



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061147

PROPOSAL: Two Multiple Dwellings (One New & One Existing)

LOCATION: 30 Bounty Street, Warrane

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 23/06/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 23/06/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clareance@ccc.tas.gov.au. Representations must be received by Council on or before 23/06/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **Additional Dwelling (Multiple dwellings) To be Strata Titled**

Location: **30 Bounty Street, Warrane, TAS 7018**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Yes, Sally De Little - Planner | Clarence City Council

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 57302	FOLIO 4
EDITION 6	DATE OF ISSUE 16-Apr-2026

SEARCH DATE : 06-May-2026

SEARCH TIME : 08.17 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Plan 57302 (formerly being P1913(C1))

Derivation : Part of Lot 35873 Granted to The Director of Housing

Prior CT 3473/83

SCHEDULE 1

N261042 TRANSFER to PRANISH NIRLAULA Registered 23-June-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

N172211 MORTGAGE to AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED Registered 16-Apr-2026 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

TOWN OF WARRANE

SCALE:- 50 FT. TO INCH.

~~Part of 117 c 38 Acd for the Erection of Homes and Lot 26945 T.C. Brown Purchaser~~

THE DIRECTOR OF HOUSING.

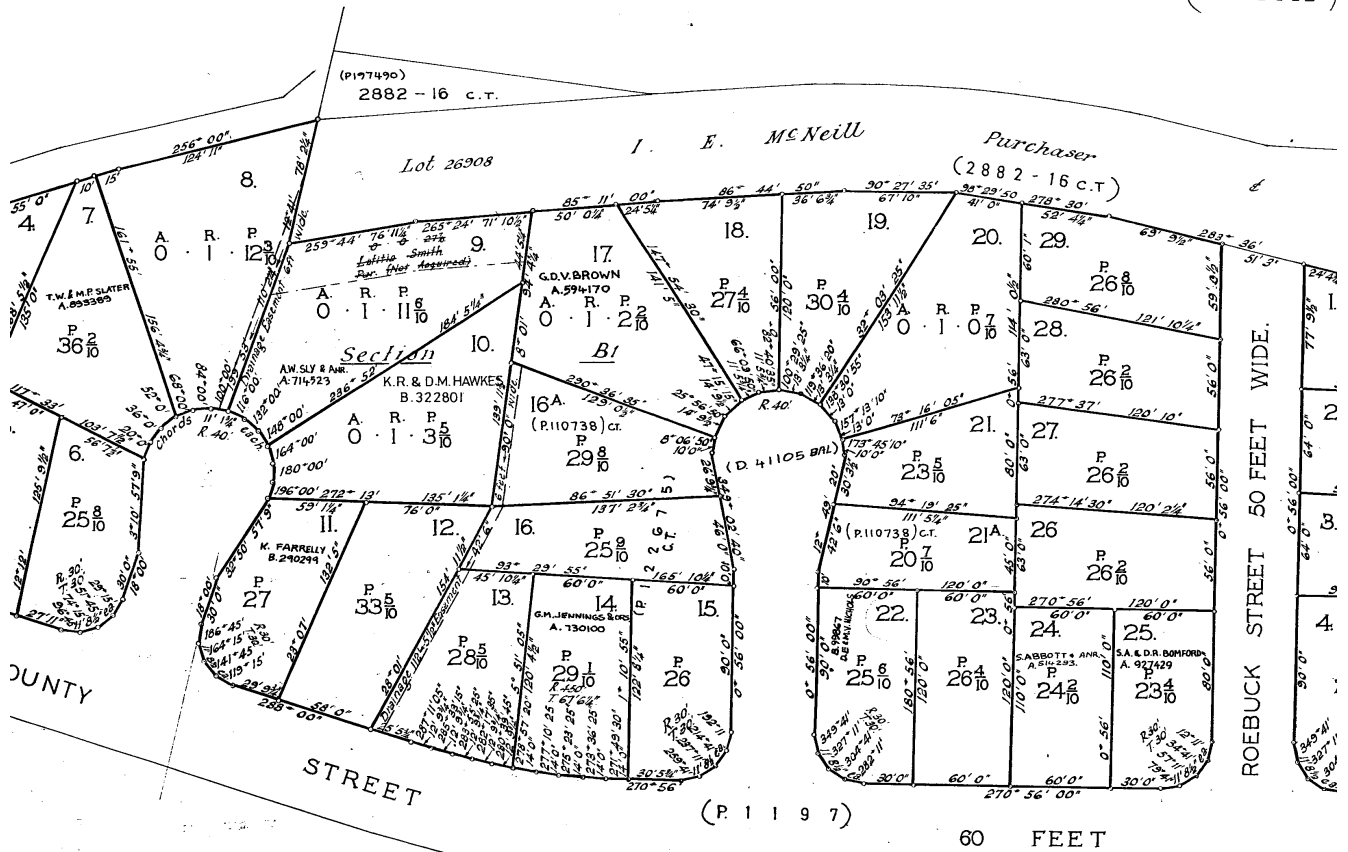
C.T's. 2441 - 13, 2701 - 82, 3039 - 63, 3241 - 46 & 3241 - 47.

