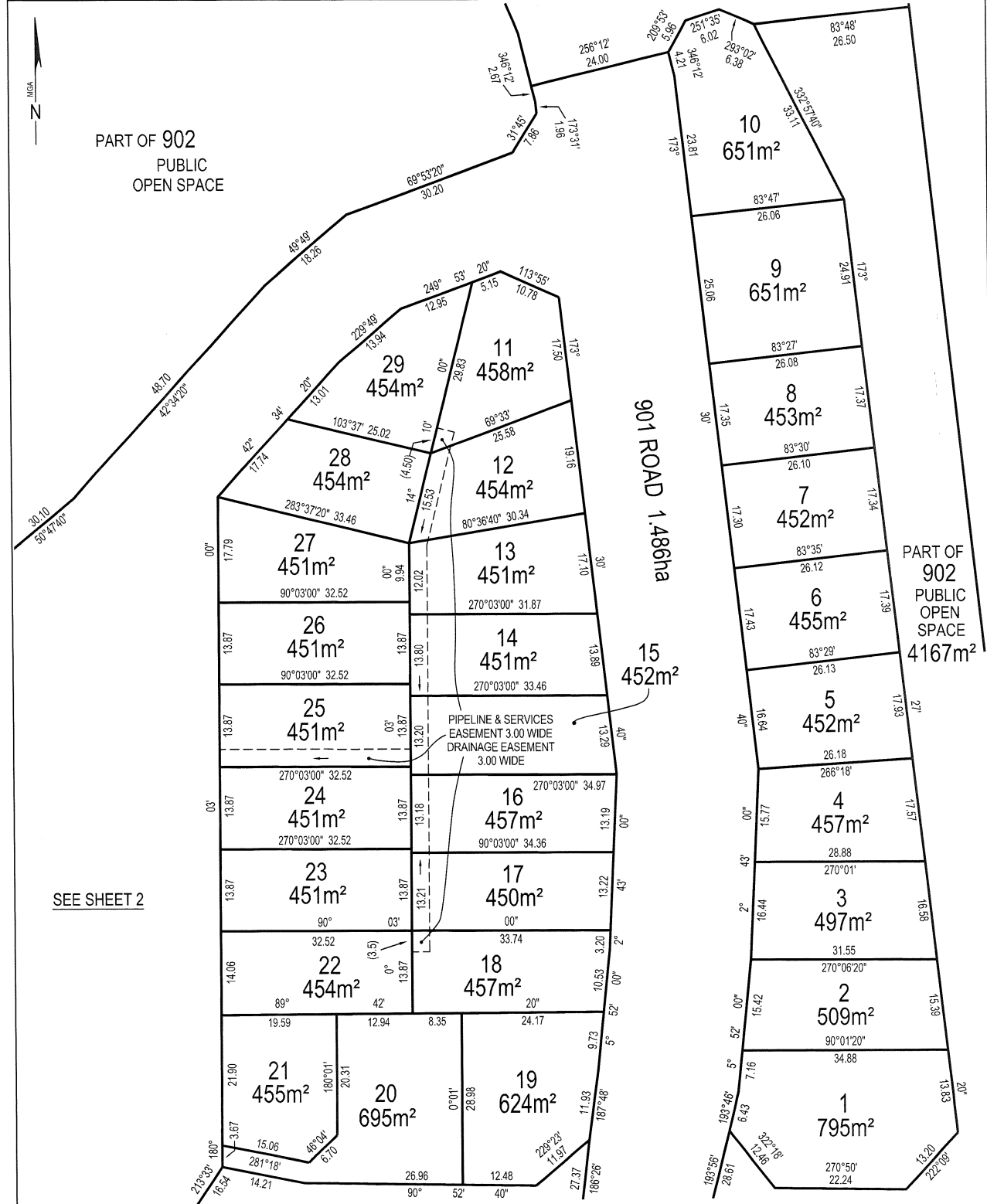
20/3/26
Date

SEE PLAN RELATED DOCS

.....
Council Delegate

.....
Date

<p>NEW</p> <p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 2 SHEETS</p>	<p>OWNER: ORIGINAL INSIGHT PTY LTD</p> <p>FOLIO REFERENCE: 164406/3</p> <p>SCALE 1:600</p>	<p>Registered Number</p> <p>SP 189872</p>
	<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>SEE PLAN RELATED DOCS</p> <p>..... Council Delegate</p> <p>..... Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>N. Edwards</i> 20/3/26</p> <p>..... Registered Land Surveyor</p> <p>..... Date</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189872

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

NEW EASEMENTS

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan ("the Easement Land").

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Clarence City Council over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan.

EXISTING EASEMENTS

Each Lot on the Plan (but excluding that part of Lot 903 marked "EFGHJK") is TOGETHER WITH a right of way over the area marked "RIGHT OF WAY, 10.06 WIDE" on the Plan more fully defined in SP142549. (PRIVATE)

Lots 902 & 903 are
~~Lot 902~~ on the Plan is SUBJECT TO a Transmission Line Easement (in favour of the Hydro Electric Commission) over that part of the Lot marked "TRANSMISSION LINE EASEMENT 50.00 WIDE" on the Plan and as created by and more fully set forth in SP142549.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REF: Volume 164406 Folio 3 SOLICITOR & REFERENCE: Butler, McIntyre & Butler: 250343	PLAN SEALED BY: Clarence City Council DATE: 3 MARCH 2026 PDP PLAN PMTD - REF NO. 2021/ 024236 Council Delegate Peter Warnekin - ACN's HOG
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 7 PAGES</p>	<p>Registered Number</p> <p>SP 189872</p>
<p>SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3</p>	

EXISTING COVENANTS

Each Lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP142549.

FENCING COVENANT

The owner of each Lot on the Plan covenants with Original Insight Pty Ltd (ACN 168 660 786) (“the Vendor”) that the Vendor shall not be required to fence.

DEFINITIONS

“**Pipeline and Services Easement**” means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 7 PAGES</p>	<p>Registered Number</p> <p>SP 189872</p>
<p>SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3</p>	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.



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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 7 PAGES</p>	<p>Registered Number</p> <p>SP 189872</p>
<p>SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3</p>	

- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.



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<p>SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3</p>	

Executed by **Original Insight Pty Ltd (ACN 168 660 786)**, the Registered Proprietor of the land contained in Certificate of Title Volume 164406 Folio 3 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


Seyon Won
 Sole Director and Company Secretary

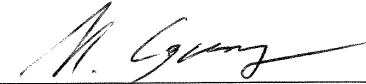
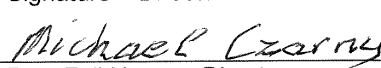

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Manda Capital Holdings Pty Ltd (ACN 168 795 088)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N194698 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/~~Company Secretary*~~ *30/03/26*
 Print Full Name – Director/~~Company Secretary*~~
 *Delete whichever is inapplicable *30/03/26*

* BRADLEY JOHN WALSH
SOLICITOR FOR THE VENDOR

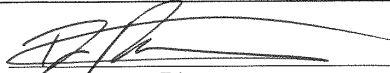
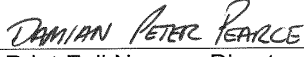

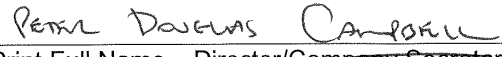


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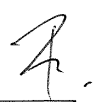
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **RCCC Civil Contracting Pty Ltd (ACN 097 095 611)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N280782 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/~~Company Secretary*~~

 Print Full Name – Director/~~Company Secretary*~~

*Delete whichever is inapplicable



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TASMANIAN LAND TITLES OFFICE

Notification of Agreement
under the Land Use Planning
and Approvals Act 1993

Section 78



E380291

DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
164406	3		

REGISTERED PROPRIETOR: ORIGINAL INSIGHT PTY LTD of 89 Cavendish Road, Coorparoo, Queensland 4151

PLANNING AUTHORITY: CLARENCE CITY COUNCIL of 38 Bligh Street, Rosny Park Tasmania 7018

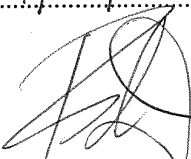
I Peter Warmbrunn,

of CLARENCE CITY COUNCIL of 38 Bligh Street, Rosny Park Tasmania 7018

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement (not including annexures) between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Date: 04/02/2026

Signed: 
(on behalf of the Planning Authority)



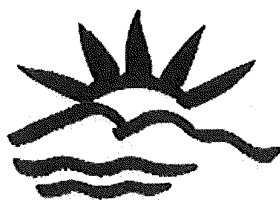
Land Titles Office Use Only

LUA
Version 2 (TOLD)

REGISTERED IN TASMANIA
- 1 APR 2026
RECORDER OF TITLES

THE BACK OF THIS FORM MUST NOT BE USED

Created 15-Sep-2025 03:42PM



City of Clarence

PART 5 AGREEMENT

CLARENCE CITY COUNCIL
("COUNCIL")

AND

ORIGINAL INSIGHT PTY LTD ("OWNER")


AND

ON GIBLIN PTY LTD ("ADJOINING OWNER")



*Agreement pursuant to section 71 of the Land
Use Planning and Approvals Act 1993 (Tas)*

I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT

 05/02/2026
Emily Whitfield
Legal Support Officer

AGREEMENT

This Agreement is made on the **4th** day of **February** 2026

BETWEEN

CLARENCE CITY COUNCIL (ABN 35 264 254 198) of 38 Bligh Street, Rosny Park, Tasmania ("**Council**")

and

ORIGINAL INSIGHT PTY LTD (ABN 69 168 660 786) of 89 Cavendish Road, Coorparoo, Queensland ("**Owner**")


and

ONGIBLIN PTY LTD (ACN 602 471 518) of Level 1, 160 Collins Street, Hobart, Tasmania ("**Adjoining Owner**")

RECITALS

- A. Council is the planning authority under the *Land Use Planning and Approvals Act 1993 (Tas)* ("**Act**") and for the purposes of the Tasmanian Planning Scheme – Clarence ("**Planning Scheme**").
- B. The Owner is the registered proprietor of 93 Pass Road, Rokeby in Tasmania more particularly described in Certificate of Title Volume 164406 Folio 3 ("**Property**").
- C. The Adjoining Owner is the registered proprietor of 91 Pass Road, Rokeby in Tasmania more particularly described in Certificate of Title Volume 164406 Folio 2 ("**Adjoining Property**").
- D. On 5 January 2023 Council issued planning permit PDPLANPMTD-2021/024236 ("**Permit**") for a 130 lot subdivision on the Property ("**Development**").
- E. It is a condition of the Permit for the Development that the Owner and Adjoining Owner are to enter into this Part 5 Agreement ("**Agreement**") with Council pursuant to section 71(1) of the Act.

**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

 05/02/2026

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

OPERATIVE PART

The parties agree as follows:

1. Definitions

In this Agreement, unless the context otherwise requires:

Agreement means this agreement including any schedules, attachments and annexures.

Bushfire Hazard Management Plan means the plan at Appendix B of the Bushfire Hazard Management Plan Report, annexed and marked "Annexure A";

Bushfire Hazard Management Plan Report means the report prepared by Rhys Menadue dated December 2022, annexed and marked "Annexure B";

Hazard Management Area means the area situate on the Property and described as "Hazard Management Area 30m Wide" as well as the area situate on the Adjoining Property shown hatched and described as "Temporary Hazard Management Area 50m Wide" both shown on the Bushfire Hazard Management Plan; and

Natural Values Report means the report prepared by Amber Button and Andy Welling dated 23 February 2022, annexed and marked "Annexure C";

Permit means Council planning permit PDPLANPMTD-2021/024236 dated 5 January 2023 with respect to the Development on the Property, annexed and marked "Annexure D".

2. Interpretation

In this Agreement:

- (a) the expression "Owner" and "Adjoining Owner":
- i. can mean more than one person;
 - ii. includes the successors and assigns of the Owner and Adjoining Owner;
 - iii. includes any person deriving title to the Property or Adjoining Property from the Owner or Adjoining Owner; or

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

EW 05/02/2026

- iv. includes any person deriving title to any part of the Property or Adjoining Property from the Owner or Adjoining Owner;
- (b) where the Owner or Adjoining Owner comprises more than one person, those persons are jointly and each of them is severally liable under this Agreement;
- (c) clause headings are inserted for convenience only and do not affect the interpretation of this Agreement;
- (d) a recital, schedule, annexure or a description of the parties forms part of this Agreement;
- (e) where any word or phrase is given a defined meaning, any other part of speech or other grammatical form of that word or phrase has a corresponding meaning; and
- (f) a party includes its successors, assigns, executors and administrators.

3. Covenants on the Part of the Owner

3.1 The Owner hereby covenants with Council to:

- (a) develop the Property in accordance with the bushfire protection measures outlined in the Bushfire Hazard Management Plan Report and the Bushfire Hazard Management Plan; and
- (b) at all times maintain the Hazard Management Area as low threat vegetation as required by the Bushfire Hazard Management Plan Report; and
- (c) develop the Property in accordance with the management strategies and recommendations detailed under the native vegetation management plan required in the Natural Values Report;

3.2 The Owner agrees:

- (a) to take all reasonable care in accessing the Hazard Management Area;
- (b) to provide no less than seven (7) days' notice to the Adjoining Owner prior to accessing the Adjoining Property for the purpose of maintaining the Hazard Management Area;
- (c) to only do so much as is reasonably necessary to clear and maintain the Hazard Management Area to the extent required by the Bush Fire Hazard Management Plan Report; and
- (d) to make good any damage which occurs to the Hazard Management Area as a result of the Owner carrying out its obligations pursuant to this Agreement.

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

EW 05/02/2026

4. Covenants on the Part of the Adjoining Owner – Bushfire Hazard Management

4.1. The Adjoining Owner hereby covenants with Council:

- (a) To allow the Owner, its agents and contractors, such access as is reasonably necessary, including with vehicles and machinery (if required) to the Hazard Management Area in accordance with the provisions of this Agreement, for the purpose of maintaining the Hazard Management Area as low threat vegetation as required by the Bushfire Hazard Management Plan Report; and
- (b) not to prevent, hinder or obstruct in any way the Owner or its agents and contractors from exercising the rights conferred under clause 4.1(a).

5. Enforcement

5.1. Council may enforce the covenant in this Agreement relating to the Hazard Management Area at its sole discretion. The Owner agrees that Council has no enforcement obligation in respect of this Agreement. Enforcement of this Agreement is to be at the suit of or by action by such of the Owner or Adjoining Property Owner as may feel aggrieved by any conduct, act or omission on the part of the other.

6. Releases and Indemnities by the Owner

6.1. To the fullest extent allowable at law the Owner releases and indemnifies Council jointly and severally from any claim, expense, liability, loss or injury including death arising from or connected with:

- a) anything done on the Hazard Management Area, its agents or contractors, in exercising the rights conferred by this Agreement except where and to the extent that any such claim, expense, liability, loss or injury including death is caused or contributed to by any negligent act or omission on the part of Council; or
- b) any failure on the Owner's part to implement the recommendations of the Bushfire Hazard Management Plan contained within the Bushfire Hazard Report and maintain the Hazard Management Area in accordance with the Owner's rights and obligations under this Agreement.

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

EW 05/02/2026

7. Legal Rights and Interests of Owner Limited

This Agreement confers on the Owner no legal rights in respect of, or legal interest in, the Hazard Management Area except to the extent contemplated by and necessary for the operation of this Agreement.

8. Dispute

- 8.1 If a dispute arises between the parties under this Agreement, then (except in the case of action required to be taken under statute) the parties agree that it must be resolved expeditiously in accordance with the provisions of this clause.
- 8.2 If a dispute arises requiring resolution, a party must serve a notice on the other specifying the nature and substance of the matter in dispute.
- 8.3 If, within thirty (30) days of a notice under clause 8.2 being served, the parties are unable to resolve the dispute, then either party can make an application to the court.

