



## **DEVELOPMENT APPLICATION**

**PDPLANPMTD-2026/061026**

**PROPOSAL:** Dwelling

**LOCATION:** 26 Creese Drive, Richmond

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 15/07/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15/07/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 15/07/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Planning Application

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Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **New Residential Building**

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Location: **Lot 34, 26 Creese Drive, Richmond**

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**Personal Information Removed**



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

#### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

#### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

**Personal Information Removed**



## Planning Application checklist

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### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

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- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

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### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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- Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
    - Location and capacity of any existing services or easements on/to the site.
    - Existing pedestrian and vehicle access to the site.
    - Location of existing and proposed buildings on the site.
    - Location of existing adjoining properties, adjacent buildings and their uses.
    - Any natural hazards that may affect use or development on the site.
    - Proposed roads, driveways, car parking areas and footpaths within the site.
    - Any proposed open space, communal space, or facilities on the site.
- 



- Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
  - Private open space for each dwelling.
  - External storage spaces.
  - Car parking space location and layout.
  - Major elevations of every building to be erected.
  - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
  - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
  - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
  - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
  - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
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This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.




I/We Jac Estates Pty Ltd

Owner/s of Lot 34, 26 Creese Drive, Richmond

Hereby appoint Wilson Homes Pty Ltd to act as authorised agents to apply for any required certificates and permits, and to provide any necessary information to, or communicate with the relevant council as required in accordance with the Building Act 2016 section 319 and the Acts Interpretation Act Section 23AA. All costs associated with certificates and approvals will be covered by Wilson Homes Pty Ltd.

Signed Owner/s:

Owner Name/s: Jac Estates Pty Ltd - Peter King - Land manager

Signature:  Date: 29/04/2026

Owner Name/s: JAC Group

Signature:  Date: 29/04/2026

*start living*

1300 595 050 [wilsonhomes.com.au](http://wilsonhomes.com.au)

Southern Head Office 156 New Town Road, New Town Tasmania

Northern Head Office Level 1, 78-96 Wellington Street, Launceston Tasmania

SEARCH OF TORRENS TITLE

VOLUME 189888	FOLIO 34
EDITION 1	DATE OF ISSUE 02-Jan-2026

SEARCH DATE : 10-Apr-2026

SEARCH TIME : 08.34 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 34 on Sealed Plan 189888

Derivation : Part of 569A-2R-0P Gtd. to Thomas Daniel Cosgrove

Prior CT 189511/103

SCHEDULE 1

M932992 & M933512 TRANSFER to JAC MULTI ASSET PTY LTD

Registered 27-May-2022 at 12.02 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP189888 EASEMENTS in Schedule of Easements

SP189888 COVENANTS in Schedule of Easements

SP189888 FENCING PROVISION in Schedule of Easements


SP184978, SP186408, SP186867, SP187236 & SP189511 COVENANTS in  
Schedule of Easements

SP186408, SP186867, SP187236 & SP189511 FENCING PROVISION in  
Schedule of Easements

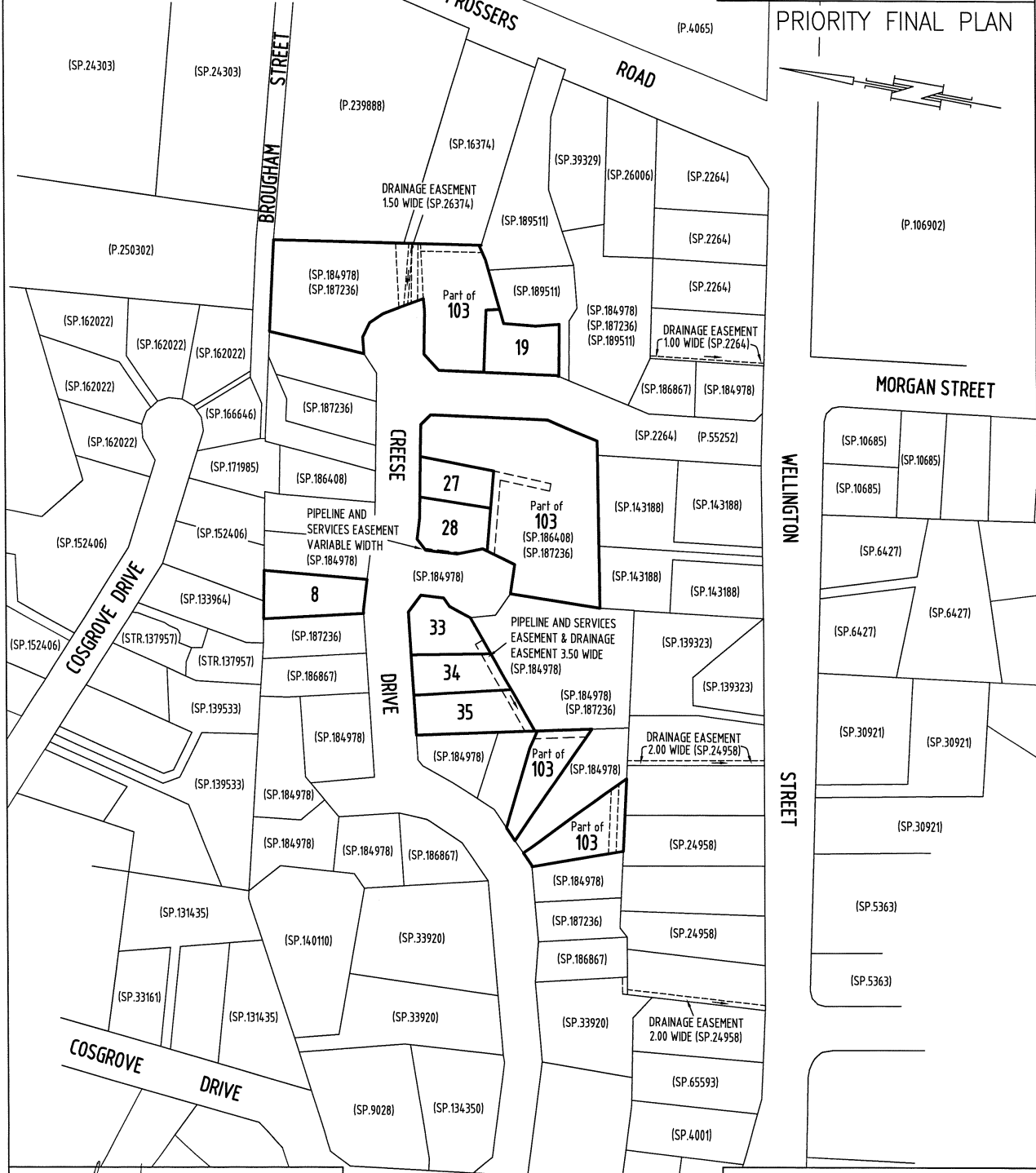
SP11304 & SP184978 FENCING COVENANT in Schedule of Easements

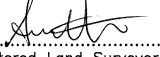

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: JAC MULTI ASSET PTY LTD	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR SAMUEL FRANKLIN HARVEY  <b>ROGERSON AND BIRCH SURVEYORS</b>          UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK          PH 6248-5898 MOB. 0402-476-360</p> <p><b>CITY OF CLARENCE</b></p> <p>SCALE 1:1500      LENGTHS IN METRES</p>	REGISTERED NUMBER <b>SP189888</b>
FOLIO REFERENCE: CT.189511/103		APPROVED EFFECTIVE FROM <b>-2 JAN 2026</b>
GRANTEE: PART OF 569A-2R-0P GRANTED TO THOMAS DANIEL COSGROVE & PART OF 5A-1R-22P GRANTED TO CATHERINE SHELVERTON & BRIDGET WARTON	<p><b>CITY OF CLARENCE</b></p>	 Recorder of Titles

LOT 103 IS COMPILED FROM CT.189511/103 & THIS SURVEY      INDEX PLAN      ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 Registered Land Surveyor	04/12/2025 Date	 Council Delegate Clare Shea 22.12.2025 Date
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<b>SCHEDULE OF EASEMENTS 1</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 189888</b>

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Drainage**

Lots 33, 34, 35 are SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.50 WIDE (SP.184978)" passing through such lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184978)" passing through such lot on the plan.

That part of Lot 103 formerly comprised in Lot 1 on P174538 is TOGETHER WITH a right of drainage over the land marked "DRAINAGE EASEMENT 2.00 WIDE (SP.24958)" on the plan.

That part of Lot 103 formerly comprised in Lot 1 on D40183 is TOGETHER WITH a right of drainage over the land marked "DRAINAGE EASEMENT 1.00 WIDE (SP.2264)" on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "DRAINAGE EASEMENT 1.50 WIDE (SP.26374)" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "DRAINAGE EASEMENT 10.00 WIDE (SP.184978)" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP.184978)" passing through that lot on the plan.