9. Severance

If any provision of this Agreement or its application to any person or circumstance is or becomes invalid, illegal or unenforceable, then so far as possible, the provision will be read down to the extent necessary to ensure that it is not illegal, invalid or unenforceable. If any provision or part of it cannot be so read down, then the provision or part of it will be taken to be void and severable and the remaining provisions of this Agreement will not be affected or impaired in any way.

10. Notices

- 10.1 A notice or other communication given or made under this Agreement must be in writing and addressed to the party to whom the notice is to be given at the address for service of notices as agreed by the parties from time to time.
- 10.2 A notice or other communication is taken to have been duly served:
- (a) in the case of hand delivery - when delivered;
 - (b) if sent by prepaid post - on the third business day after the date of posting;

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

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- (c) if sent by email, when the recipient becomes capable of receiving the email during ordinary business hours (unless the sender receives an automated message that the email has been delayed or delivery has failed).
- 10.3 A notice or other communication given or made under this Agreement is sufficient if:
- (a) in the case of the Council, it is under the hand of the Chief Executive Officer or a duly authorised officer of the Council or the Council's solicitors;
 - (b) in the case of the Owner, it is under the hand of the Owner or their solicitor.
- 10.4 A printed or copied signature is sufficient for the purposes of sending any demand, written consent or other communication by email.

11. Acknowledgment

The Owner and Adjoining Owner acknowledge that:

- (a) this Agreement is being entered into pursuant to Part 5 of the Act for the purpose of satisfying the condition stated in the Permit. It may be registered on the title to the Property and the Adjoining Property by Council at the Owner's cost;
- (b) the effect of registration pursuant to the preceding clause will be that the burden and benefit of any covenant contained in this Agreement will run with the land as if it were a covenant to which section 102(2) of the *Land Titles Act 1980 (Tas)* applies; and
- (c) this Agreement is enforceable between the parties to it, and any person deriving title under any such party, as if the Agreement were entered into by a fee simple owner of land for the benefit of adjacent land held by the Crown in fee simple that was capable of being benefited by the Agreement and as if that adjacent land continued to be so held by the Crown.

12. Costs

The Owner and Council agree that:

- (a) the Owner must bear the costs and disbursements associated with the preparation, negotiation and registration of this Agreement including any costs or disbursements incurred or to be incurred by Council; and

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

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ORIGINAL DOCUMENT**

EW 05/02/2026

- (b) unless this Agreement provides to the contrary, each party must pay its own costs incurred in the future operation of this Agreement.

13. Council Powers

The parties acknowledge and agree that this Agreement does not fetter or restrict the powers or discretions of Council as planning authority in anyway, including to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of plans relating to the Property or relating to any use or development of the Property.

14. Commencing Date and Duration

This Agreement will:

- (a) take effect on the date it is signed by all the parties notwithstanding any delay or failure on the part of the Council in lodging the Agreement with the Recorder of Titles for registration; and
- (b) continue in full effect until ended either pursuant to a provision of the Act or by mutual agreement of the parties.

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

[Signature] 05/02/2026

EXECUTED by the parties as a deed

Executed on the date appearing on page 2 of this Agreement

The Common Seal of)
CLARENCE CITY COUNCIL)
was affixed by its duly)
authorised delegate:)



~~Clare Amy Shea~~ Peter Warmbrunn

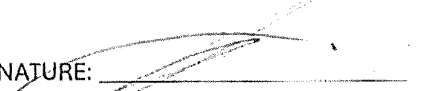

P

Acting

Head of Governance

Executed by ORIGINAL)
INSIGHT PTY LTD (ABN 69)
168 660 786) in accordance)
with section 127 of the)
Corporations Act 2007 (Cth):)

SEYON WON
SOLE DIRECTOR/SECRETARY

Executed by ON GIBLIN PTY LTD (ACN 602 471 518) in accordance with section 127 of the Corporations Act 2007 (Cth):	DIRECTOR SIGNATURE: 
	DIRECTOR NAME: RONALD AULDEN BROOKS
	DIRECTOR SIGNATURE: 
	DIRECTOR NAME: PAUL ROBERT BROOKS

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT

ZW 05/02/2026

PROPOSED RESIDENTIAL DEVELOPMENT

LOT 44 TASMAN RISE

ROKEBY

KNEST

PDH25117

BUILDING DRAWINGS

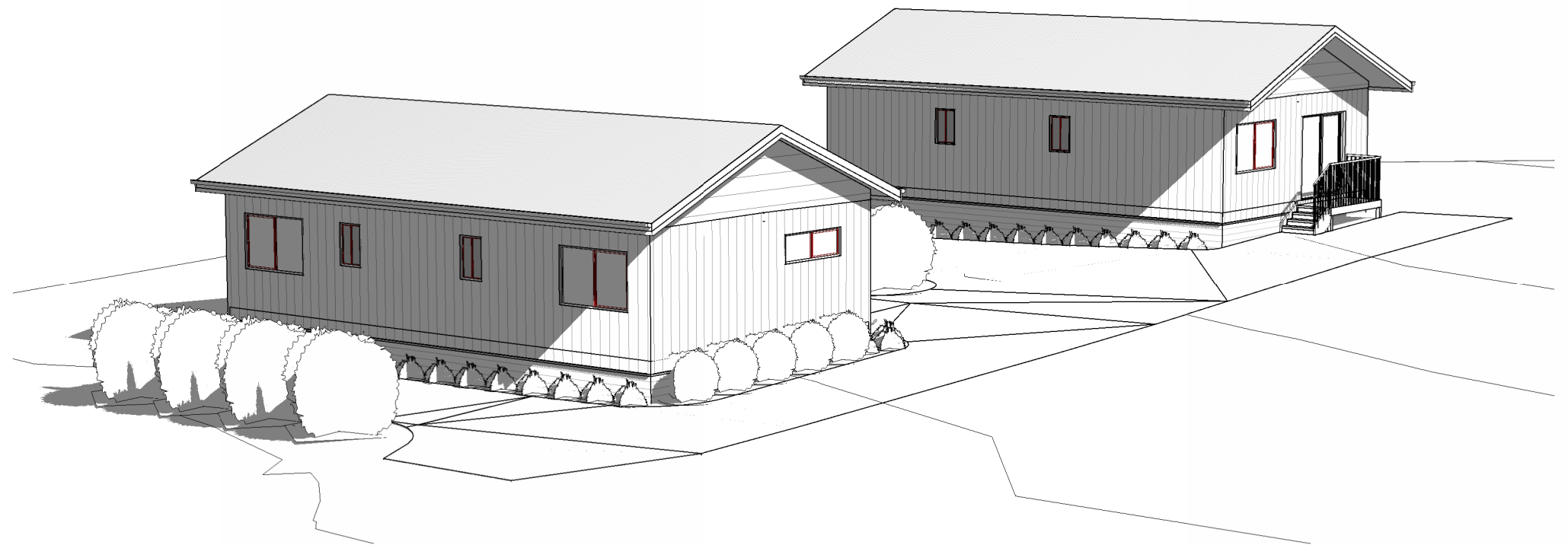
No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LANDSCAPING PLAN
04	LOCALITY PLAN
05	SHADOW DIAGRAMS
06	TURNING CIRCLES

UNIT 1 BUILDING DRAWINGS

No	DRAWING
U1-01	FLOOR PLAN
U1-02	DOOR AND WINDOW SCHEDULES
U1-03	ELEVATIONS
U1-04	ELEVATIONS
U1-05	ROOF PLAN
U1-06	PERSPECTIVES

UNIT 2 BUILDING DRAWINGS

No	DRAWING
U2-01	FLOOR PLAN
U2-02	DOOR AND WINDOW SCHEDULES
U2-03	ELEVATIONS
U2-04	ELEVATIONS
U2-05	ROOF PLAN
U2-06	PERSPECTIVES



U1 POD 1 AREA	42.06	m2	(4.53	SQUARES)
U1 POD 2 AREA	42.06	m2	(4.53	SQUARES)
U2 POD 1 AREA	42.06	m2	(4.53	SQUARES)
U2 POD 2 AREA	42.06	m2	(4.53	SQUARES)
TOTAL FLOOR AREA	168.25		18.11	

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 44/189872
 SITE AREA: APPROX. 651 m²
 DESIGN WIND SPEED: TBC
 SOIL CLASSIFICATION: TBC
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: N/A
 BAL RATING: BAL-LOW
 OTHER KNOWN HAZARDS: FLOOD PRONE AREA

Prime Design
your build, your way

L: 10 Goodman Court, Invermay, 7248
 p() + 03 6332 3790
 H: Shop 9, 105-111 Main Road, Moonah, 7009
 p(h) + 03 6228 4575

bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

info@primedesigntas.com.au
 Accredited Building Practitioner: Frank Geskus -No CC246A

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REV.	DATE	DESCRIPTION

JUNE 2026

PLANNING



SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

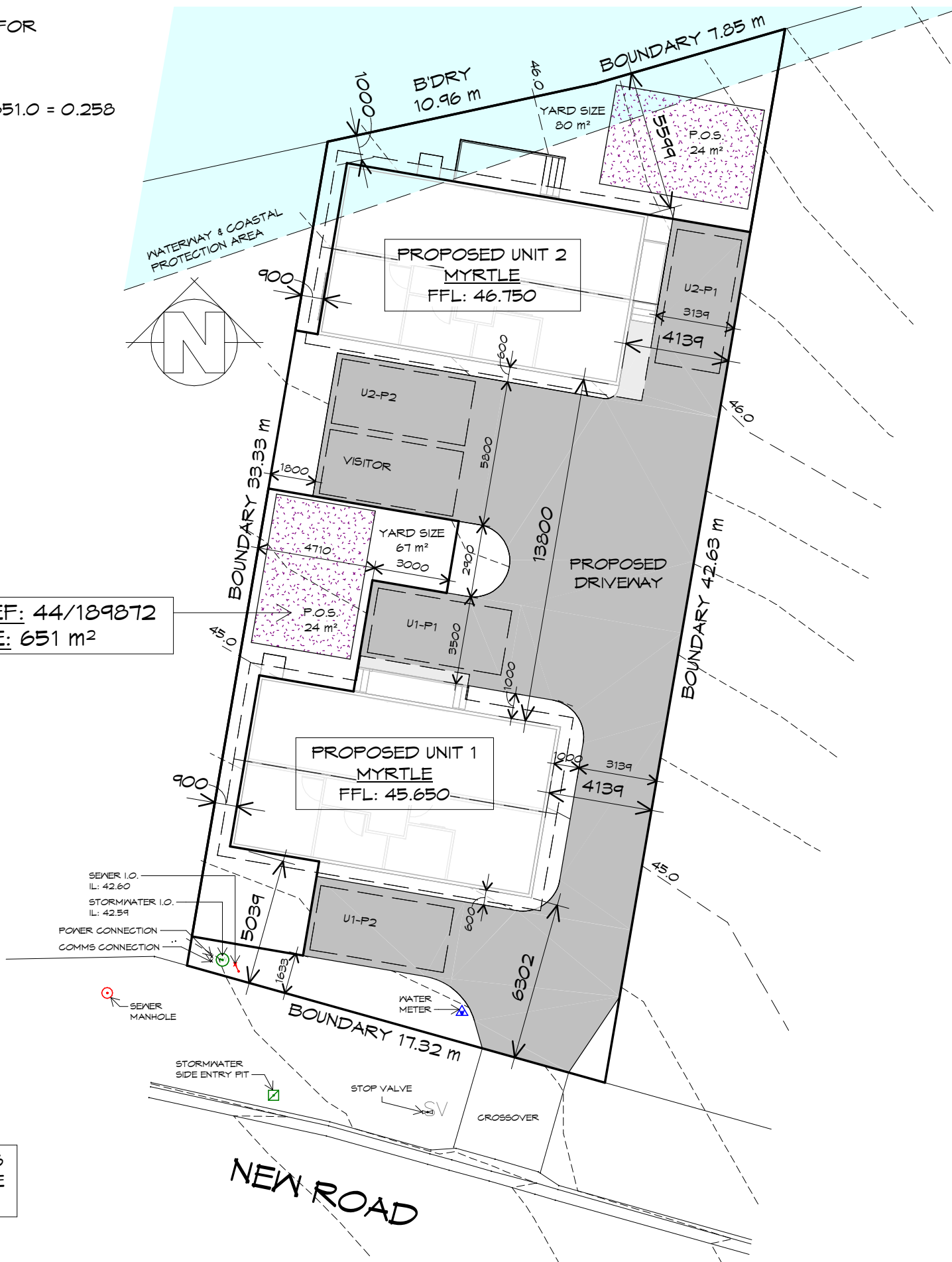
SITE COVERAGE
BUILDING FOOTPRINT 168.25 / SITE AREA 651.0 = 0.258
TOTAL SITE COVERAGE 25.8%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

DRIVEWAY GRADIENT
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

TITLE REF: 44/189872
LOT SIZE: 651 m²



SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SURVEYORS NOTE
THIS PLAN HAS BEEN PREPARED FOR KNEST FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.

THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.

THIS DATA IS ON A PLANE COORDINATE SYSTEM -

DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE. THE COORDINATES HAVE AN MGA2020 ORIGIN AT SPM9529 (E:536564.131 N:5251746.728 RL:56.30) THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA2020 COORDINATE SYSTEM IS 0.99960760 USING SPM9529 AS THE SCALE ORIGIN POINT.

BOUNDARIES ARE PROVISIONAL ONLY AND HAVE BEEN SUPPLIED BY LEARY, COX & CRIPPS SURVEYORS

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH 3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



REV. DATE DESCRIPTION

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
SITE PLAN



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



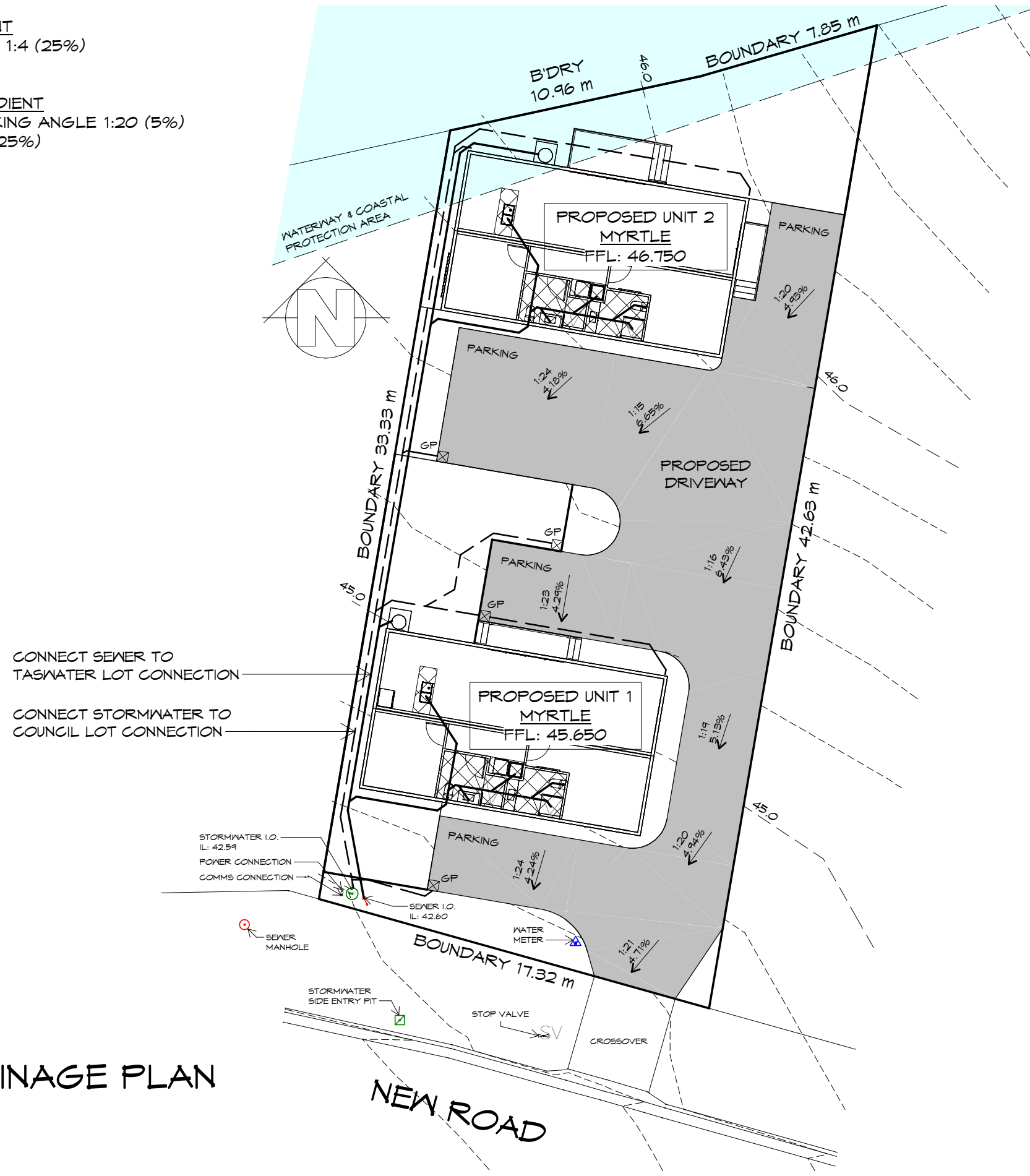
Date: 01.06.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25117 - 01
Scale: 1 : 200
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A
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DRIVEWAY GRADIENT
 MAXIMUM GRADIENT 1:4 (25%)
 TO AS 2890

CAR PARKING GRADIENT
 PARALLEL TO PARKING ANGLE 1:20 (5%)
 CROSSFALL 1:16 (6.25%)



LEGEND

- GP 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

CONNECT SEWER TO
 TASWATER LOT CONNECTION

CONNECT STORMWATER TO
 COUNCIL LOT CONNECTION

STORMWATER I.O.
 IL: 42.59
 POWER CONNECTION
 COMMS CONNECTION

SEWER
 MANHOLE

STORMWATER
 SIDE ENTRY PIT

STOP VALVE

CROSSOVER

SITE DRAINAGE PLAN

1 : 200



REV.	DATE	DESCRIPTION

Client name:
 KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOT 44 TASMAN RISE
 ROKEBY

Drawing:
 SITE DRAINAGE PLAN



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 H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au



Date:	Drafted by:	Approved by:
01.06.2026	T.W.	F.G.G.

Project/Drawing no:	Scale:	Revision:
PDH25117 - 02	As indicated	03

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LANDSCAPING PLAN

1 : 200



REV.	DATE	DESCRIPTION

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
LANDSCAPING PLAN



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Date:	Drafted by:	Approved by:
01.06.2026	T.W.	F.G.G.

Project/Drawing no:	Scale:	Revision:
PDH25117 - 03	1 : 200	03

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LEGEND

- PROPOSED SHRUB
- PROPOSED GROUNDCOVER/GRASS
- LAWN
- MULCH OR SIMILAR
- CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- LB. LETTER BOX
- WASTE STORAGE 1.5m2
- GT GATE
- FN FENCE 1.8m HIGH
- CL CLOTHES LINES - WALL MOUNT

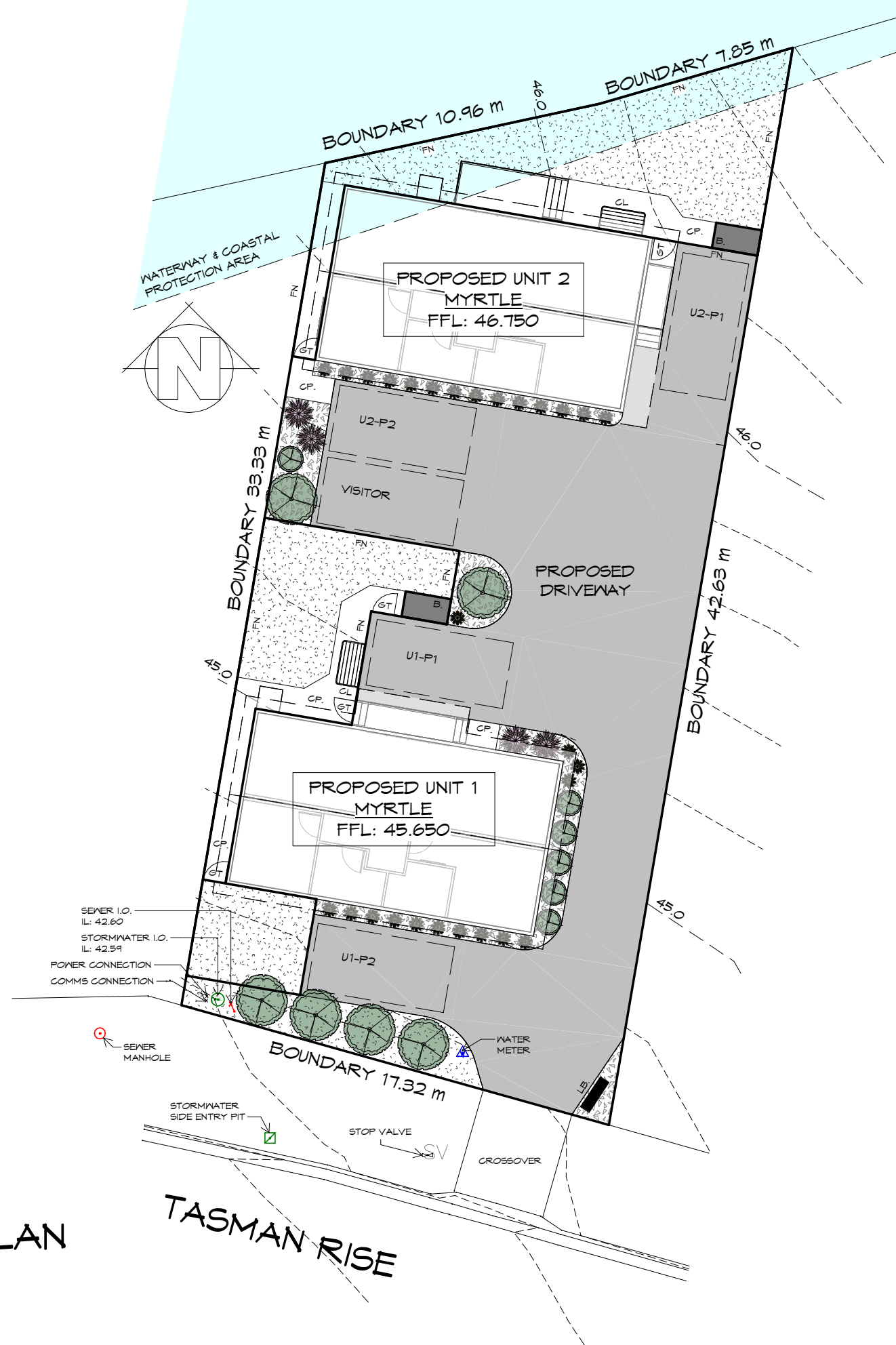
SITE COVERAGE

BUILDING FOOTPRINT 168.25 / SITE AREA 651.0 = 0.258
TOTAL SITE COVERAGE 25.8%

IMPERVIOUS SURFACES

NON-IMPERVIOUS SURFACES 162.37 / SITE AREA 651.0 = 0.249
TOTAL SITE FREE FROM IMPERVIOUS SURFACES 24.9%

TOTAL IMPERVIOUS AREA: 488.63 m²



TASMAN RISE



LOCALITY PLAN

1 : 2000

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
 ALL CONSTRUCTION MUST COMPLY WITH 3959.
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

THIS SITE IS ZONED GENERAL RESIDENTIAL (TO BE CONFIRMED) AND REQUIRES A BUSHFIRE ASSESSMENT.
 RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN



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REV.	DATE	DESCRIPTION

Client name:
 KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

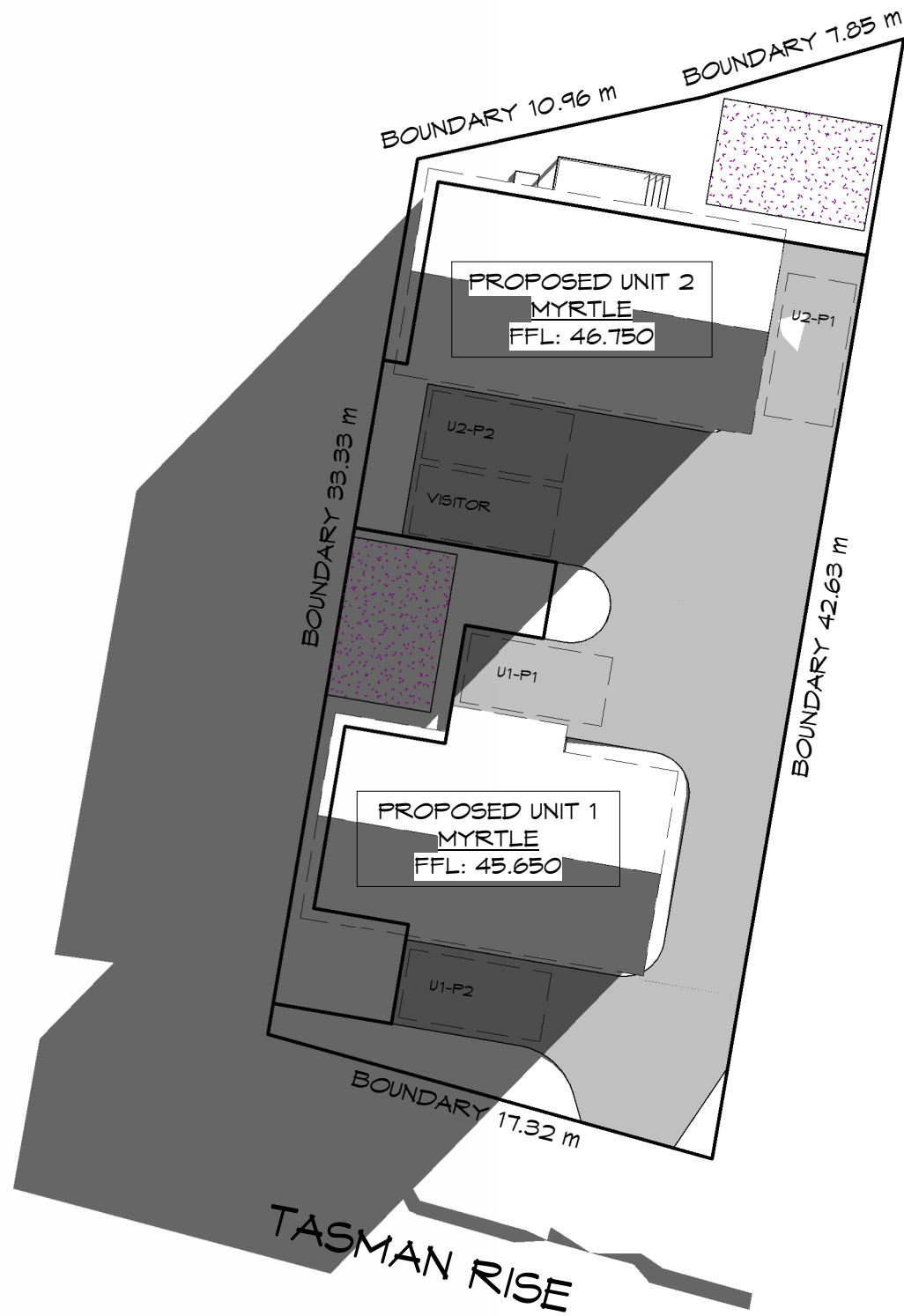
Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOT 44 TASMAN RISE
 ROKEBY

Drawing:
 LOCALITY PLAN

Date:	Drafted by:	Approved by:
01.06.2026	T.W.	F.G.G.

Project/Drawing no:	Scale:	Revision:
PDH25117 - 04	1 : 2000	03

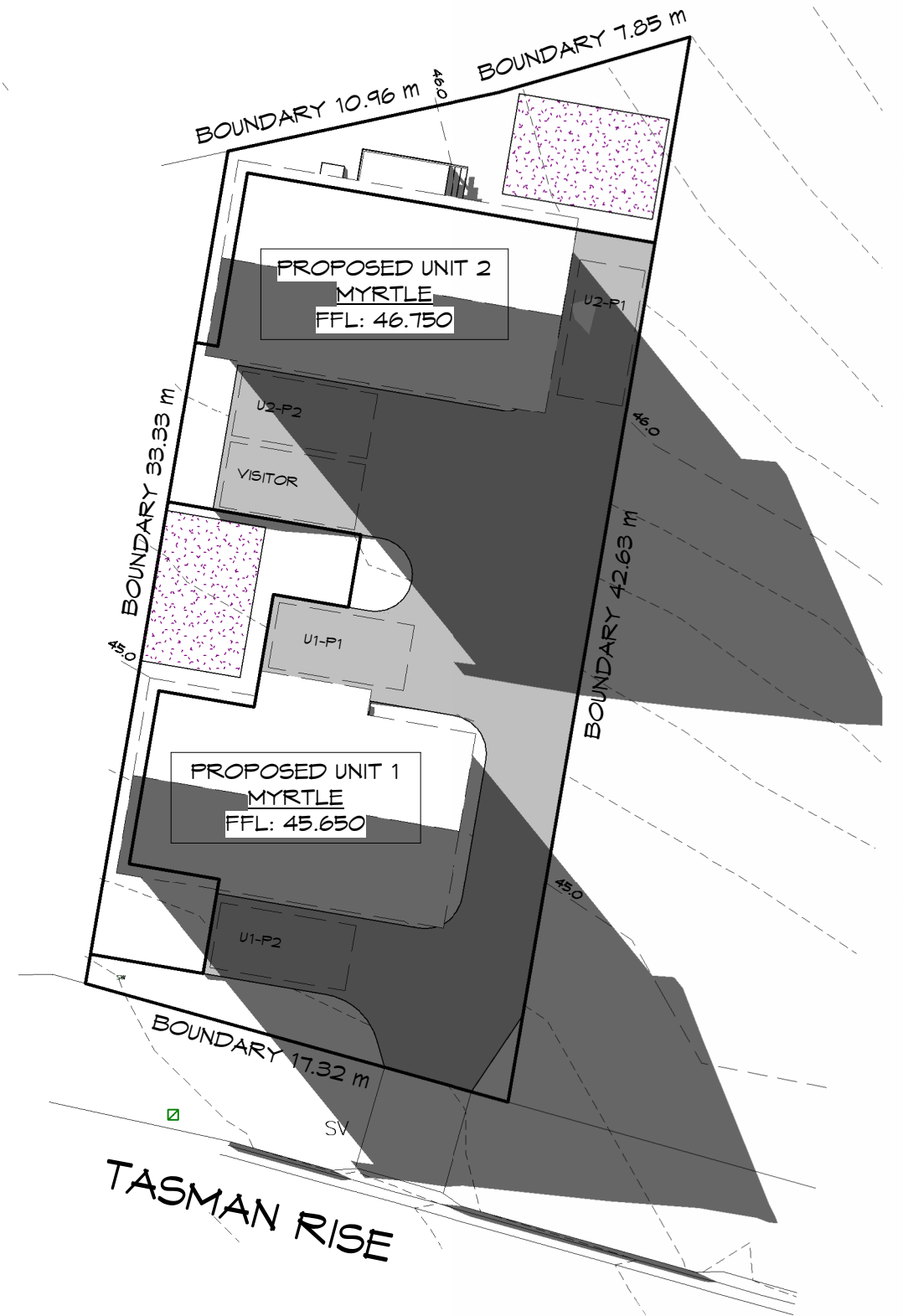
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SHADOW DIAGRAM - 9AM
1 : 250