**Taswater**

Lots 33, 34, 35 are SUBJECT TO a pipeline and services easement in gross (in favour of TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.50 WIDE (SP.184978)" ("the Easement Land") passing through that lot on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC MULTI ASSET P/L FOLIO REF: 189511/103 SOLICITOR: BUTLER McINTYRE & BUTLER (JS:252694)	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 22 <sup>nd</sup> December 2025 2019-003190 & 2024/046803 REF NO. <i>Clare Shea</i> Council Delegate
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p><b>SP 189888</b></p>
<p>SUBDIVIDER: JAC MULTI ASSET P/L FOLIO REFERENCE: 189511/103</p>	

Lot 103 is SUBJECT TO a pipeline and services easement in gross (in favour of TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184978)" ("the Easement Land") passing through that lot on the plan.

~~Lot 28 & 103 are~~ <sup>is</sup> Lot 103 is SUBJECT TO a pipeline and services easement in gross (in favour of TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH (SP.184978)" ("the Easement Land") passing through that lot on the plan.

Lot 103 is SUBJECT TO a pipeline and services easement in gross (in favour of TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT 2.50 WIDE (SP.184978)" ("the Easement Land") passing through that lot on the plan.

**FENCING PROVISION**

In respect to the lots on the plan the vendor (JAC Multi Asset Pty Ltd) shall not be required to fence

**INTERPRETATION**

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

Director: 

Director: 

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p><b>SP 189888</b></p>
<p>SUBDIVIDER: JAC MULTI ASSET P/L FOLIO REFERENCE: 189511/103</p>	

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**"Infrastructure"** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

**RESTRICTIVE COVENANTS**

Lots 8, ~~18~~, 19, 27, 28, 33, 34 & 35<sup>#103</sup> are subject to the covenants in SP186867, SP187236 and SP 189511 as follows;

1. Not to make any or permit or suffer the making of any alterations to the finished surface levels of the overland flowpath, swale drain or catch drain constructed within the area marked DRAINAGE EASEMENT 10.00 WIDE on the plan without prior consent in writing of Clarence City Council.
2. Not to make or permit or suffer the placement of any fencing within the drainage easement area with the exception of open style fencing that does not obstruct surface flows to or within the area marked DRAINAGE EASEMENT' 10.00 WIDE on the plan.
3. Not to make or permit or suffer the placement of any wall, structure, landscaping, or vegetation, with the exception of grass or turf within the area marked DRAINAGE EASEMENT 10.00 WIDE on the plan.

Director: 

Director: 

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 4 PAGES	Registered Number <b>SP 189888</b>
SUBDIVIDER: JAC MULTI ASSET P/L FOLIO REFERENCE: 189511/103	

Executed by **JAC MULTI ASSET PTY LTD (ACN 636 512 082)**  
 pursuant to section 127(1) Corporations Act (Cth) 2001 by-

PETER KRIZ  
 Name of Director

*Peter Kriz*  
 Signature of Director

DEAN MURRAY COCKER  
 Name of Director

*Dean Murray Cocker*  
 Signature of Director

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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# DA TASMANIAN PLANNING SCHEME

## SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS
6	ELEVATIONS / SECTION
7	WINDOW & DOOR SCHEDULES
8	ROOF DRAINAGE PLAN
9	FLOOR COVERINGS
10	KITCHEN DETAILS
11	BUTLERS PANTRY
12	BATHROOM DETAILS
13	ENSUITE DETAILS
14	WC DETAILS
15	LAUNDRY DETAILS

## TOTAL FLOOR AREAS

### MAIN DWELLING, GROUND FLOOR

COURTYARD	21.70
GARAGE	39.79
LIVING	172.59
PORCH	3.04
<b>TOTAL</b>	<b>237.12 m<sup>2</sup></b>

## AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.**
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
  - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
  - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
  - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
  - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
  - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
  - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
  - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
  - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
  - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
  - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
  - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
  - SERVICES IN ACCORDANCE WITH NCC 2022.
  - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
  - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
  - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

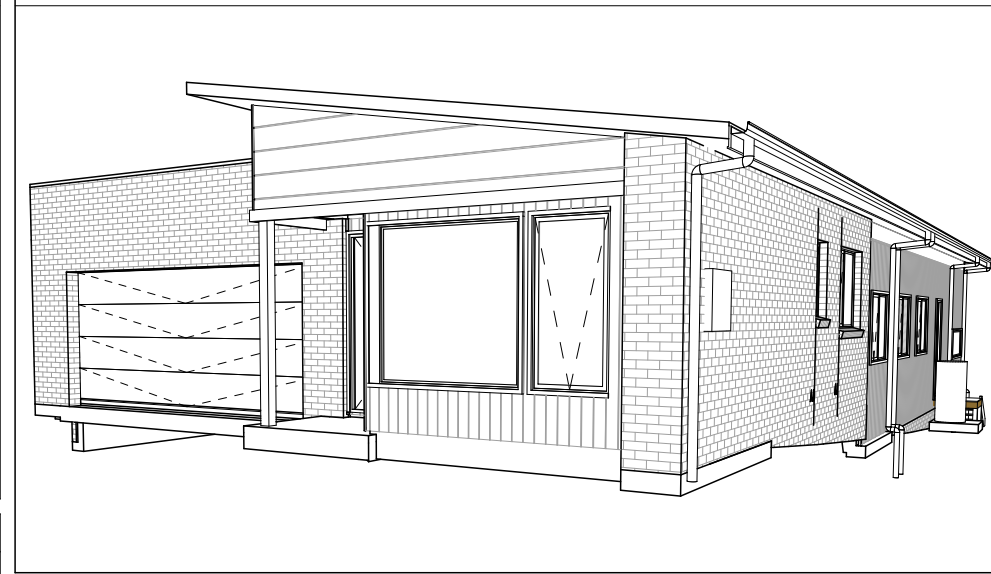
## SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	NO
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (NOT EXPOSED)
DESIGN WIND SPEED	40.00 m/s (NOT EXPOSED)
ESTATE/DEVELOPER GUIDELINES	RICHMOND GREEN COVENANTS
FLOOD OVERLAY	YES
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	TBC
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	P
SPECIFIC AREA PLAN OVERLAY	NO
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T0
WATERWAY & COASTAL OVERLAY	YES
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	NO
ZONING	GENERAL RESIDENTIAL

## BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
<b>SETBACKS</b>		
FRONT	MIN. 4,500mm	4,500mm
GARAGE TO BOUNDARY	MIN. 5,500mm	6,270mm
SIDE A	MIN. 1,500mm	1,550mm
SIDE B	MIN. 1,500mm	2,257mm
REAR	MIN. 1,500mm	4,651mm
<b>BULK &amp; SCALE</b>		
SITE AREA	555m <sup>2</sup>	
SITE COVERAGE	MAX. 50%	42.72%
<b>LANDSCAPE</b>		
NO APPLICABLE CONTROLS		
<b>EARTHWORKS</b>		
CUT DEPTH	MAX. 2,000mm	2,615mm
FILL DEPTH	MAX. 1,000mm	179mm
<b>ACCESS &amp; AMENITY</b>		
PRIVATE OPEN SPACE	MIN. 24m <sup>2</sup>	24m <sup>2</sup>

## 3D PERSPECTIVE



## NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

## LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-  
 Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved  
 subdivision plans providing crossover locations and service connection points, power and communications connection point  
 information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

## BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	3291mm, 2605mm, 2675mm, 3977mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	3.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

## INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE)
WALL WRAP	WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

## NCC 2022 LIVABLE HOUSING COMPLIANCE

- STEP FREE ENTRANCE LOCATION: N/A (TAS)  
 ACCESSIBLE SANITARY COMPARTMENT LOCATION: ENS (GROUND FLOOR)  
 ACCESSIBLE SHOWER LOCATION: ENS (GROUND FLOOR)
- GENERAL NOTES:
- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5mm.
  - THRESHOLD OF STEP FREE ENTRANCE DOOR TO BE MAX. 5mm.
  - THRESHOLD OF INTERIOR DOORS SERVICING HABITABLE ROOMS, LAUNDRY, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO BE MAX. 5mm.
  - INTERIOR DOORS NOMINATED AS 870 TO ACHIEVE MIN. 820mm CLEAR OPENING.
  - CORRIDORS CONNECTING HABITABLE ROOMS, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO ACHIEVE MIN. 1000mm CLEARANCE BETWEEN FINISHED SURFACE OF OPPOSING WALLS (EXCL. SKIRTINGS).
  - REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

## PRELIMINARY PLAN SET

1	PRELIMINARY DA PLAN SET - INITIAL ISSUE	ALL	2026.04.20	HAB	MSP
2	DA PLAN SET - ISSUE	ALL	2026.04.29	HAB	
3	DA RFI	2	2026.05.27	HAB	
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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		2 DA PLAN SET - ISSUE	HAB 29/04/2026	ADDRESS:	FACADE DESIGN:	FACADE CODE:	714767
		3 DA RFI	HAB 27/05/2026	26 CREESE DRIVE, RICHMOND TAS 7025	BYRON	F-WDNBLB10BYRNA	
				LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
				34 / - / 189888	COVER SHEET	1 / 15	
				COUNCIL:		SCALES:	
				CLARENCE			

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ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
  2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
  3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
  4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
  5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
  6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
  7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