SHADOW DIAGRAM - 12PM
1 : 250



SHADOW DIAGRAM - 3PM
1 : 250



REV.	DATE	DESCRIPTION

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY
Drawing:
SHADOW DIAGRAMS



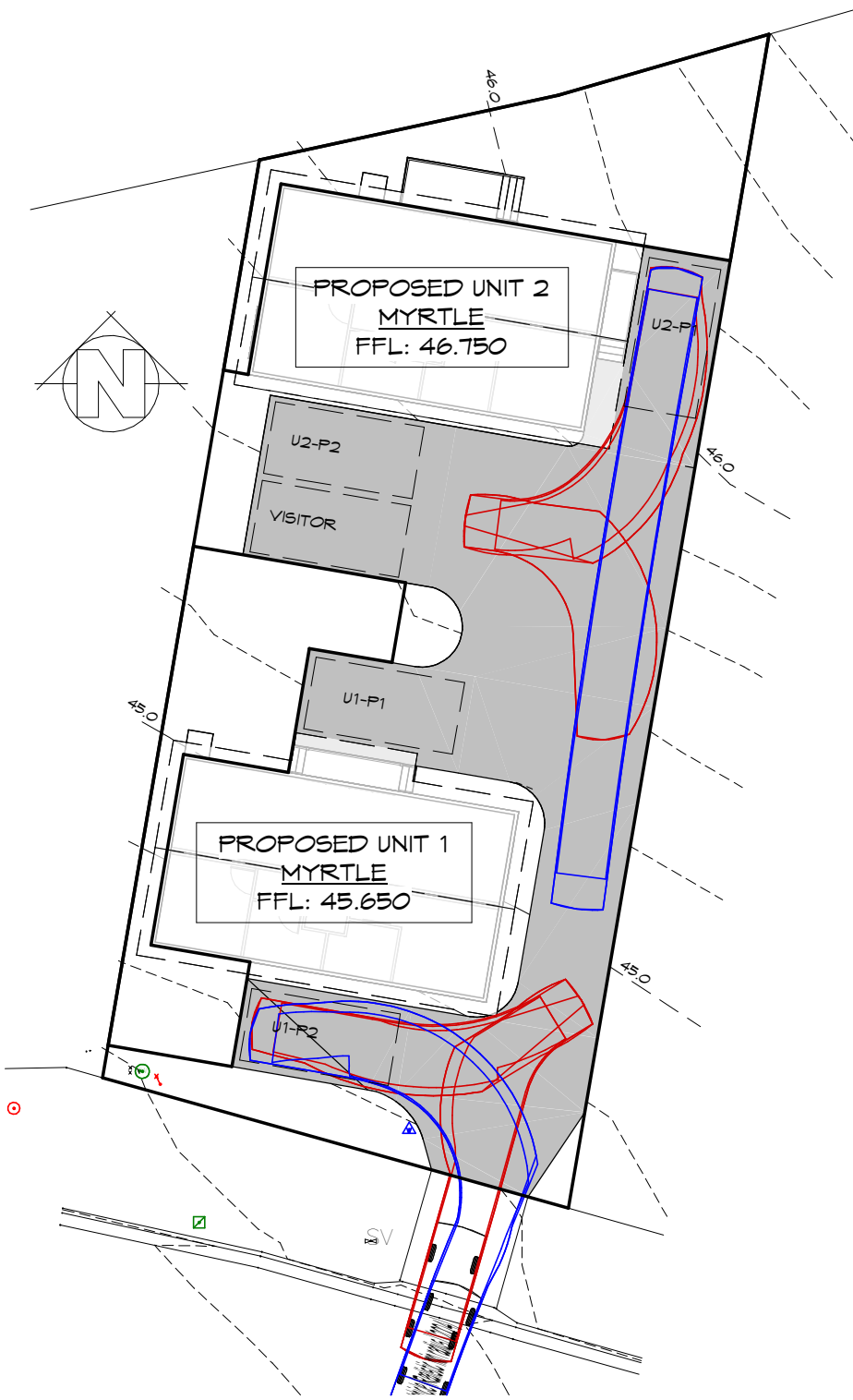
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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 01.06.2026	Drafted by: T.W.	Approved by: F.G.G.
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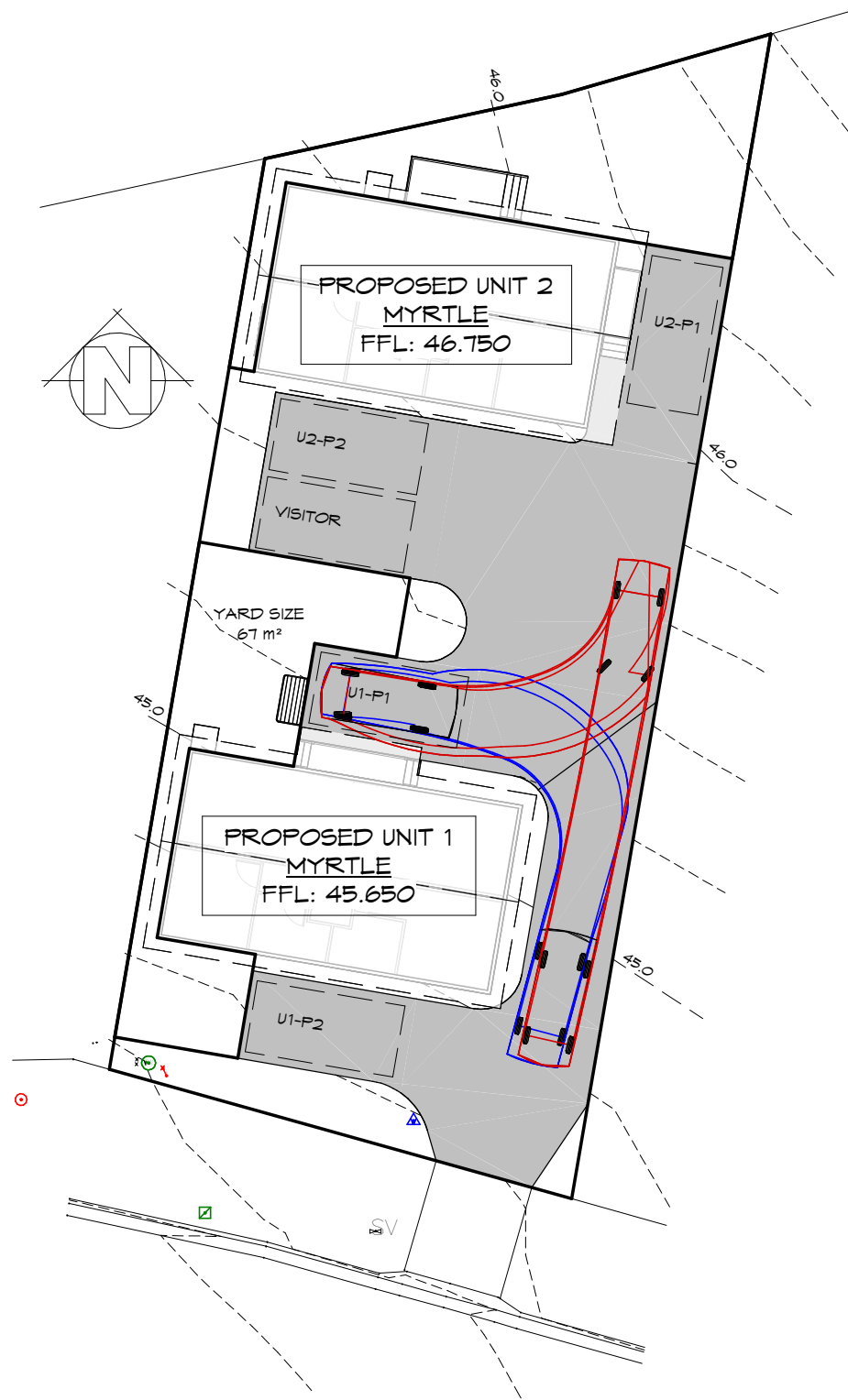
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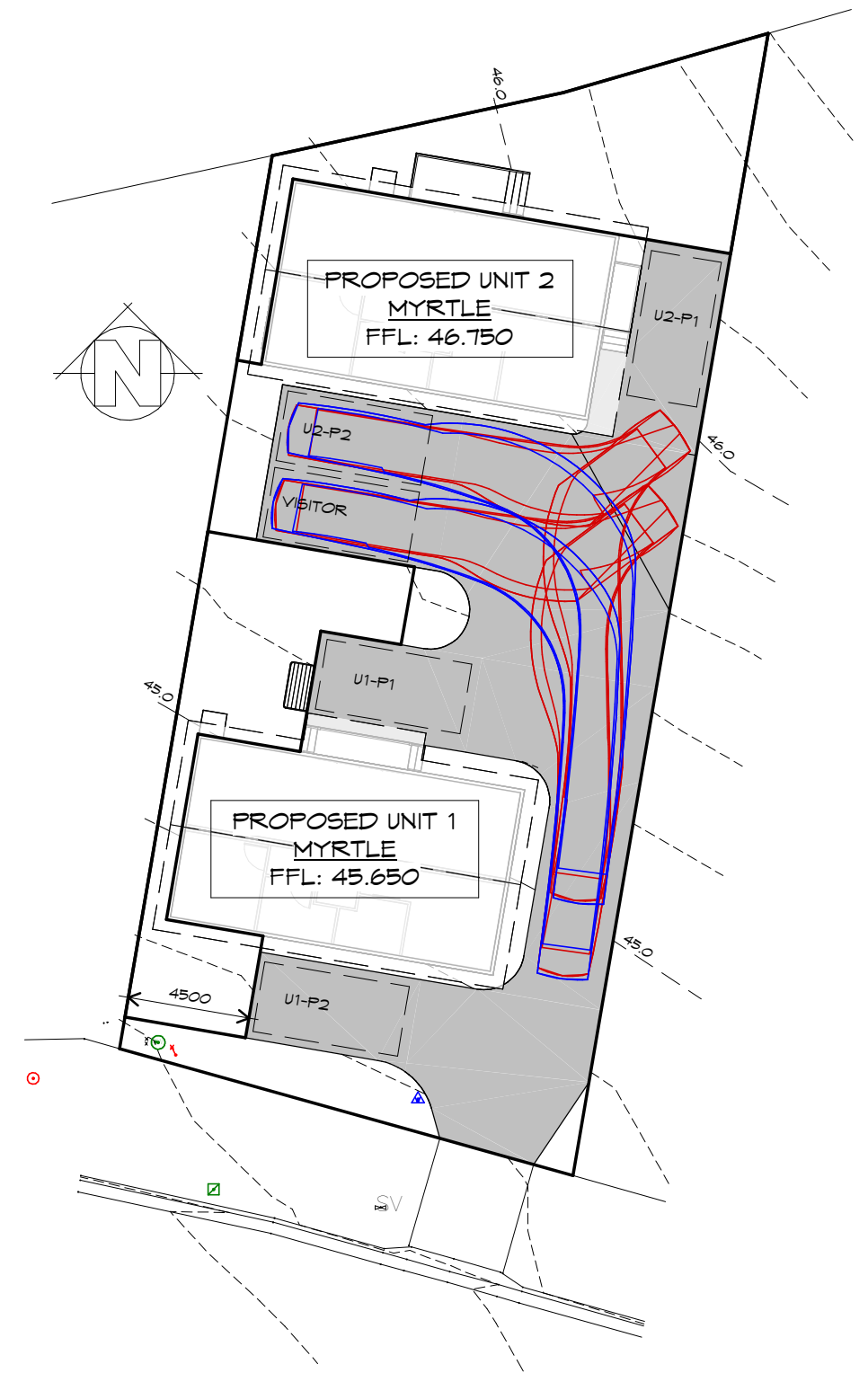
TURNING CIRCLE 1

1 : 250



TURNING CIRCLE 2

1 : 250



TURNING CIRCLE 3

1 : 250



REV.	DATE	DESCRIPTION

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
TURNING CIRCLES



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info@primedesigntas.com.au primedesigntas.com.au



Date: 01.06.2026	Drafted by: Author	Approved by: Approver
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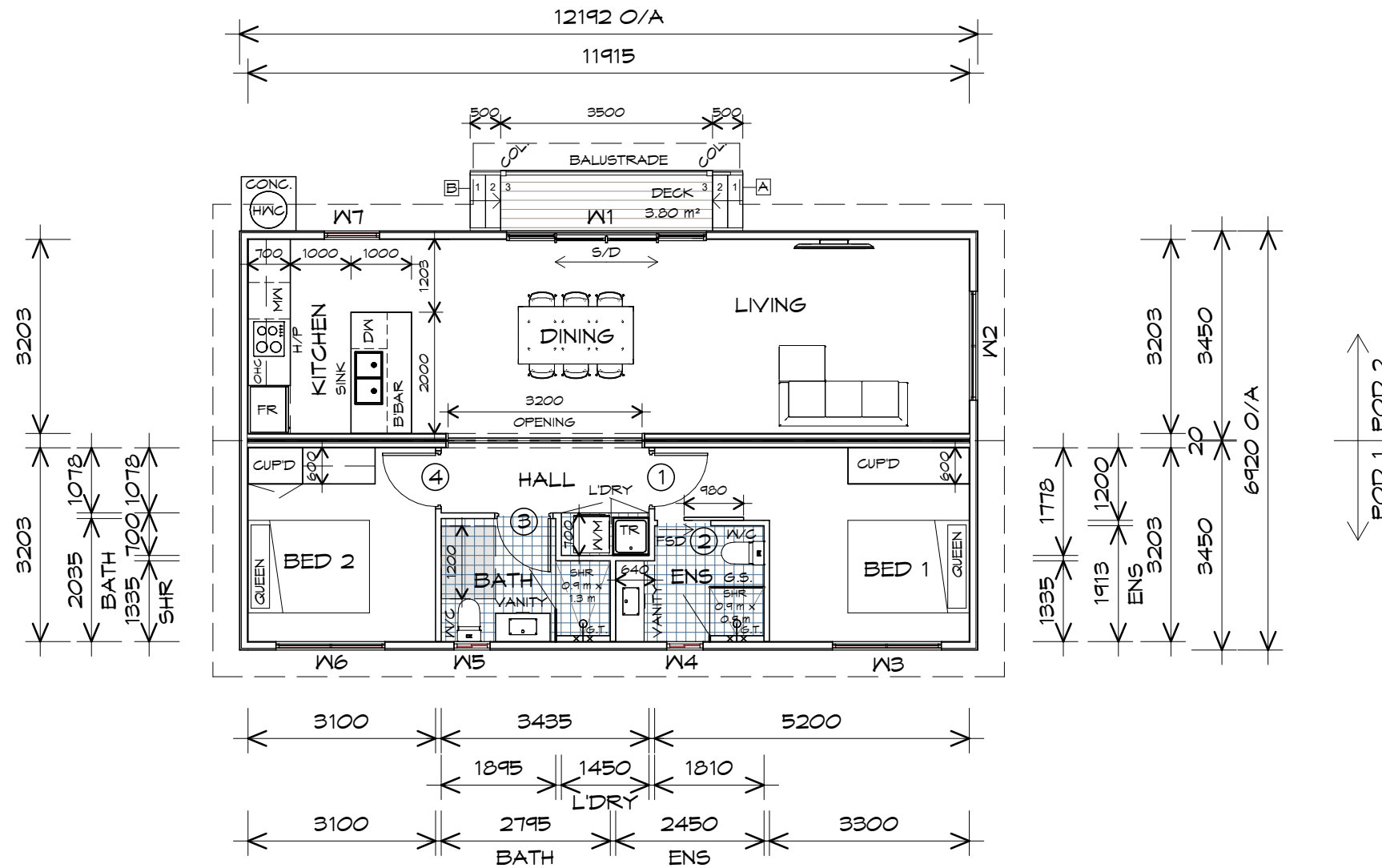
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THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

LEGEND

- FSD FACE SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
900x900 CONC. BASE
- COL COLUMN



FLOOR PLAN

1 : 100

U1 POD 1 AREA	42.06	m ²	(4.53 SQUARES)
U1 POD 2 AREA	42.06	m ²	(4.53 SQUARES)
TOTAL FLOOR AREA	84.12		9.06

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
 DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	No RISERS	RISER H'T	TREAD DEPTH
A	3	167	250
B	3	167	250

NON SLIP TO COMPLY NCC 2022



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Date: 04.05.2026
 Drafted by: T.W.
 Approved by: F.G.G.

Project/Drawing no: PDH25117 - U1-01
 Scale: 1 : 100
 Revision: 03

Accredited building practitioner: Frank Geskus - No CC246A
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UNIT 1 Client name: KNEST

Project: PROPOSED RESIDENTIAL DEVELOPMENT
 LOT 44 TASMAN RISE
 ROKEBY

Drawing: FLOOR PLAN

REV. DATE DESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	880	INTERNAL TIMBER DOOR	
2	880	FACE SLIDING DOOR	
3	880	INTERNAL TIMBER DOOR	
4	880	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2140	3300	DOUBLE SLIDING DOOR	
W2	600	1800	AWNING WINDOW	
W3	1200	1800	AWNING WINDOW	
W4	900	600	SLIDING WINDOW	OPAQUE
W5	900	600	SLIDING WINDOW	OPAQUE
W6	1200	1800	AWNING WINDOW	
W7	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-LOW** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE:
LOW REFLECTANCE GLASS TO BE USED ON ALL EXTERNAL WINDOWS TO COMPLY WITH CLA-S4.7.1 BIRD STRIKE, PARANVILLE SPECIFIC AREA PLAN



UNIT 1

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
DOOR AND WINDOW SCHEDULES



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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 04.05.2026
Drafted by: T.W.
Approved by: F.G.G.

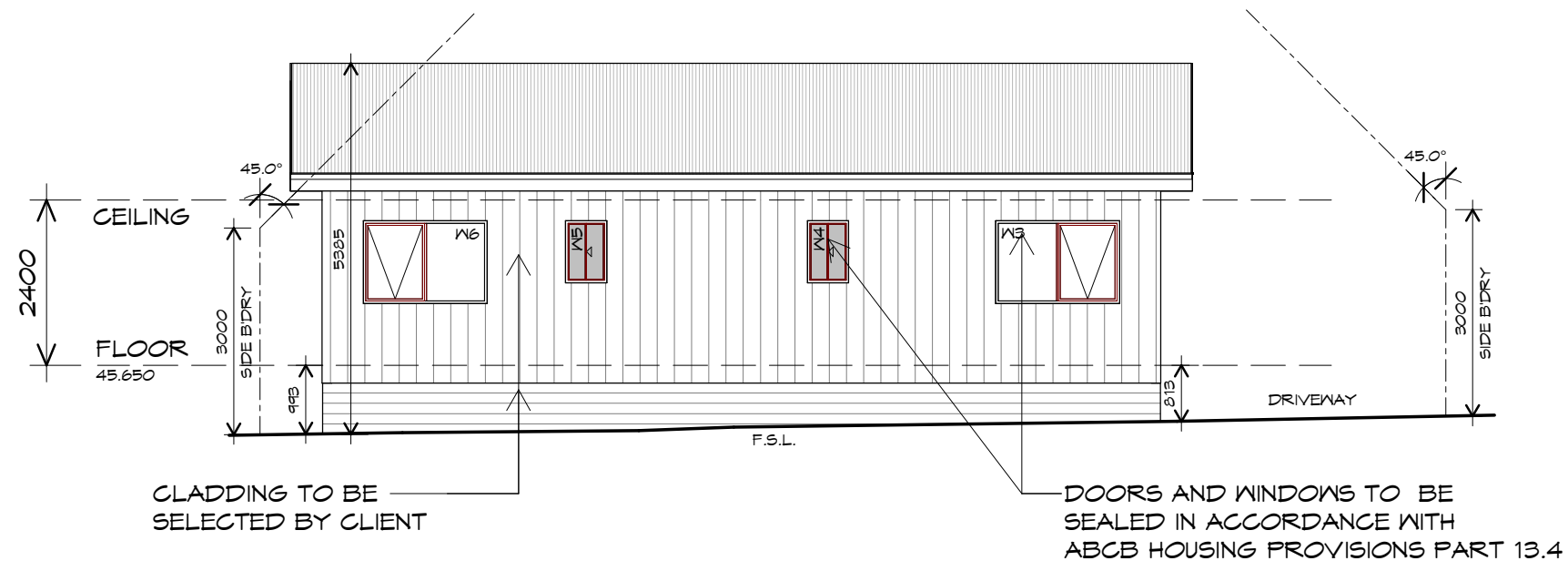
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Scale:
Revision: 03

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REV. DATE DESCRIPTION

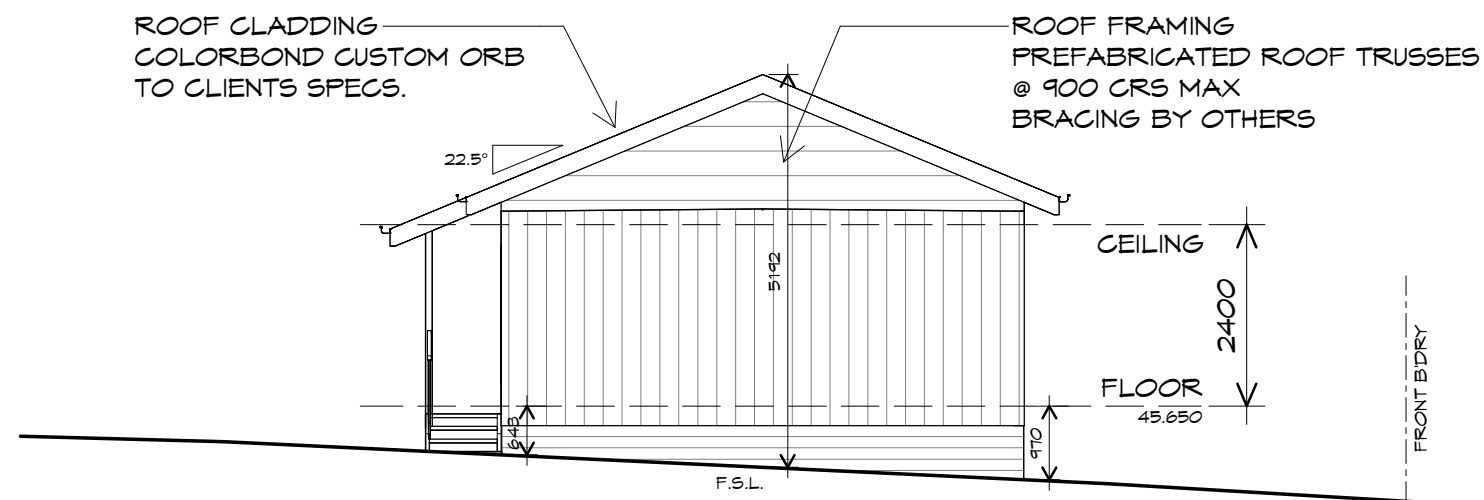
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



UNIT 1

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
ELEVATIONS



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 04.05.2026
Drafted by: T.W.
Approved by: F.G.G.

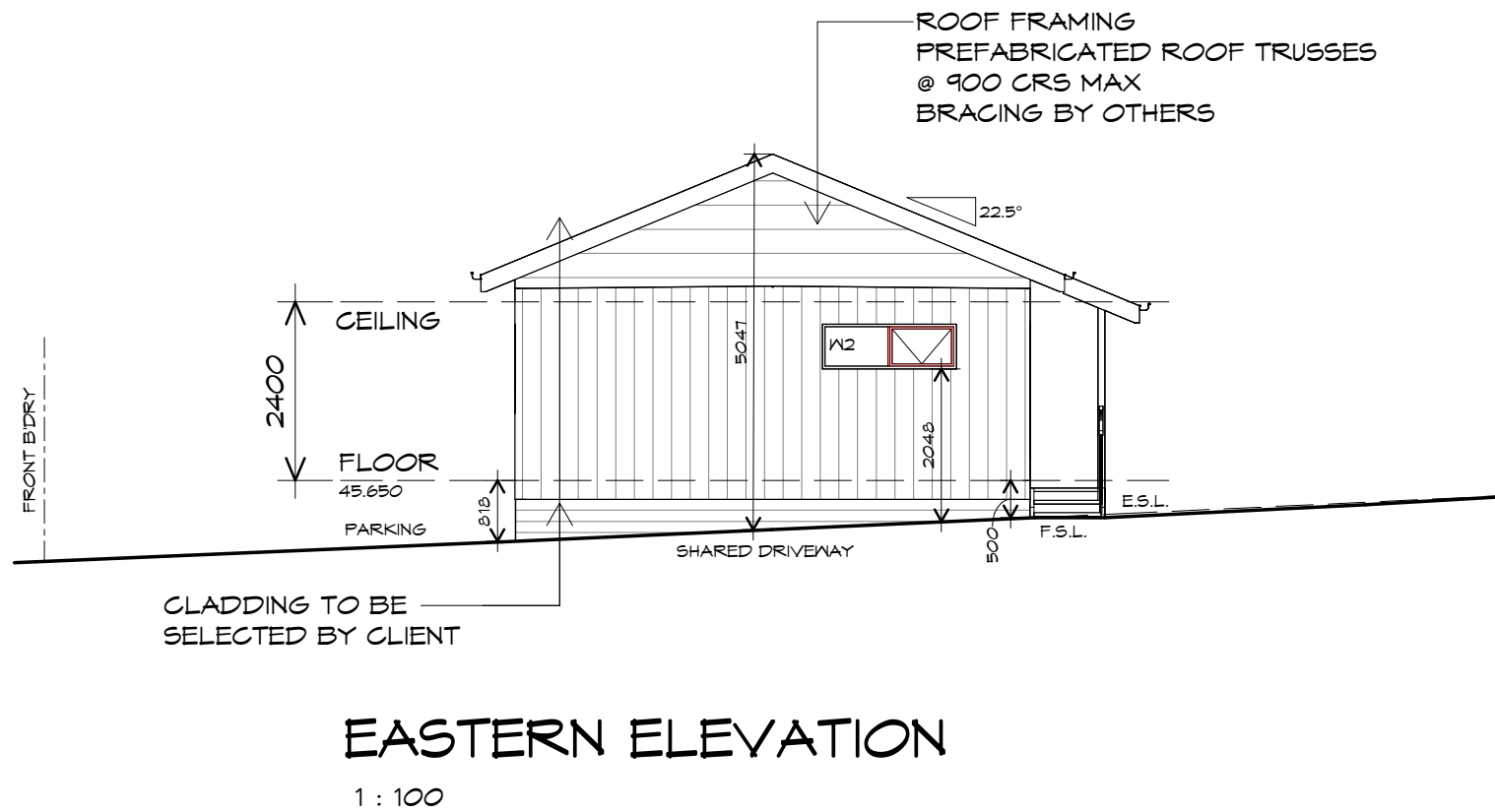
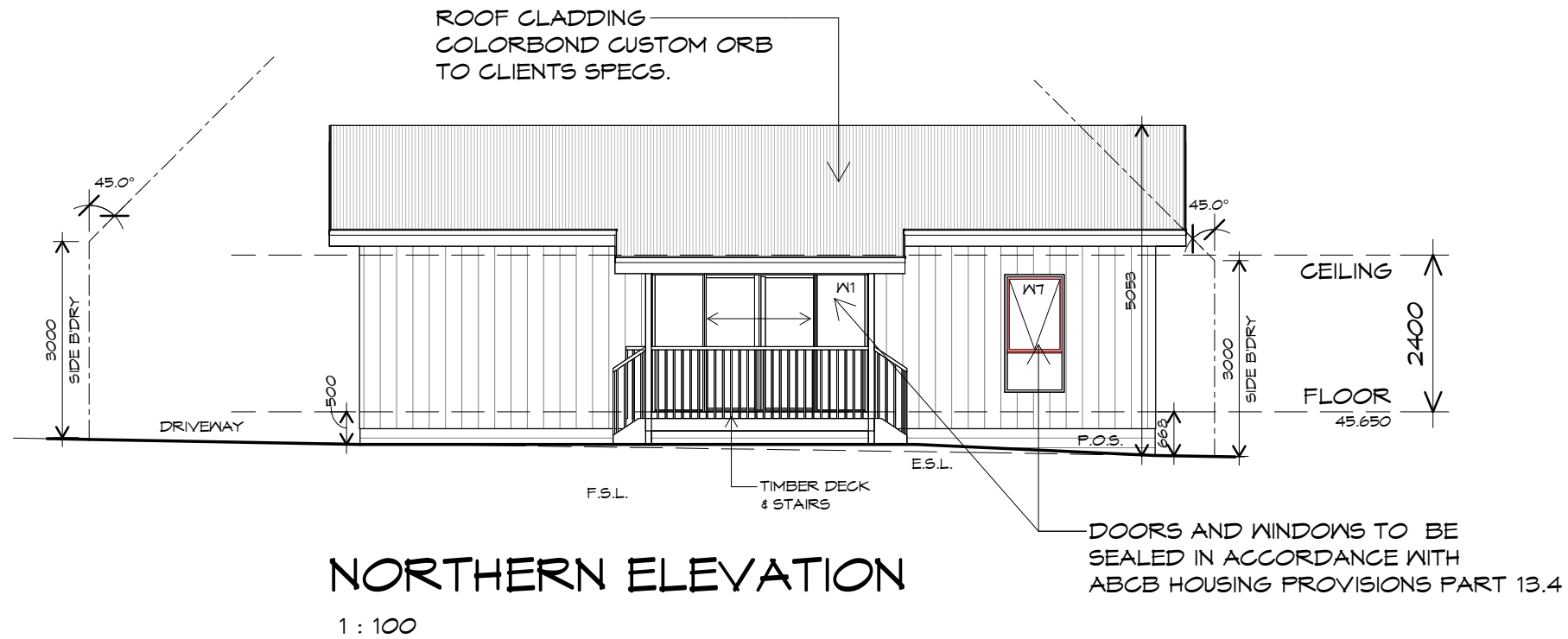
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Scale: 1 : 100
Revision: 03

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PLANNING

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UNIT 1

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
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Date: 04.05.2026
Drafted by: T.W.
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Project/Drawing no: PDH25117 - U1-04
Scale: 1 : 100
Revision: 03

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PLANNING

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ADDITIONAL ROOF LOAD
 NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
 NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
 TO BE IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 7.4.4
 WITH FALL NO LESS THAN
 1:500 FOR EAVES GUTTER
 BOX GUTTERS IN ACCORDANCE WITH
 AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
 EAVES GUTTER TO BE FIXED
 @ 1200 CRS MAX.