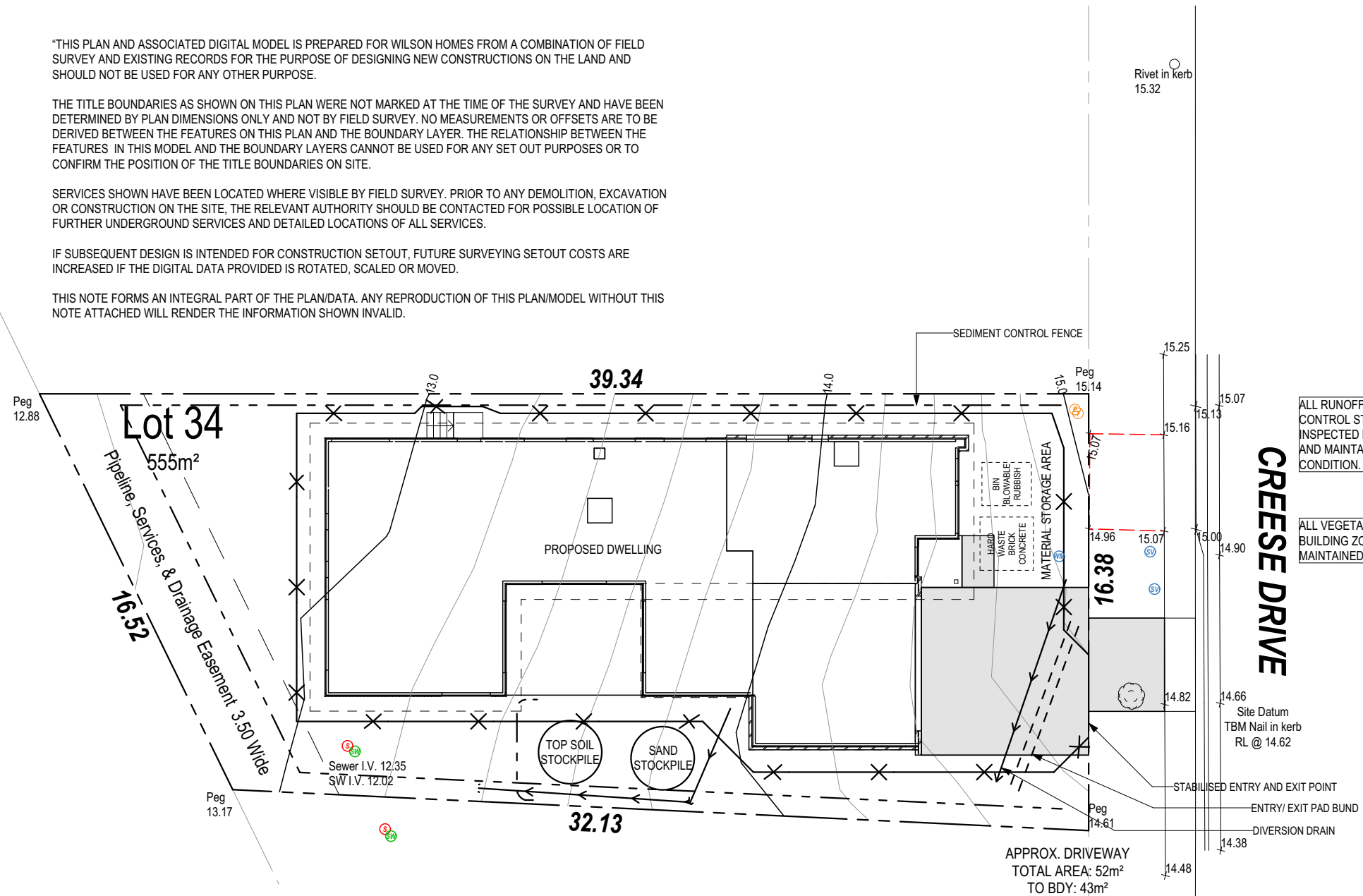
"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR WILSON HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

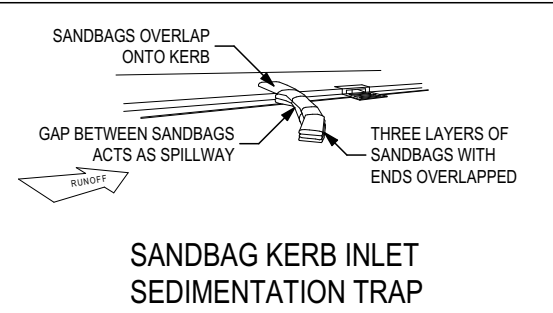
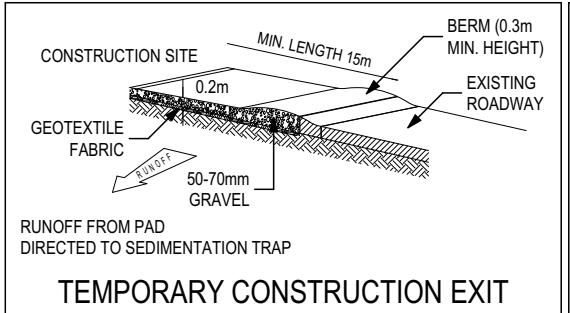
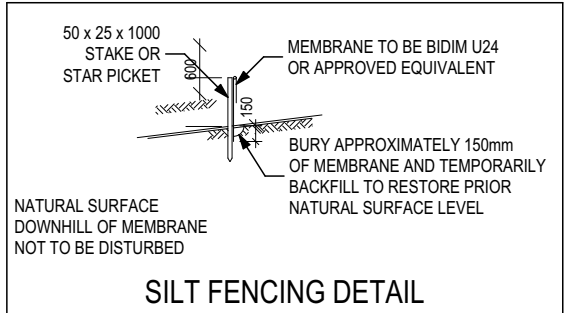
**SUBJECT TO NCC 2022 (1 MAY 2023)**  
**WATERPROOFING & PLUMBING CONDENSATION MANAGEMENT LIVABLE HOUSING**

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED



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	2	DA PLAN SET - ISSUE	HAB	29/04/2026	ADDRESS:	FACADE DESIGN:		FACADE CODE:	
	3	DA RFI	HAB	27/05/2026	26 CREESE DRIVE, RICHMOND TAS 7025	BYRON	F-WDNBLB10BYRNA		
				LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	714767
				34 / - / 189888	CLARENCE	SOIL & WATER MANAGEMENT PLAN	3 / 15		

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

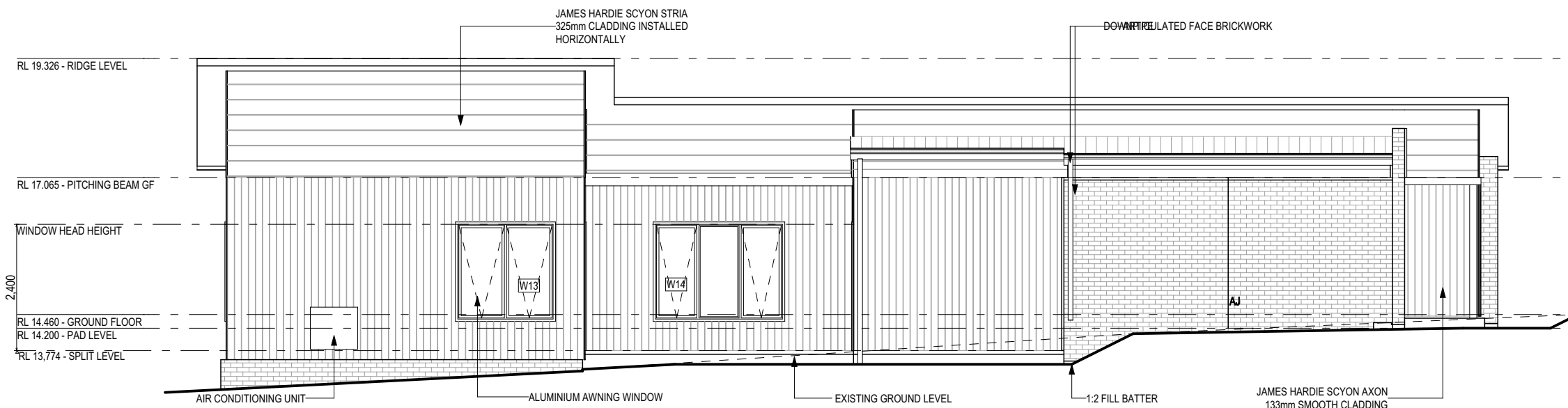
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SH = SNAP HEADER SILL