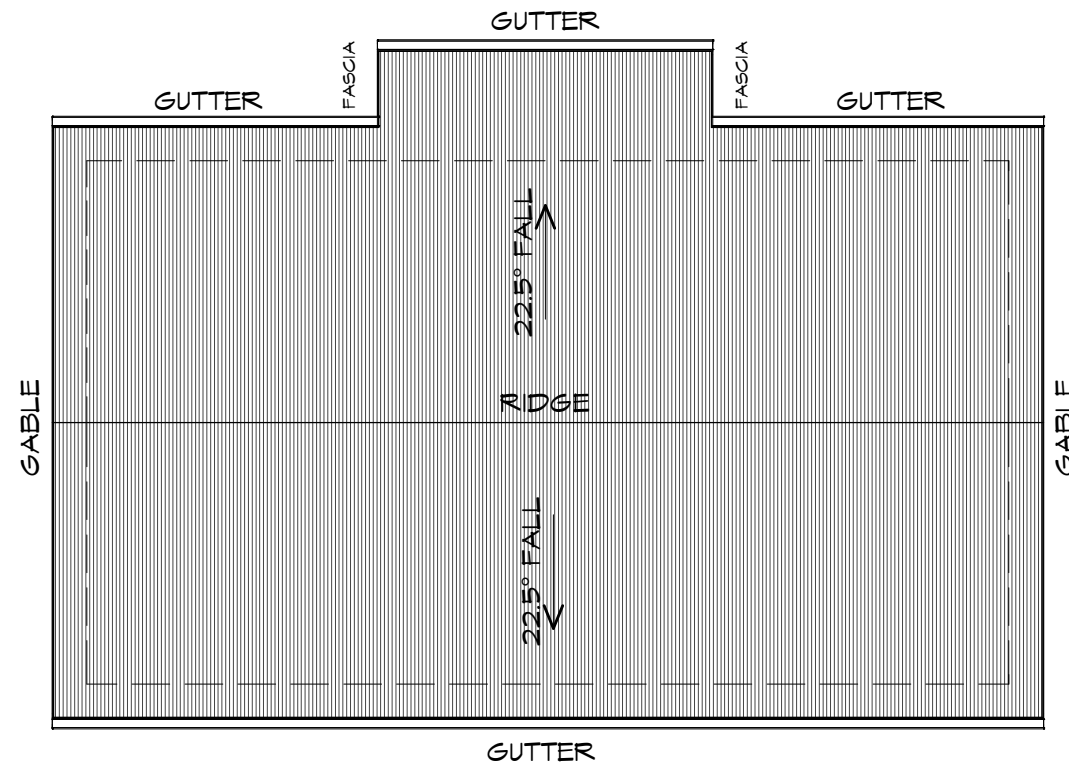
VALLEY GUTTERS ON A ROOF WITH A PITCH:
 A) MORE THAN 12.5° DEGREES - MUST
 HAVE A WIDTH OF NOT LESS THAN
 400mm AND ROOF OVERHANG OF NOT
 LESS THAN 150mm EACH SIDE OF VALLEY
 GUTTER.
 B) LESS THAN 12.5° DEGREES, MUST BE
 DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
 OF FLOW, RIVET & SEAL WITH AN
 APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
 PLAN ARE NOMINAL ONLY.
 EXACT LOCATION & NUMBER OF D.P.'S
 REQUIRED ARE TO BE IN ACCORDANCE
 WITH ABCB HOUSING PROVISIONS PART 7.4.5
 REQUIREMENTS.
 SPACING BETWEEN DOWNPIPES MUST NOT
 BE MORE THAN 12m & LOCATED AS CLOSE AS
 POSSIBLE TO VALLEY GUTTERS

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
 ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
 7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
 CORROSION PROTECTION FOR SHEET ROOFING,
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 OF CONTACT BETWEEN DIFFERENT ROOFING
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 DETAILS REFER TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
 REFER TO TO ABCB HOUSING PROVISIONS PART
 7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
 35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN

1 : 100



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UNIT 1

Client name:
 KNEST

Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOT 44 TASMAN RISE
 ROKEBY

Drawing:
 ROOF PLAN

Date: 04.05.2026
 Drafted by: T.W.
 Approved by: F.G.G.

Project/Drawing no: PDH25117 - U1-05
 Scale: 1 : 100
 Revision: 03

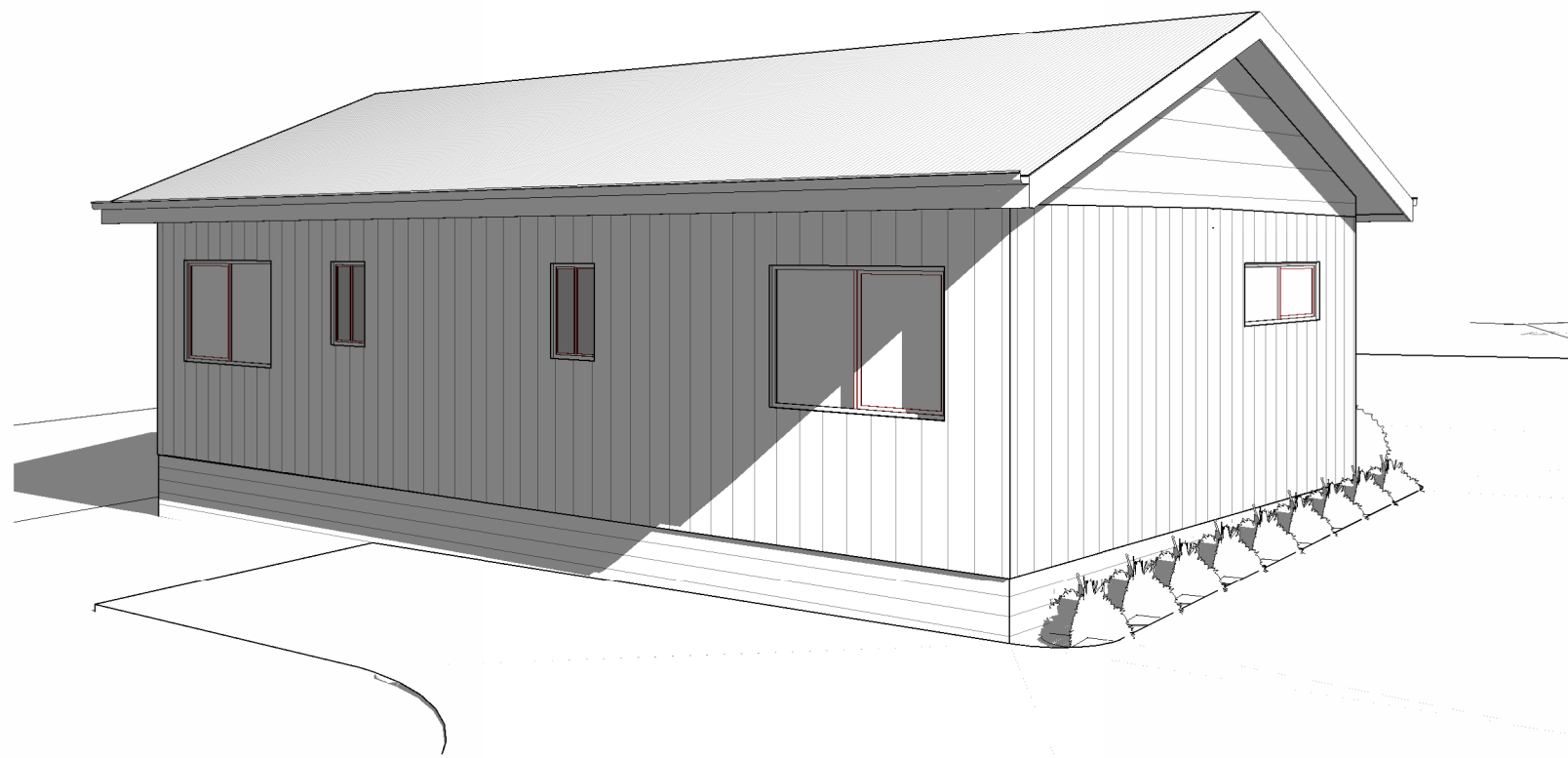
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UNIT 1

Client name:
 KNEST

Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOT 44 TASMAN RISE
 ROKEBY

Date: 04.05.2026
 Drafted by: T.W.
 Approved by: F.G.G.

Project/Drawing no: PDH25117 - U1-06
 Scale:
 Revision: 03

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PLANNING

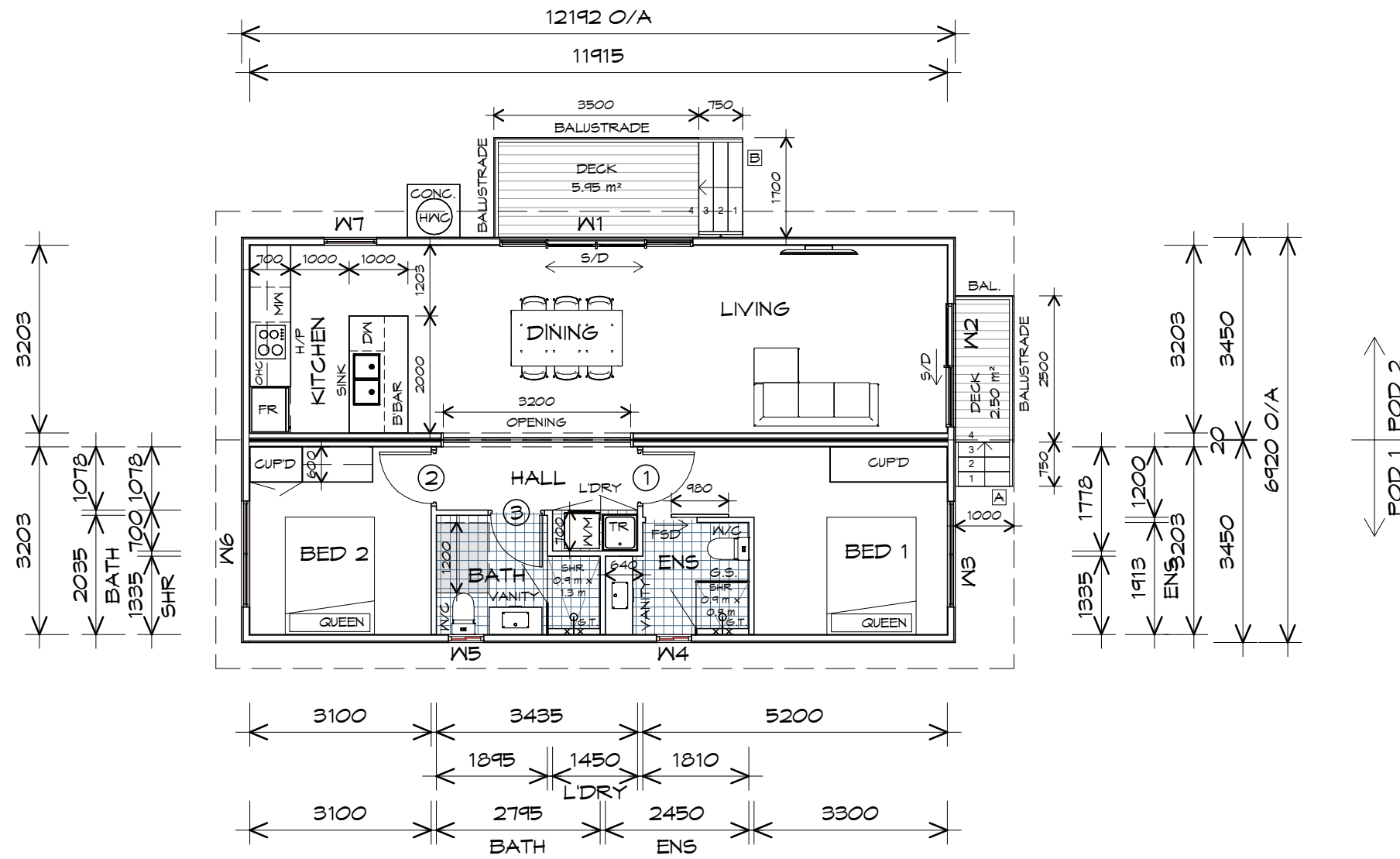
NOTE: DO NOT SCALE OFF DRAWINGS

Drawing:
 PERSPECTIVES

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

LEGEND

- FSD FACE SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- G.T. GRATED TRENCH
- MW MICROWAVE
- DW DISHWASHER
- HWC HOT WATER CYLINDER
900X900 CONC. BASE
- COL COLUMN



FLOOR PLAN

1 : 100

U2 POD 1 AREA	42.06 m ²	(4.53 SQUARES)
U2 POD 2 AREA	42.06 m ²	(4.53 SQUARES)
TOTAL FLOOR AREA	84.12	9.06

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
 DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	No RISERS	RISER H'T	TREAD DEPTH
A	4	150	250
B	4	163	250

NON SLIP TO COMPLY NCC 2022



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Date: 04.05.2026
 Drafted by: T.W.
 Approved by: F.G.G.

Project/Drawing no: PDH25117 - U2-01
 Scale: 1 : 100
 Revision: 03

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UNIT 2 Client name: KNEST

Project: PROPOSED RESIDENTIAL DEVELOPMENT
 LOT 44 TASMAN RISE
 ROKEBY

Drawing: FLOOR PLAN

REV. DATE DESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	880	INTERNAL TIMBER DOOR	
2	880	INTERNAL TIMBER DOOR	
3	880	INTERNAL TIMBER DOOR	
4	880	FACE SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2140	3300	DOUBLE SLIDING DOOR	
W2	2100	2110	SLIDING DOOR	
W3	1200	1800	AWNING WINDOW	
W4	900	600	SLIDING WINDOW	OPAQUE
W5	900	600	SLIDING WINDOW	OPAQUE
W6	1200	1810	AWNING WINDOW	
W7	1800	900	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **BAL-LOW** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE:
LOW REFLECTANCE GLASS TO BE USED ON ALL EXTERNAL WINDOWS TO COMPLY WITH CLA-S4.7.1 BIRD STRIKE, PARANVILLE SPECIFIC AREA PLAN



UNIT 2

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
DOOR AND WINDOW SCHEDULES



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H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
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Date: 04.05.2026
Drafted by: T.W.
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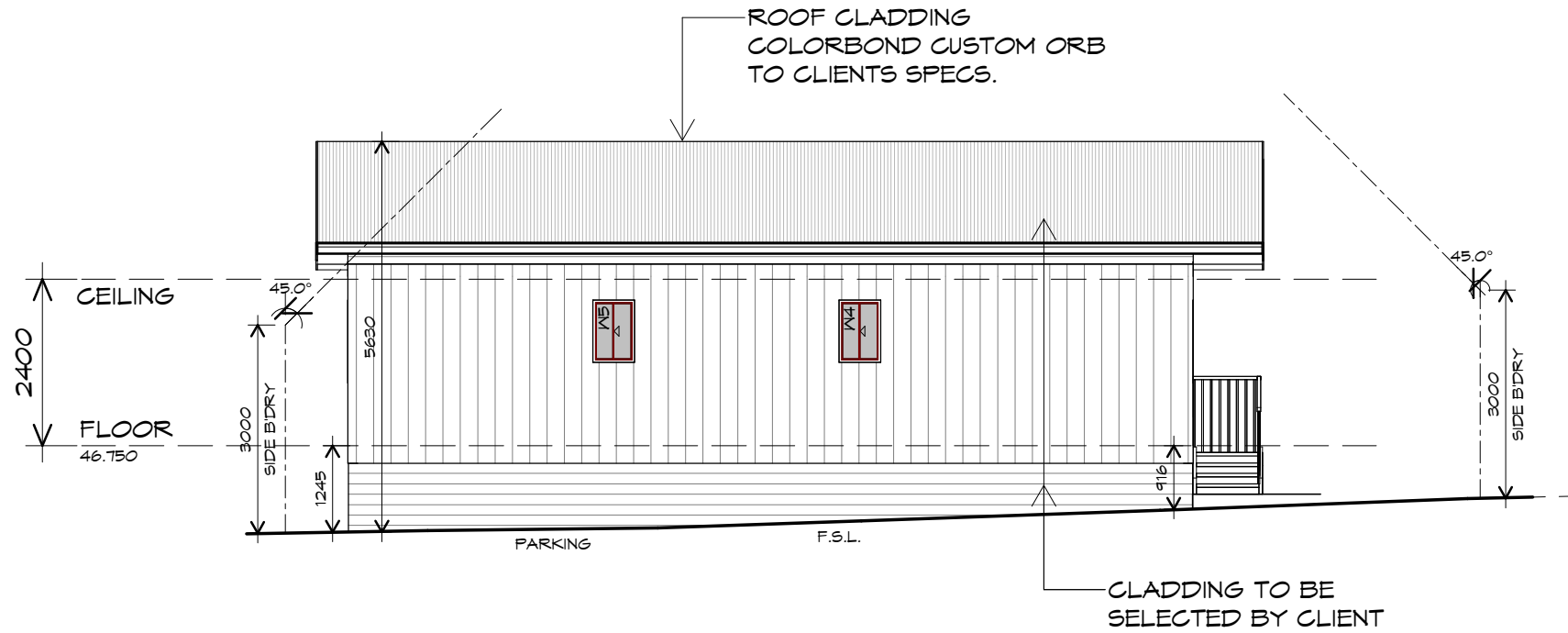
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Scale:
Revision: 03

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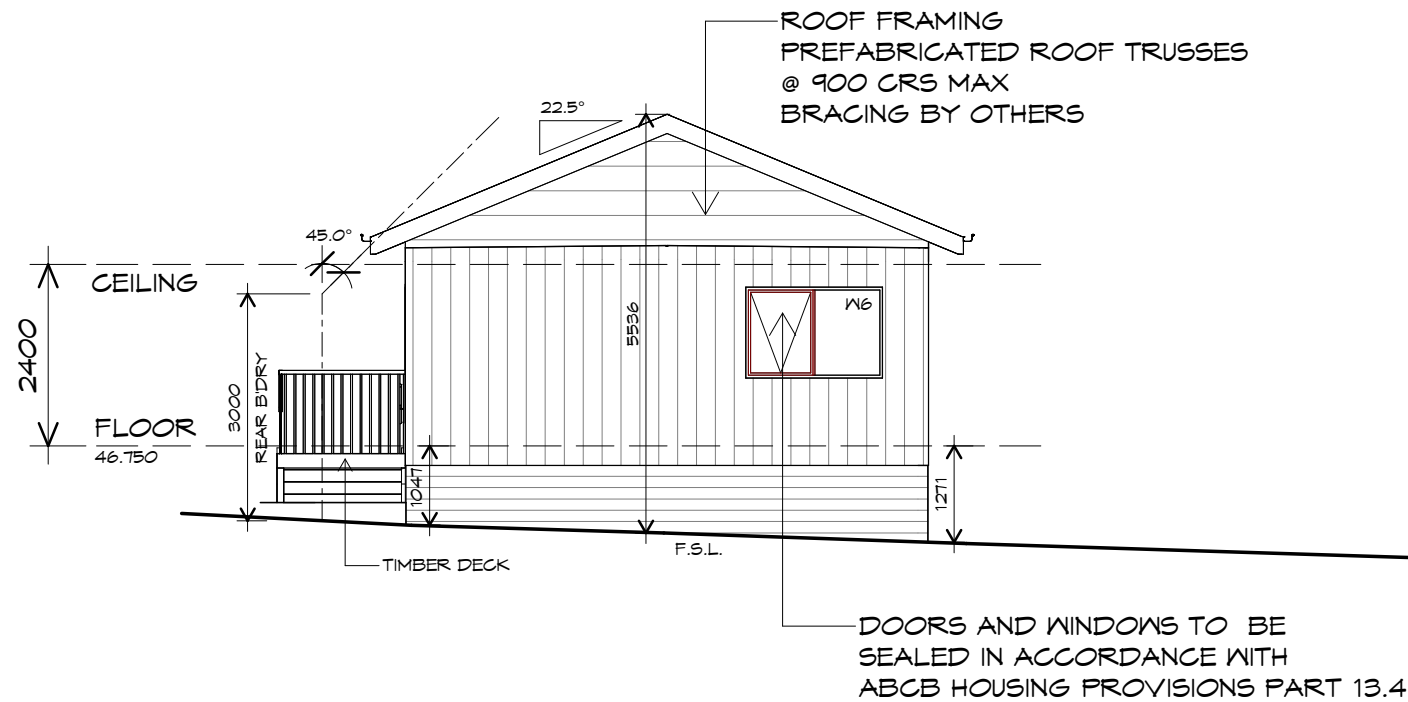
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



UNIT 2

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
ELEVATIONS



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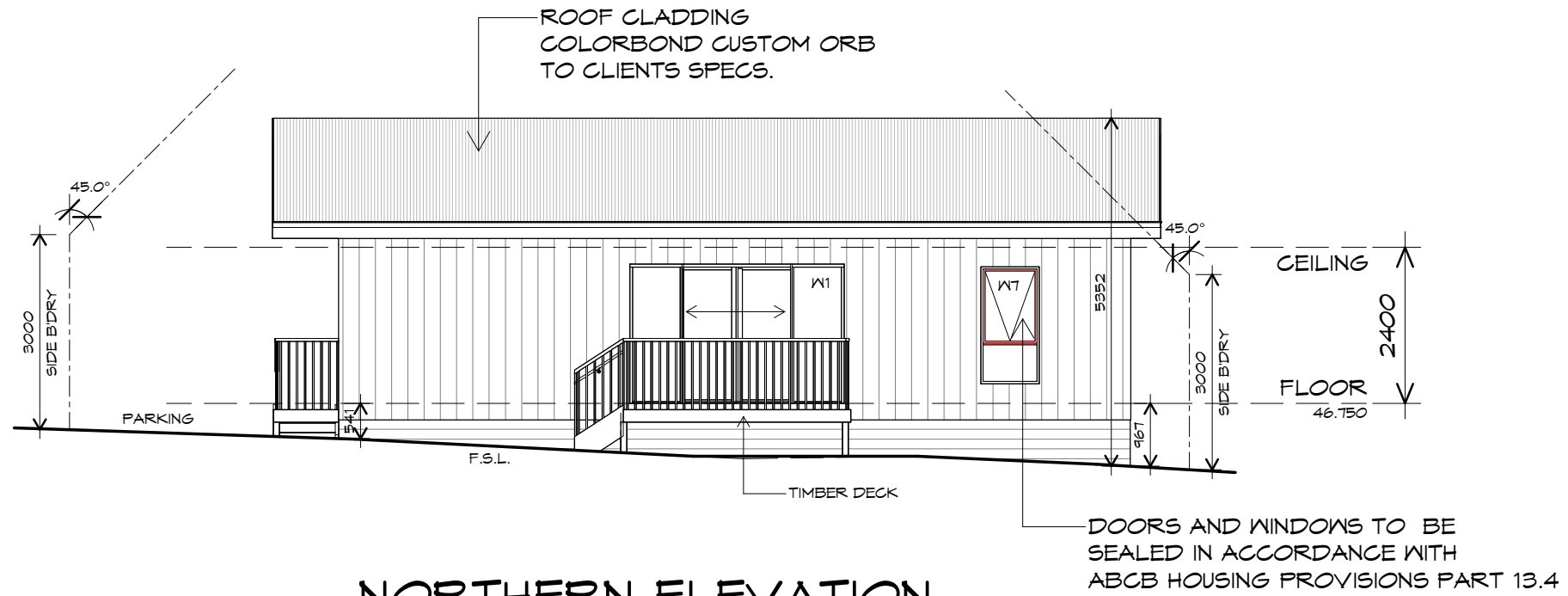
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Scale: 1 : 100
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REV.	DATE	DESCRIPTION

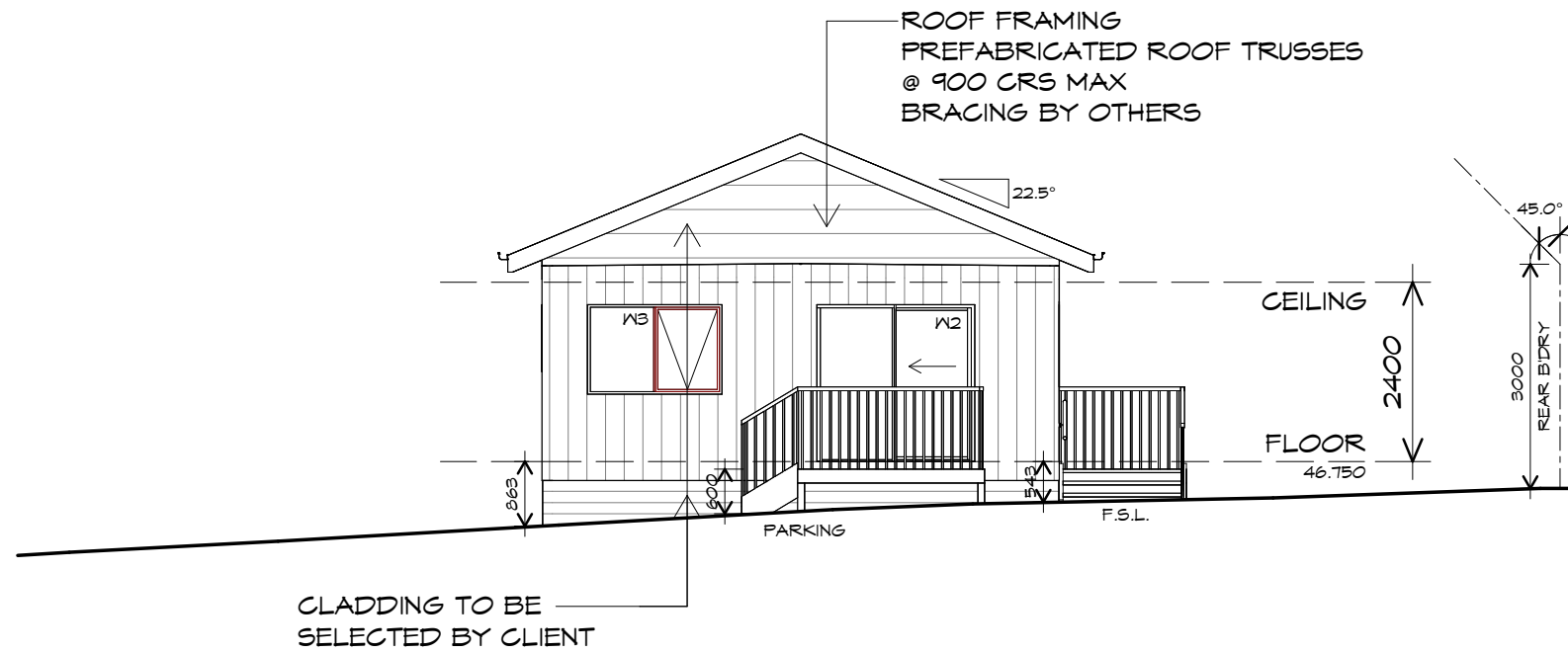
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100



UNIT 2

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
ELEVATIONS



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Date: 04.05.2026
Drafted by: T.W.
Approved by: F.G.G.

Project/Drawing no: PDH25117 - U2-04
Scale: 1 : 100
Revision: 03

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REV. DATE	DESCRIPTION
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PLANNING

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 WITH FALL NO LESS THAN
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 BOX GUTTERS IN ACCORDANCE WITH
 AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
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 @ 1200 CRS MAX.

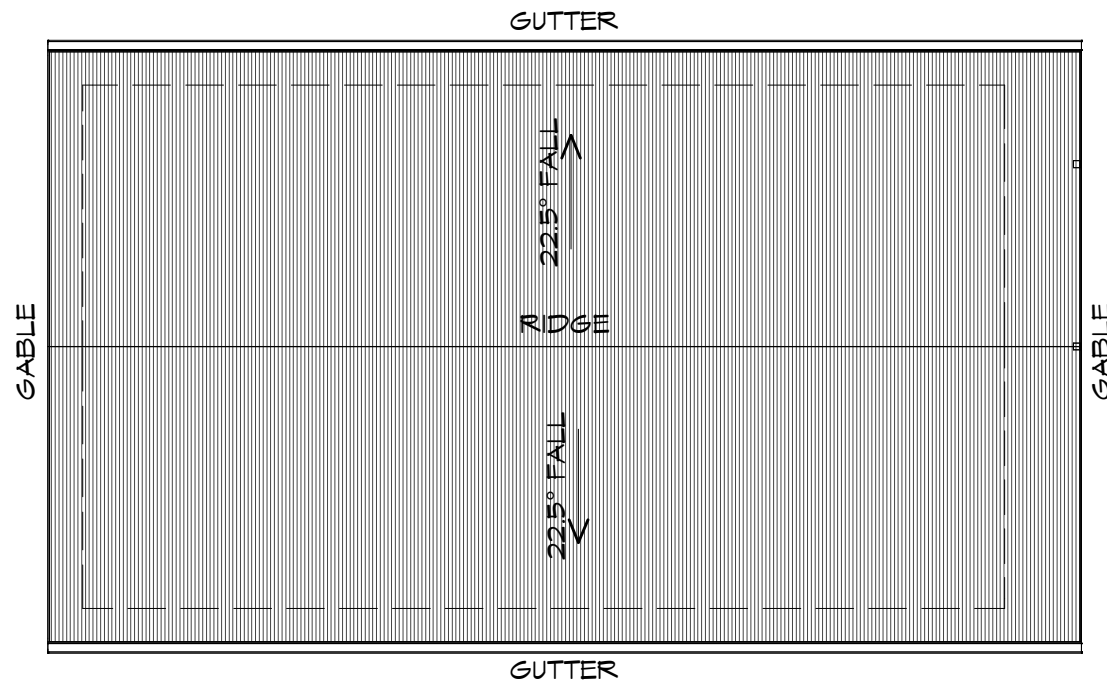
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DOWNPIPE POSITIONS SHOWN ON THIS
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 EXACT LOCATION & NUMBER OF D.P.'S
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ROOF PLAN

1 : 100



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UNIT 2

Client name:
 KNEST

Project:
 PROPOSED RESIDENTIAL DEVELOPMENT
 LOT 44 TASMAN RISE
 ROKEBY

Drawing:
 ROOF PLAN

Date: 04.05.2026
 Drafted by: T.W.
 Approved by: F.G.G.