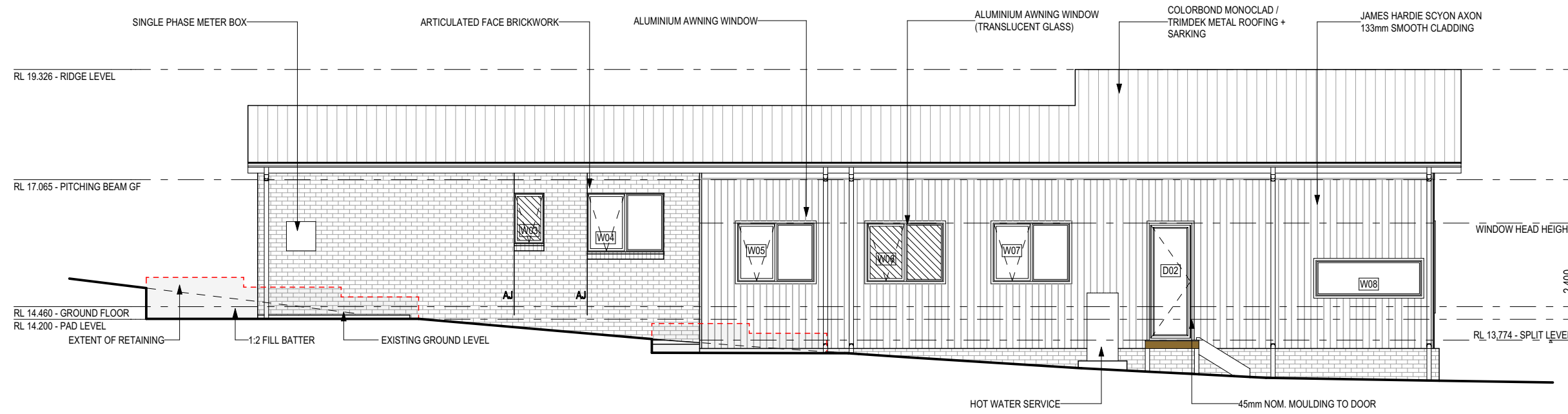
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING W-BRIC-001



**EAST ELEVATION**  
SCALE: 1:100



**WEST ELEVATION**  
SCALE: 1:100

**SUBJECT TO NCC 2022 (1 MAY 2023)**  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT  
LIVABLE HOUSING

**GLASS TYPE LEGEND**

CLEAR	OBSCURE

**WINDOW TYPE LEGEND**

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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SPECIFICATION: <b>DESIGNER</b> COPYRIGHT: © 2026	REVISION 1 PRELIMINARY DA 2 DA PLAN SET - ISSUE 3 DA RFI	DRAWN HAB 15/04/2026 HAB 29/04/2026 HAB 27/05/2026	CLIENT: <b>WILSON COMPLETE</b> ADDRESS: 26 CREESE DRIVE, RICHMOND TAS 7025 LOT / SECTION / CT: 34 / - / 189888 COUNCIL: CLARENCE	HOUSE DESIGN: <b>BELLBRAE 24</b> FACADE DESIGN: <b>BYRON</b> SHEET TITLE: <b>ELEVATIONS</b>	HOUSE CODE: <b>H-WDNBLB10SA</b> FACADE CODE: <b>F-WDNBLB10BYRNA</b> SCALES: <b>1:100</b>	SHEET No.: <b>5 / 15</b> DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. <b>714767</b>
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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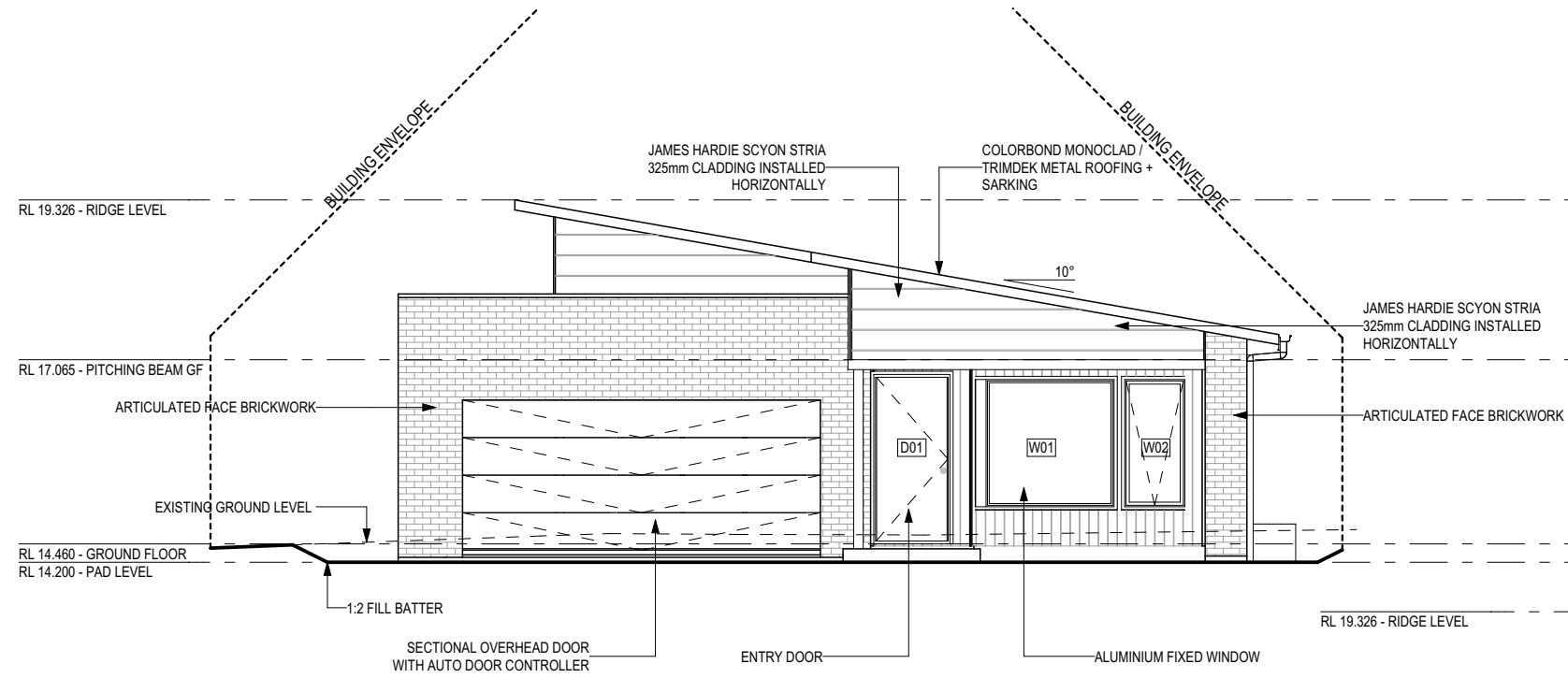
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SH = SNAP HEADER SILL

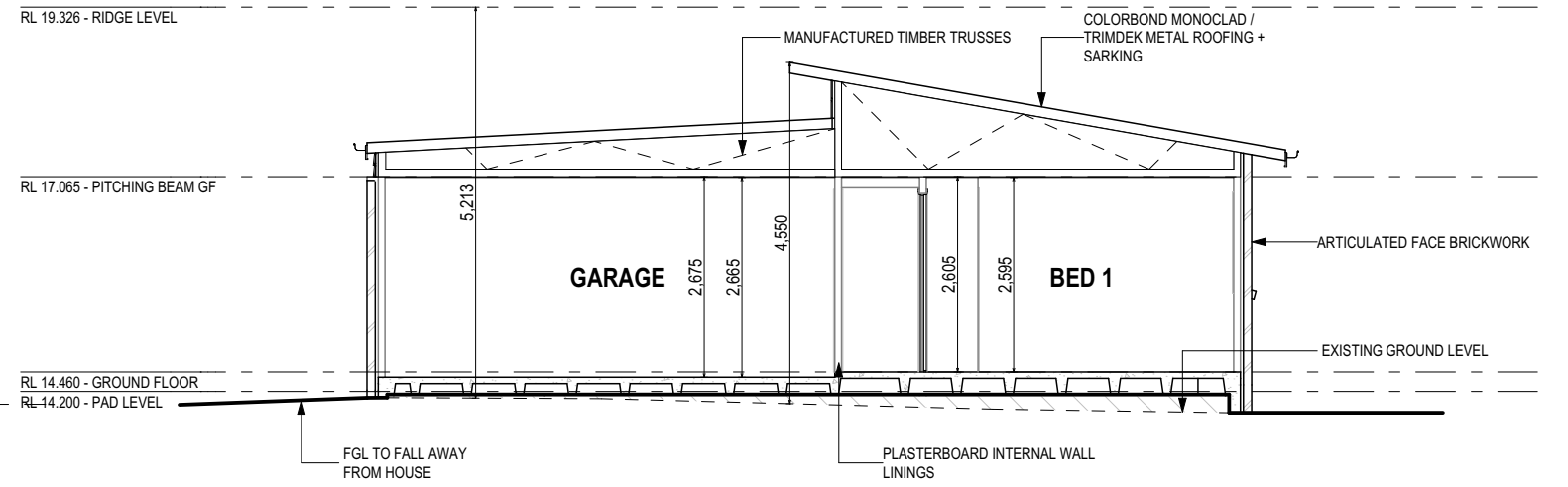
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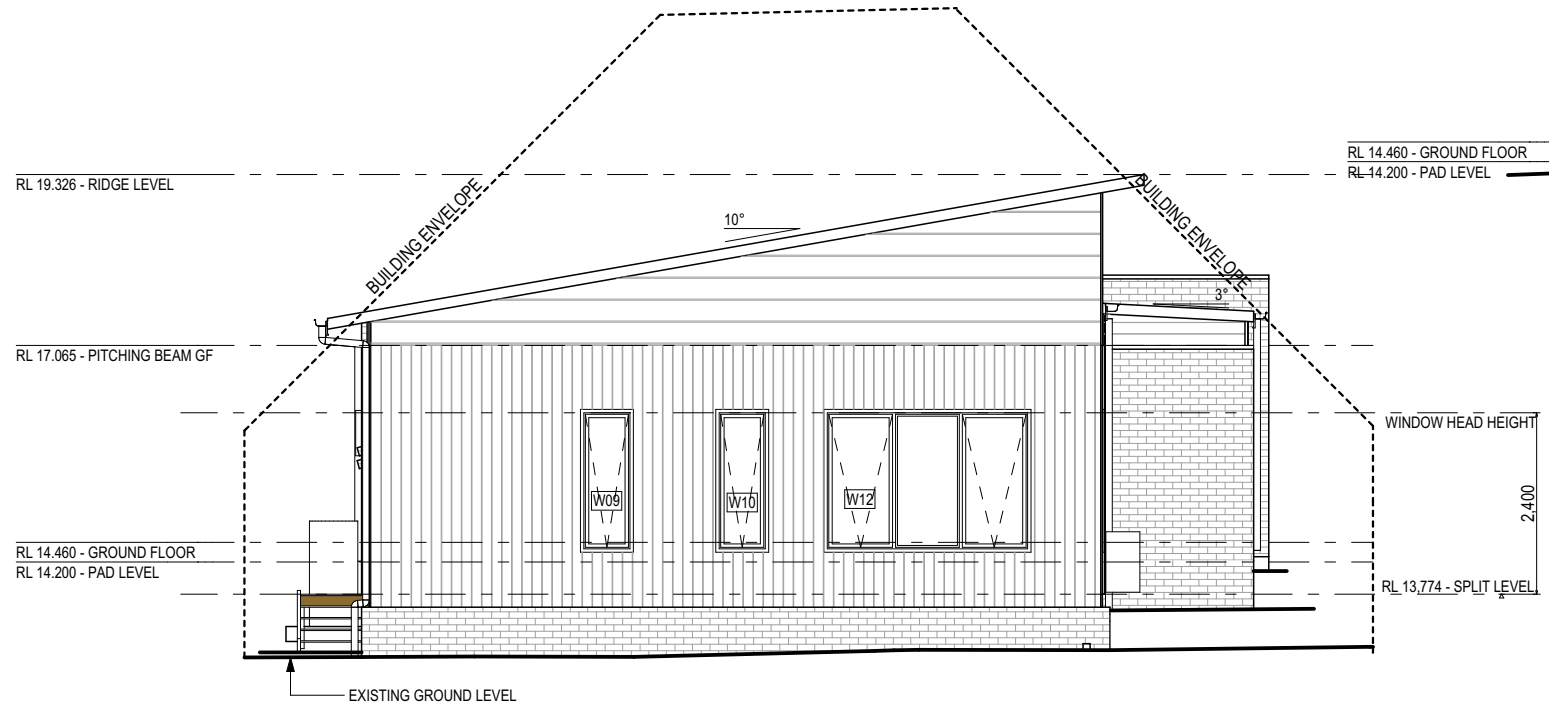
REFER TO THE FOLLOWING DETAILS:  
 BRICK COURSING W-BRIC-001



**NORTH ELEVATION**  
 SCALE: 1:100



**SECTION A-A**  
 SCALE: 1:100



**SOUTH ELEVATION**  
 SCALE: 1:100

**SUBJECT TO NCC 2022 (1 MAY 2023)**  
 WATERPROOFING & PLUMBING  
 CONDENSATION MANAGEMENT  
 LIVABLE HOUSING

**GLASS TYPE LEGEND**

CLEAR	OBSCURE

**WINDOW TYPE LEGEND**

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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				34 / - / 189888	COUNCIL:	ELEVATIONS / SECTION	1:100	
					CLARENCE			

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**EXTERIOR WINDOW & DOOR SCHEDULE** 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE <sup>1</sup>	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m <sup>2</sup> )	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION <sup>2</sup>
<b>WINDOW</b>															
GROUND FLOOR	W01	F1818	FIXED	BED 1	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	NONE	N	3.00	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W02	A1809	AWNING	BED 1	1,800	850	5,300	1.53	ALUMINIUM	N/A	NONE	N	1.21	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W03	A1006	AWNING	ENS	1,030	610	3,280	0.63	ALUMINIUM	N/A	ANGLED	W	0.44	OBSCURE, DOUBLE GLAZED	
GROUND FLOOR	W04	AF1216	AWNING	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	ANGLED	W	1.51	CLEAR, DOUBLE GLAZED	MP 785
GROUND FLOOR	W05	AF1216	AWNING	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	W	1.51	CLEAR, DOUBLE GLAZED	MP 785
GROUND FLOOR	W06	AF1216	AWNING	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	W	1.51	OBSCURE, DOUBLE GLAZED	MP 785
GROUND FLOOR	W07	AF1216	AWNING	BED 4	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	W	1.51	CLEAR, DOUBLE GLAZED	MP 785
GROUND FLOOR	W08	F150-727x2170	FIXED	BUTLER'S PANTRY	727	2,170	5,794	1.58	ALUMINIUM	N/A	NONE	W	1.37	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W09	A1806	AWNING	KITCHEN	1,800	610	4,820	1.10	ALUMINIUM	N/A	NONE	S	0.81	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W10	A1806	AWNING	LIVING	1,800	610	4,820	1.10	ALUMINIUM	N/A	NONE	S	0.81	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	W12	AFA1827	AWNING	LIVING	1,800	2,650	8,900	4.77	ALUMINIUM	N/A	NONE	S	3.93	CLEAR, DOUBLE GLAZED	MP 883-883
GROUND FLOOR	W13	AA1818	AWNING	DINING	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	NONE	E	2.60	CLEAR, DOUBLE GLAZED	MP 905
GROUND FLOOR	W14	AFA1824	AWNING	HALL 2	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	NONE	E	3.53	CLEAR, DOUBLE GLAZED	MP 803-803
								<b>29.09</b>					<b>23.74</b>		
<b>DOOR</b>															
GROUND FLOOR	D01	1020	SWINGING	ENTRY	2,397	1,076	6,946	2.58	ALUMINIUM	N/A	NONE	N	1.86	N/A	
GROUND FLOOR	D02	820	SWINGING	LDRY	2,397	876	6,546	2.10	ALUMINIUM	N/A	NONE	W	1.42	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	D03	FSS2400x2688	STACKER	DINING	2,400	2,688	10,176	6.45	ALUMINIUM	N/A	NONE	N	5.70	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D04	FSS2400x2688	STACKER	FAMILY	2,400	2,688	10,176	6.45	ALUMINIUM	N/A	NONE	S	5.70	CLEAR, DOUBLE GLAZED, TOUGHENED	
								<b>17.58</b>					<b>14.68</b>		
								<b>46.67</b>					<b>38.42</b>		

**PICTURE, TV RECESS AND SS WINDOW OPENINGS**

QTY	TYPE	HEIGHT	WIDTH	AREA (m <sup>2</sup> )

**INTERIOR WINDOW & DOOR SCHEDULE**

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
<b>DOOR</b>							
GROUND FLOOR	1	1040 SS	SQUARE SET OPENING	2,100	1,040	N/A	
GROUND FLOOR	4	1040 SS	SQUARE SET OPENING	2,455	1,040	N/A	
GROUND FLOOR	1	1040 SS	SQUARE SET OPENING	2,155	1,040	N/A	
GROUND FLOOR	1	1070 SS	SQUARE SET OPENING	2,455	1,070	N/A	
GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
GROUND FLOOR	1	2 x 2340x620	SWINGING	2,340	1,240	N/A	
GROUND FLOOR	1	2 x 2400x620	ROBEMAKER SLIDING	2,400	1,260	N/A	
GROUND FLOOR	1	2 x 770	ROBEMAKER SLIDING	2,400	1,560	N/A	
GROUND FLOOR	1	2 x 820	ROBEMAKER SLIDING	2,400	1,660	N/A	
GROUND FLOOR	1	720	SWINGING	2,340	720	N/A	
GROUND FLOOR	1	800 SS	SQUARE SET OPENING	2,455	800	N/A	
GROUND FLOOR	5	870	SWINGING	2,340	870	N/A	
GROUND FLOOR	1	870	SWINGING	2,340	870	N/A	LIFT-OFF HINGES
GROUND FLOOR	2	870 UC CSD	CAVITY SLIDING	2,340	870	N/A	20mm UNDERCUT

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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 CONDENSATION MANAGEMENT  
 LIVABLE HOUSING