Project/Drawing no: PDH25117 - U2-05
 Scale: 1 : 100
 Revision: 03

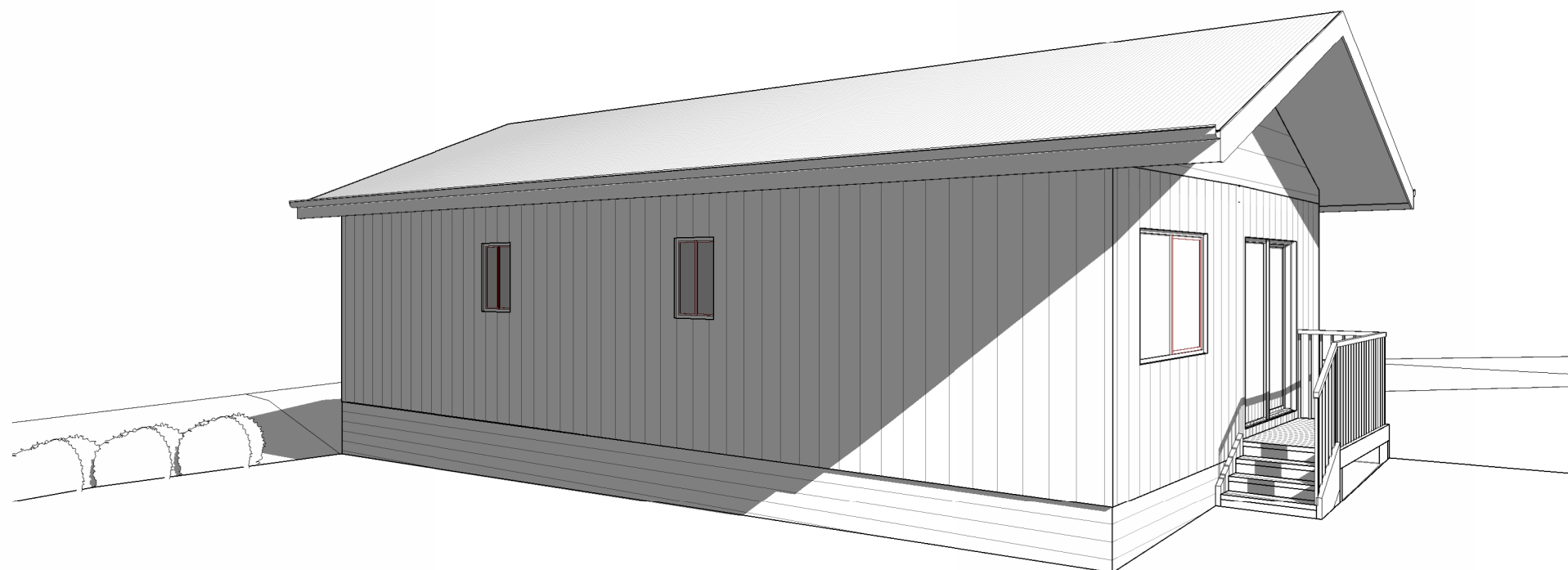
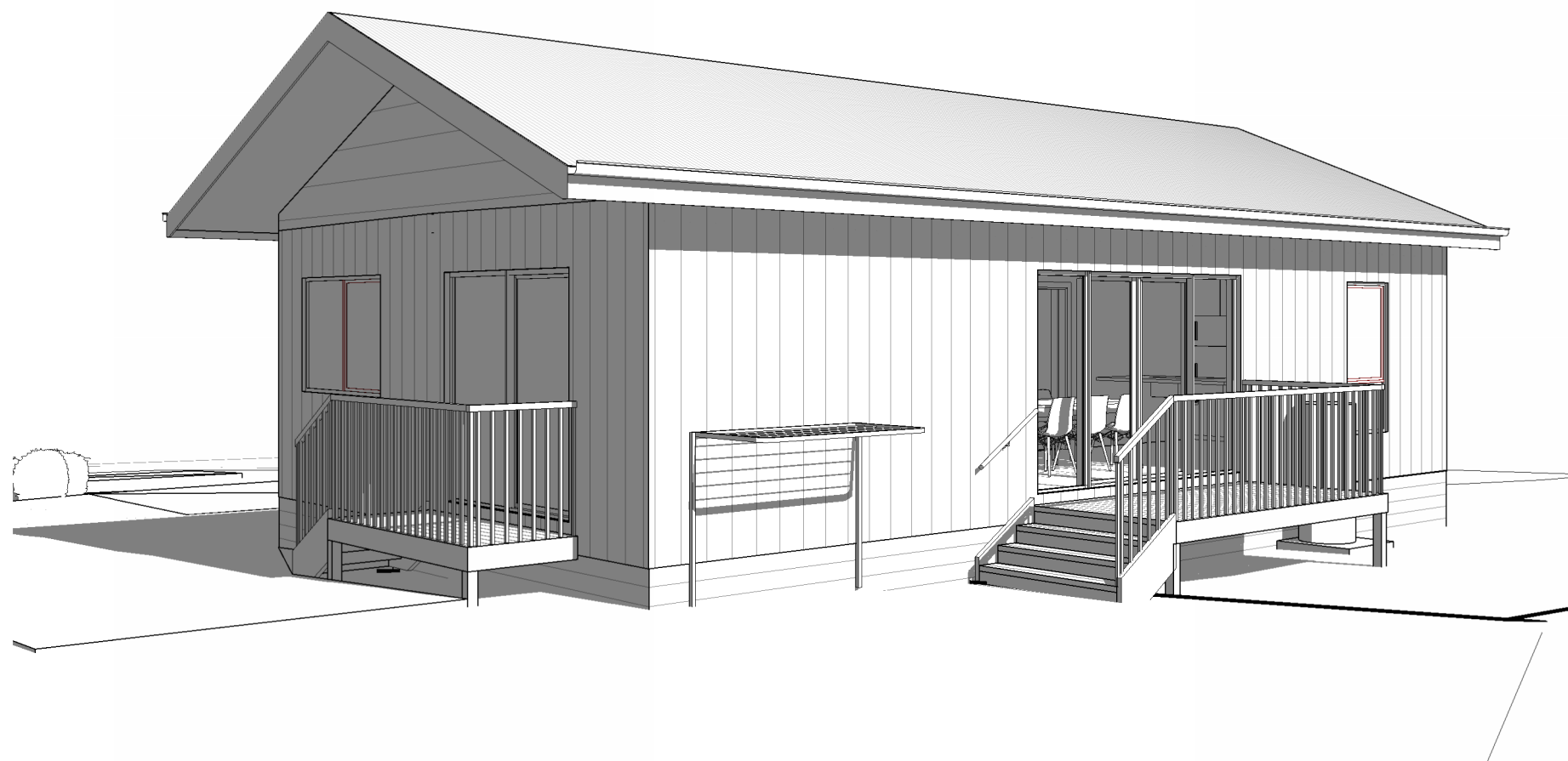
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UNIT 2

Client name:
KNEST

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT 44 TASMAN RISE
ROKEBY

Drawing:
PERSPECTIVES

Date:
04.05.2026

Drafted by:
T.W.

Approved by:
F.G.G.

Project/Drawing no:
PDH25117 - U2-06

Scale:

Revision:
03

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REV.	DATE	DESCRIPTION

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

1 June 2026

City of Clarence Council
38 Bligh St Rosny Park
PO Box 96
Rosny Park, TAS 7018
Email: clarence@ccc.tas.gov.au



Dear Planner,

Re: Proposed new 2-unit residential development at Lot 44, Tasman Rise, Rokeby

Zone 8.0 General Residential

8.4.1 Residential density for multiple dwellings


A1 Complies. Site area per dwelling is 325.5 m²

8.4.2 Setbacks and Building Envelope for all dwellings

- A1 (a) Complies. Dwellings are more than 4.5m from the primary frontage.
(b) Not applicable.
(c) Not applicable.
(d) Not applicable.
- A2 Not applicable. No carport or garages proposed.
- A3 (a) Does not comply along the western boundary. Roof line goes beyond building envelope for both Units 1 & 2 (see Southern Elevations).
(b) Does not comply. Setbacks are 0.9m along the western boundary, and exceeds the total length of 9m.

P3 (a) While the roof form extends beyond the building envelope along the western boundary, this encroachment is limited to a small portion of the roof and does not represent additional occupiable bulk, resulting in a negligible increase in overshadowing. Given the orientation of the dwellings, any additional overshadowing to the adjoining property occurs only in the early morning. The shadow diagrams demonstrate that overshadowing to adjoining property is not substantially greater than a compliant envelope outcome, and therefore will not cause unreasonable loss of amenity to adjoining properties. The visual bulk and scale are perceived to be moderate, where the protrusion is an articulated roof form, and its overall structure is setback 0.9m from the western boundary. This ensures the development does not present as visually overbearing when viewed from the adjoining property.

P3 (b) The proposal satisfies the performance criteria by providing adequate separation between the 2 units and avoiding unreasonable amenity impart. Each unit has a wall length of 6.9m, separated by 13.8m – a substantial break between them. This reduces visual bulk and maintains opportunities for light and outlook. At present, there are no existing or



established properties that provides a precedent, however the proposal establishes a reasonable pattern of development for the area.

P3 (c) There are no existing dwellings or solar energy systems on adjoining properties, therefore the proposal will not result in any direct solar access impacts. The development maintains opportunities for solar access to adjoining lots, and any additional overshadowing is limited and unlikely to affect peak solar access periods.

8.4.3. Site coverage and private open space for all dwellings

- A1 (a) Complies. Site coverage is 25.8%
- (b) Complies. Each associated private open space is more than 60m²
- A2 Complies with all clauses.

8.4.4 Sunlight to private open space of multiple dwellings

- A1 Complies with (b), where 50% of the affected private open space (Unit 1) receives at least 3 hours of sunlight between 9am and 3pm on 21st June.

8.4.5 Width of openings for garages and carports for all dwellings

- A1 Not applicable.

8.4.6 Privacy for all dwellings

- A1 Not applicable, proposed deck landings are less than 1m above existing ground level.
- A2 Unit 2, W6 is 1m above existing ground level, and is screened to 1.7m above the finished floor level, complying with (b).
- A3 The affected window Unit 1, W2 complies with (b).

8.4.7 Frontage fences for all dwellings

- A1 Front fence not included in proposal.

8.4.8 Waste storage for multiple dwellings

- A1 Complies with (a), see landscaping plan for more information.

C7.0 Natural Asset Code

C7.6.1 Buildings and works within a waterway and coastal protection area

P1.1 Unit 1 is located entirely outside the Waterway and Coastal Protection Area overlay and is therefore unaffected by this provision. Assessment under this criterion relates only to a small portion of Unit 2 located toward the rear of the site.

Approximately 4.6m² of the proposed dwelling footprint and 2.4m² of the associated timber deck extend within the Waterway and Coastal Protection Area. The encroachment is minor in scale and has been designed to minimise environmental impacts through elevating the finished floor levels, avoiding cut and fill, and maintaining the natural ground surface level. The proposal will not adversely affect natural assets, drainage patterns, riparian values, coastal processes or habitat values and is therefore considered to achieve the intent of the performance criteria.

(a) Impacts caused by erosion, siltation, sedimentation and runoff

The proposal involves no significant ground disturbance within the overlay area. The dwelling and deck are elevated above natural ground level, reducing the potential for erosion, sedimentation and altered runoff patterns. Standard construction management measures will further minimise any temporary impacts during building works.



(b) Impacts on riparian or littoral vegetation

The development footprint has been designed to minimise encroachment into the overlay area. No substantial removal of riparian or littoral vegetation is proposed, and the limited extent of the development within the overlay ensures impacts on vegetation are negligible.

(c) Maintaining natural streambank and streambed condition

The proposal does not involve works to any streambank, streambed or watercourse. Existing natural conditions will be retained and unaffected by the development.

(d) Impacts on in-stream natural habitat

No in-stream works are proposed. Natural habitat features such as fallen timber, bank overhangs, rocks, trailing vegetation and other aquatic habitat elements will remain undisturbed.

(e) Avoiding significant impediment to natural flow and drainage

The development has been designed with finished floor levels elevated approximately 0.9-1.2m above natural ground level on the affected and is designed to have minimal impact to any natural flow paths beneath the structures.

(f) Maintaining fish passage

No works are proposed within a watercourse, and no barriers or structures affecting fish passage will be created.

(g) Avoiding land filling of wetlands

The proposal does not involve filling of wetlands or modification of wetland areas.

(h) Grouping new facilities with existing facilities

The development is contained within an existing residential allotment and consolidates residential use within the new subdivision area.

(i) Minimising cut and fill

The proposal has been specifically designed to avoid earthworks. No cut or fill is required, with the building elevated above natural ground levels to respond to site conditions.

(j) Building design response to site characteristics

The dwelling responds appropriately to the site's existing contours, elevating the overall finished floor level no more than 1.2m while minimising disturbance to natural landform and the need for ground modification.

(k) Minimising impacts on coastal processes

Given the very limited extent of encroachment into the overlay area, the proposal will not materially affect coastal processes, including sand movement, wave action or natural coastal dynamics.

(l) Minimising the need for future protection works

The avoidance of significant earthworks reduces the likelihood of future intervention or protection works being required.

(m) Wetlands and Waterways Works Manual

The proposal is capable of being constructed in accordance with the principles contained within the Wetlands and Waterways Works Manual.



(n) Tasmanian Coastal Works Manual

The proposal is capable of being constructed in accordance with objectives of the Tasmanian Coastal Works Manual.

C2.0 Parking and Sustainable Transport Code

Please refer to page 02 site drainage plan for driveway gradients, and page 06 for turning circles. All parking gradients meet a maximum of 1:20.

CLA-S4.7.1 Paranville Specific Area Plan

Low reflectance glazing proposed to all external windows of both units to comply with A1(b)(ii).

Kind regards,
Tarcia Wong

24 April 2026

City of Clarence Council
38 Bligh St Rosny Park
PO Box 96
Rosny Park, TAS 7018
Email: clarence@ccc.tas.gov.au



Dear Planner,

Re: Proposed new 2-unit residential development at Lot 44, Tasman Rise, Rokeby

Zone: 8.0 General Residential

8.4.1 Residential density for multiple dwellings

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A3 (a) Does not comply along the western boundary. Roof line goes beyond building envelope for both Units 1 & 2 (see Southern Elevations).
(b) Does not comply. Setbacks are 0.9m along the western boundary, and exceeds the total length of 9m.

P3 (a) While the roof form extends beyond the building envelope along the western boundary, this encroachment is limited to a small portion of the roof and does not represent additional occupiable bulk, resulting in a negligible increase in overshadowing. Given the orientation of the dwellings, any additional overshadowing to the adjoining property occurs only in the early morning. The shadow diagrams demonstrate that overshadowing to adjoining property is not substantially greater than a compliant envelope outcome, and therefore will not cause unreasonable loss of amenity to adjoining properties. The visual bulk and scale are perceived to be moderate, where the protrusion is an articulated roof form, and its overall structure is setback 0.9m from the western boundary. This ensures the development does not present as visually overbearing when viewed from the adjoining property.

P3 (b) The proposal satisfies the performance criteria by providing adequate separation between the 2 units and avoiding unreasonable amenity impart. Each unit has a wall length of 6.9m, separated by 13.8m – a substantial break between them. This reduces visual bulk and maintains opportunities for light and outlook. At present, there are no existing or



established properties that provides a precedent, however the proposal establishes a reasonable pattern of development for the area.

P3 (c) There are no existing dwellings or solar energy systems on adjoining properties, therefore the proposal will not result in any direct solar access impacts. The development maintains opportunities for solar access to adjoining lots, and any additional overshadowing is limited and unlikely to affect peak solar access periods.

8.4.3. Site coverage and private open space for all dwellings

- A1 (a) Complies. Site coverage is 25.8%
- (b) Complies. Each associated private open space is more than 60m²
- A2 Complies with all clauses.

8.4.4 Sunlight to private open space of multiple dwellings

- A1 Complies with (b), where 50% of the affected private open space (Unit 1) receives at least 3 hours of sunlight between 9am and 3pm on 21st June.

8.4.5 Width of openings for garages and carports for all dwellings

- A1 Not applicable.

8.4.6 Privacy for all dwellings

- A1 Not applicable, proposed deck landings are less than 1m above existing ground level.
- A2 Unit 2, W6 is 1m above existing ground level, and is screened to 1.7m above the finished floor level, complying with (b).
- A3 The affected window Unit 1, W2 complies with (b).

8.4.7 Frontage fences for all dwellings

- A1 Front fence not included in proposal.

8.4.8 Waste storage for multiple dwellings

- A1 Complies with (a), see landscaping plan for more information.

Kind regards,
Tarcia Wong