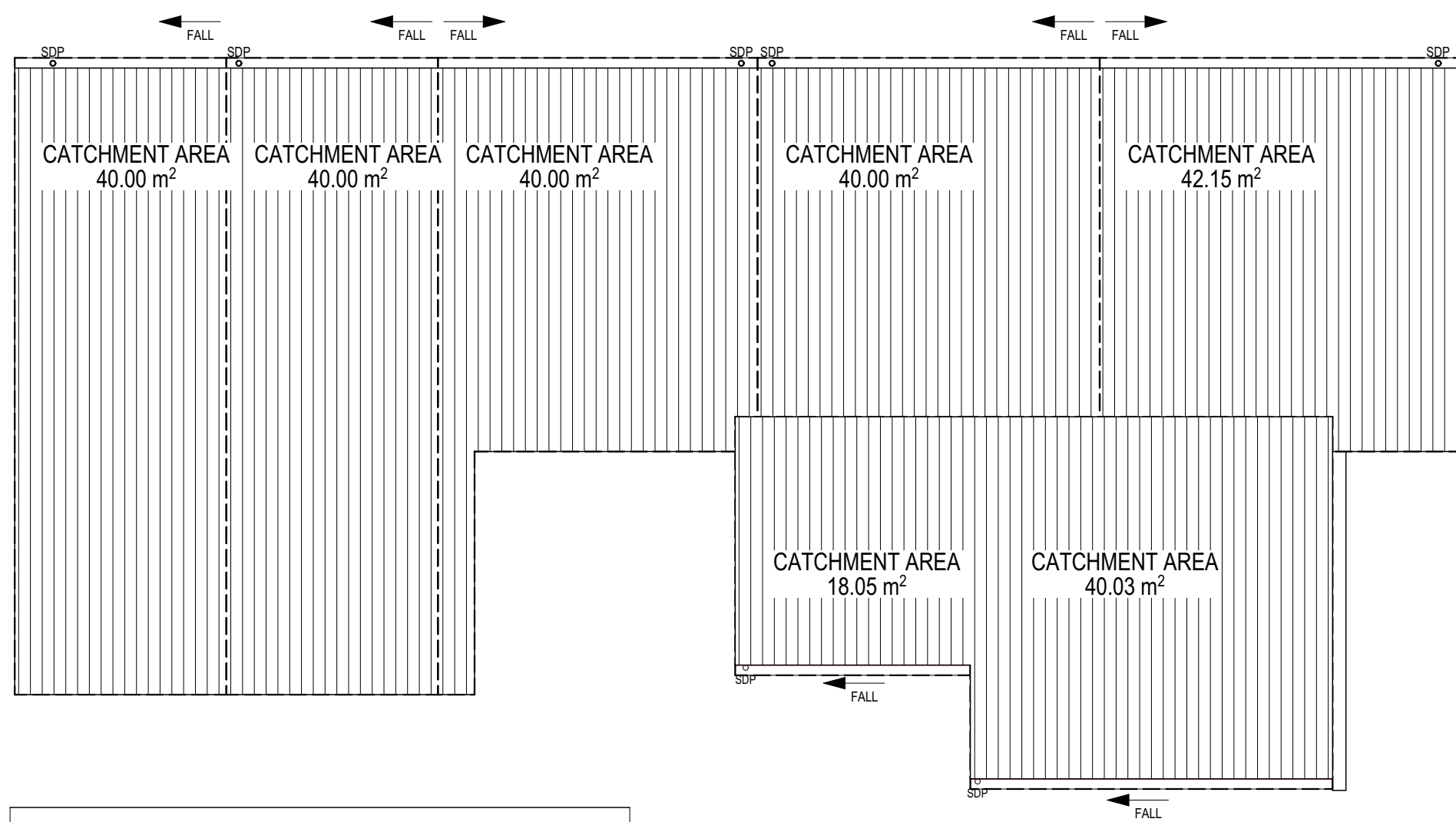
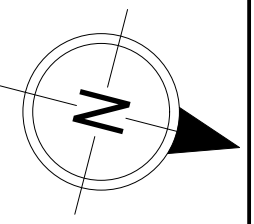
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SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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				COUNCIL:	CLARENCE	WINDOW & DOOR SCHEDULES	SHEET No.:	7 / 15



WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	254.04	Flat Roof Area (excluding gutter and slope factor) (m <sup>2</sup> )
	257.17 m <sup>2</sup>	Roof Surface Area (includes slope factor, excludes gutter) (m <sup>2</sup> )
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	202.15	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	220.34	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.09 for 10° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m <sup>2</sup> )
Required Downpipes	4	Ac / Acdp
Downpipes Provided	5	

Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	58.08	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	59.82	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.03 for 3° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m <sup>2</sup> )
Required Downpipes	1	Ac / Acdp
Downpipes Provided	2	

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**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT  
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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REVISION	DRAWN
1 PRELIMINARY DA	HAB 15/04/2026
2 DA PLAN SET - ISSUE	HAB 29/04/2026
3 DA RFI	HAB 27/05/2026

CLIENT:	WILSON COMPLETE
ADDRESS:	26 CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	34 / - / 189888
COUNCIL:	CLARENCE

HOUSE DESIGN:	BELLBRAE 24
FACADE DESIGN:	BYRON
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	8 / 15

HOUSE CODE:	H-WDNBLB10SA
FACADE CODE:	F-WDNBLB10BYRNA
SCALES:	

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

**COVERINGS LEGEND**

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



FLOOR COVERINGS  
 SCALE: 1:100

**SUBJECT TO NCC 2022  
 (1 MAY 2023)  
 WATERPROOFING & PLUMBING  
 CONDENSATION MANAGEMENT  
 LIVABLE HOUSING**

**PLAN ACCEPTANCE BY OWNER**

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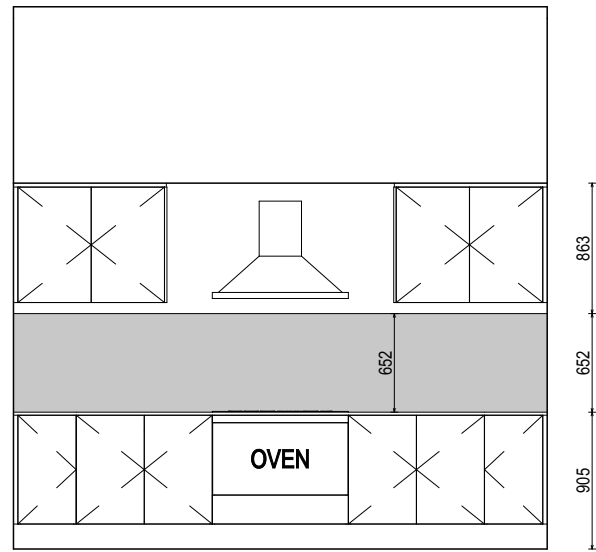
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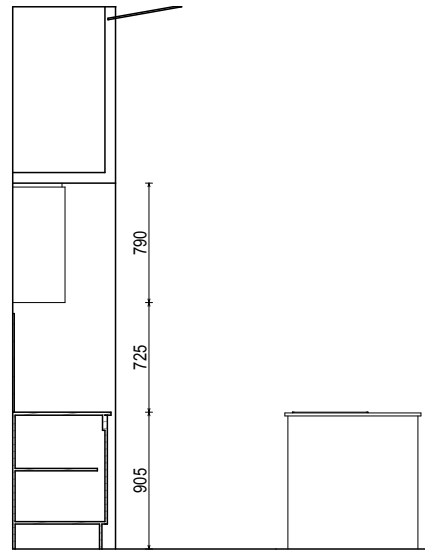
SPECIFICATION: <b>DESIGNER</b>  COPYRIGHT: © 2026	REVISION 1 PRELIMINARY DA	DRAWN HAB 15/04/2026	CLIENT: <b>WILSON COMPLETE</b>	HOUSE DESIGN: <b>BELLBRAE 24</b>	HOUSE CODE: <b>H-WDNBLB10SA</b>	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  <b>714767</b>
	2 DA PLAN SET - ISSUE	HAB 29/04/2026	ADDRESS: <b>26 CREESE DRIVE, RICHMOND TAS 7025</b>	FACADE DESIGN: <b>BYRON</b>	FACADE CODE: <b>F-WDNBLB10BYRNA</b>	
	3 DA RFI	HAB 27/05/2026	LOT / SECTION / CT: <b>34 / - / 189888</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>FLOOR COVERINGS</b>	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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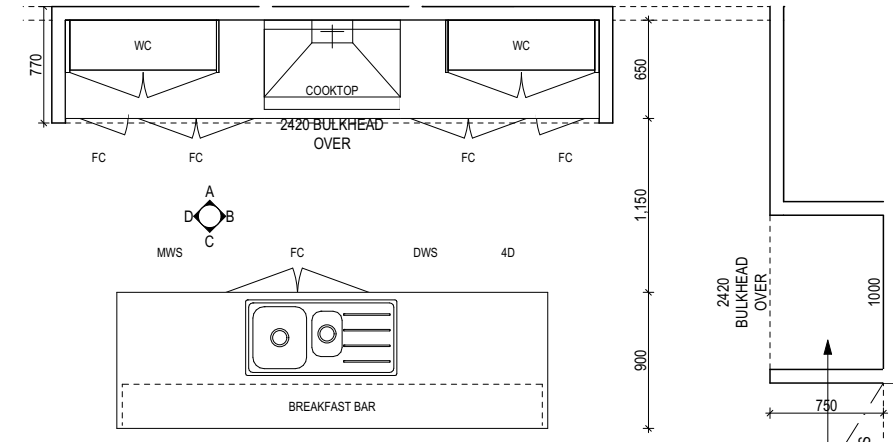
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.



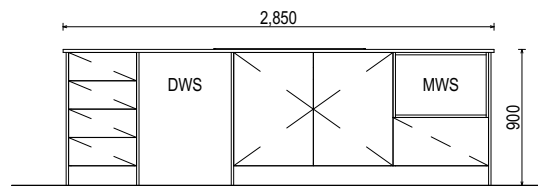
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SCALE: 1:50



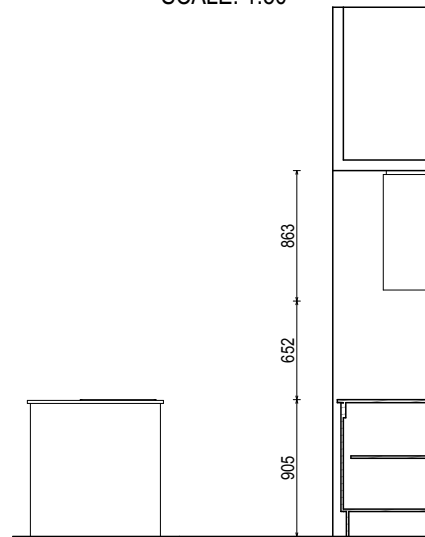
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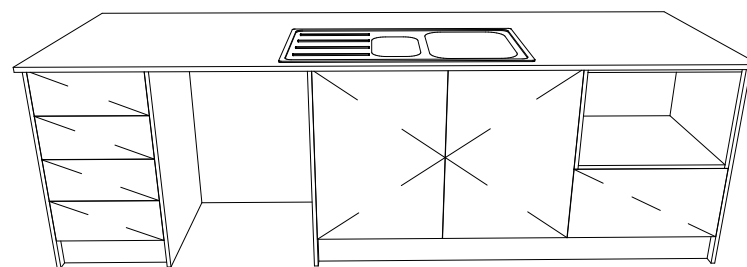
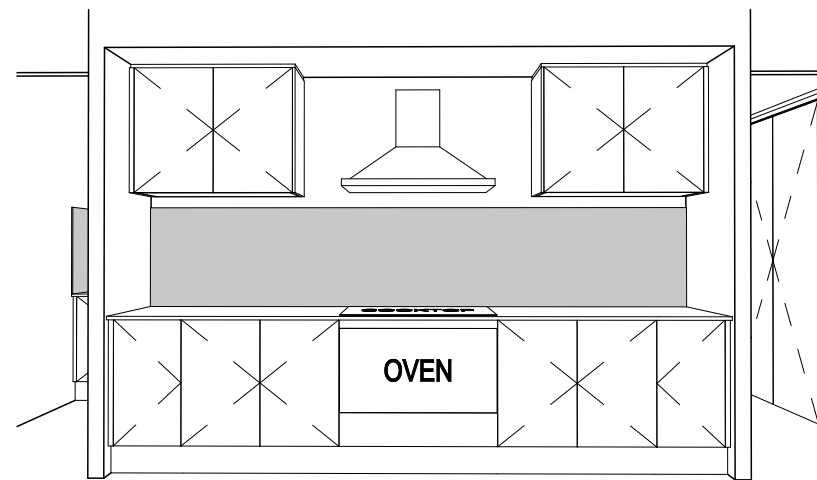
KITCHEN PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50



PRELIMINARY

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT  
LIVABLE HOUSING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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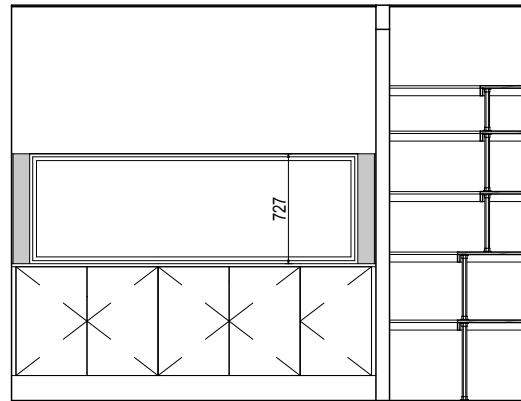
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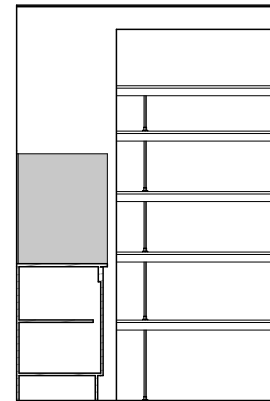
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714767

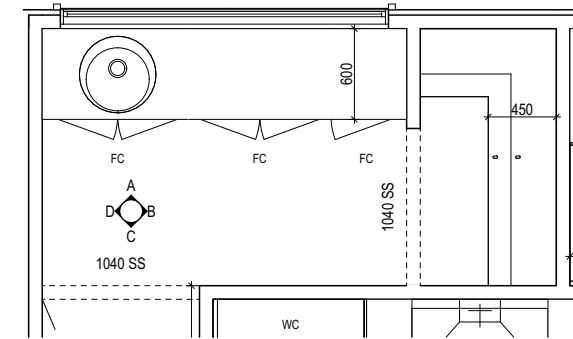
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Last Published: Wednesday, 27 May 2026 1:29 PM  
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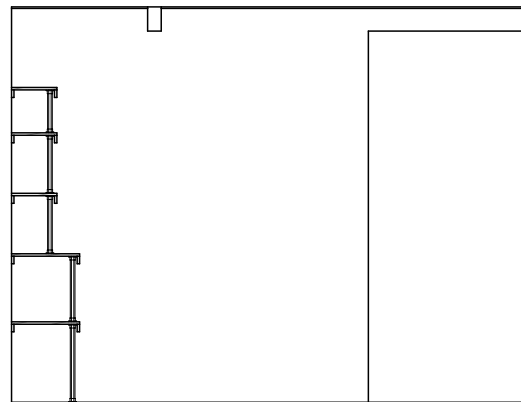
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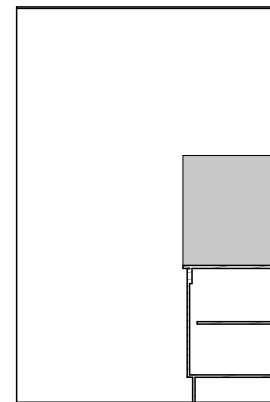
ELEVATION B  
SCALE: 1:50



BUTLERS PANTRY PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

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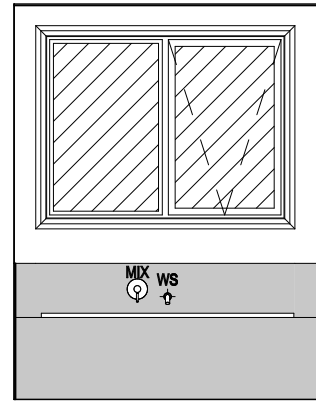
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 VANITY DETAILS G-VANI-001  
 WINDOW OVER BATH HOB D-WIND-ALU001  
 STANDARD BATH HOB D-WETA-BATH003  
 WET AREA TILING LAYOUTS D-WETA-TILE002  
 SQUARE SET WINDOWS G-WIND-SSET02  
 FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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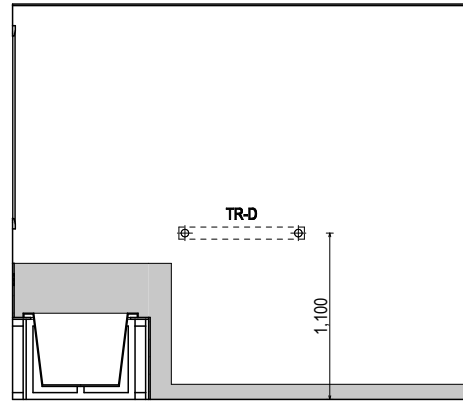
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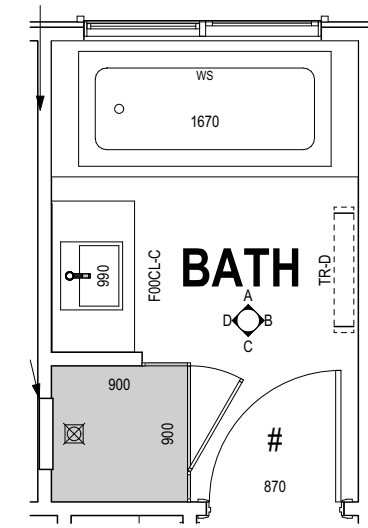
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



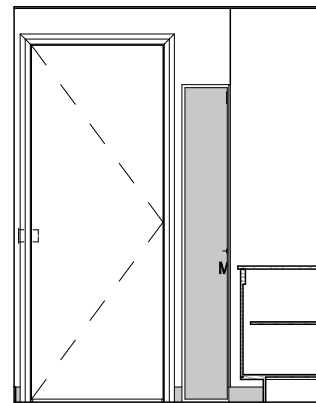
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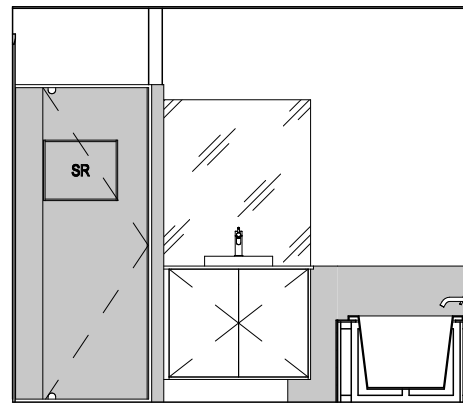
ELEVATION B  
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BATHROOM PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

PRELIMINARY

**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT  
LIVABLE HOUSING**

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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				COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:
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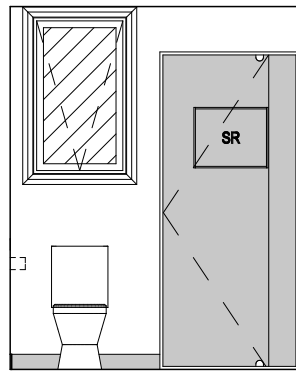
**REFER TO THE FOLLOWING DETAILS:**  
 VANITY DETAILS G-VANI-001  
 WINDOW OVER BATH HOB D-WIND-ALU001  
 STANDARD BATH HOB D-WETA-BATH003  
 WET AREA TILING LAYOUTS D-WETA-TILE002  
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 FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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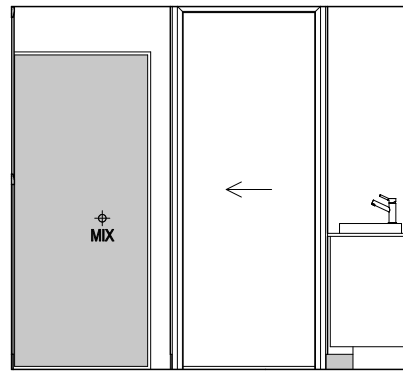
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**LEGEND**

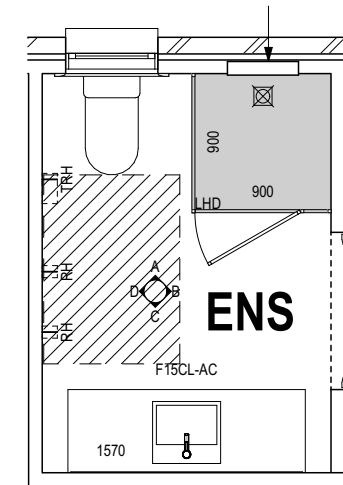
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- SOAP SOAP HOLDER



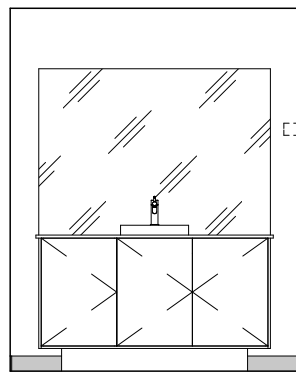
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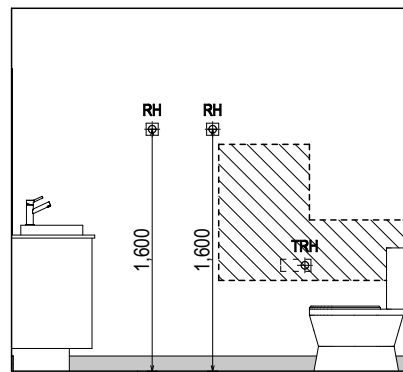
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ENSUITE PLAN  
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ELEVATION C  
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ELEVATION D  
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PRELIMINARY

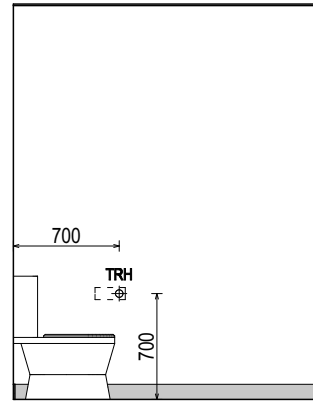
**SUBJECT TO NCC 2022  
(1 MAY 2023)  
WATERPROOFING & PLUMBING  
CONDENSATION MANAGEMENT  
LIVABLE HOUSING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
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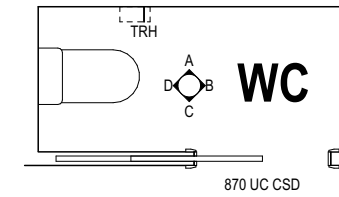
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		2 DA PLAN SET - ISSUE	HAB 29/04/2026	LOT / SECTION / CT: <b>34 / - / 189888</b>	COUNCIL: <b>CLARENCE</b>	SHEET TITLE: <b>ENSUITE DETAILS</b>	
		3 DA RFI	HAB 27/05/2026			SCALES: <b>1:50</b>	<b>714767</b>



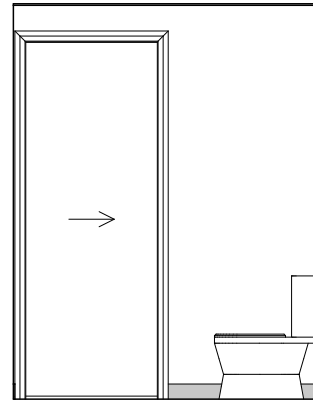
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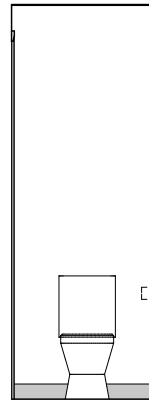
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WC PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

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COUNCIL:	CLARENCE

HOUSE DESIGN:	BELLBRAE 24
FACADE DESIGN:	BYRON
SHEET TITLE:	WC DETAILS
SHEET No.:	14 / 15

HOUSE CODE:	H-WDNBLB10SA
FACADE CODE:	F-WDNBLB10BYRNA
SCALES:	1:50

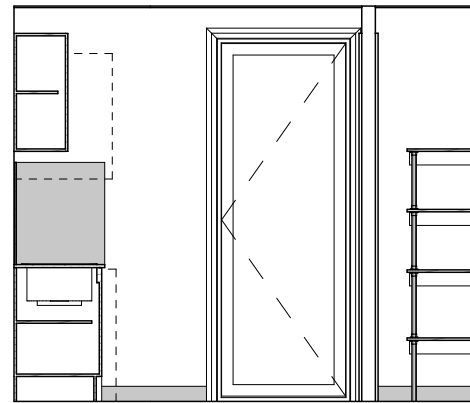
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**714767**

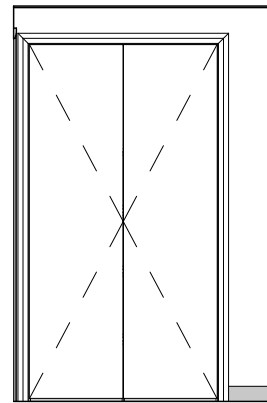
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

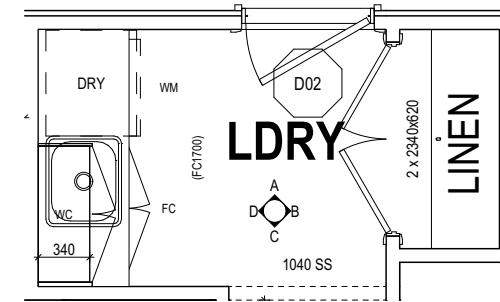
PROVIDE ADDITIONAL NOGGING TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006



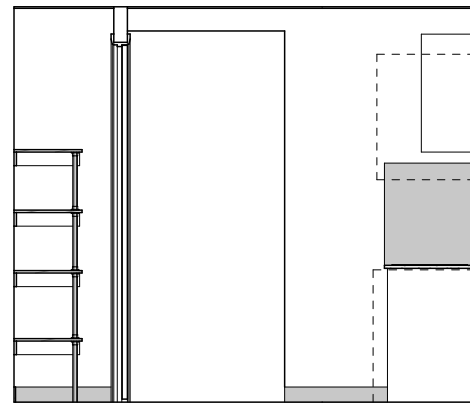
ELEVATION A  
SCALE: 1:50



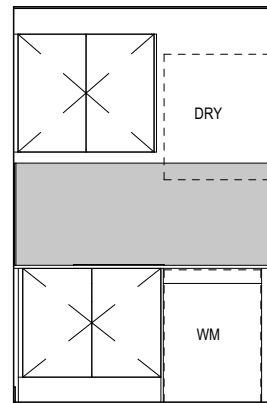
ELEVATION B  
SCALE: 1:50



LAUNDRY PLAN  
SCALE: 1:50



ELEVATION C  
SCALE: 1:50



ELEVATION D  
SCALE: 1:50

PRELIMINARY

**SUBJECT TO NCC 2022  
(1 MAY 2023)**  
 WATERPROOFING & PLUMBING  
 CONDENSATION MANAGEMENT  
 LIVABLE HOUSING

**PLAN ACCEPTANCE BY OWNER**

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

**ALL DIMENSIONS ARE FRAME DIMENSIONS**

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				COUNCIL:	LAUNDRY DETAILS	SHEET No.: 15 / 15	SCALES: 1:50
				34 / - / 189888	CLARENCE		714767

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Last Published: Wednesday, 27 May 2026 1:29 PM  
Template Version: 24.038