Whole of lot 35872 (4.0.14³/₁₀) gtd. to The Dir. of Housing & 26935 (27⁶/₁₀) gtd. to Letitia Smith.

Part of lot 35873 (8.3.16⁶/₁₀) & (2.3.18) gtd. to The Dir. of Housing. &

part of lot 26945 (1.1.36¹/₁₀) gtd. to Tasman Clyde Brown.

(D. 109663)



REGISTERED NUMBER
57300(A)

REGISTERED NUMBER
57301(B)

REGISTERED NUMBER
57302(C)

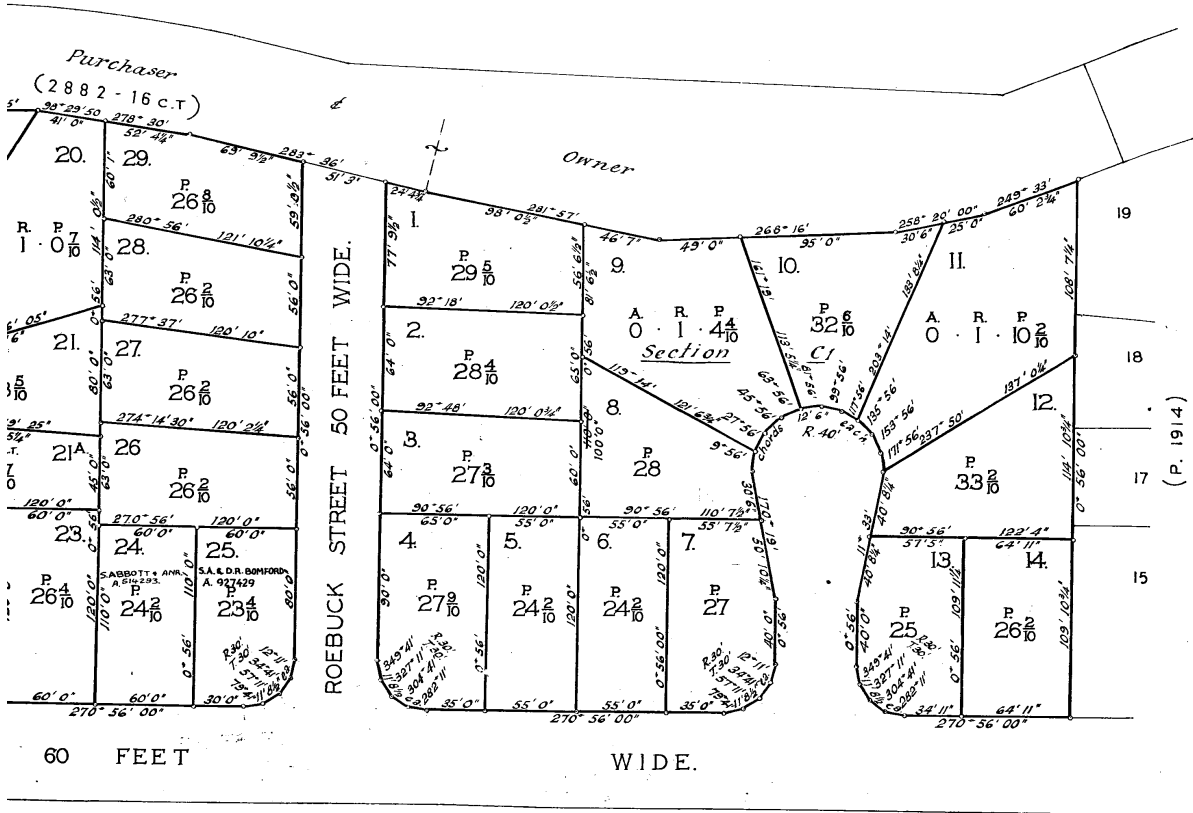
P1913

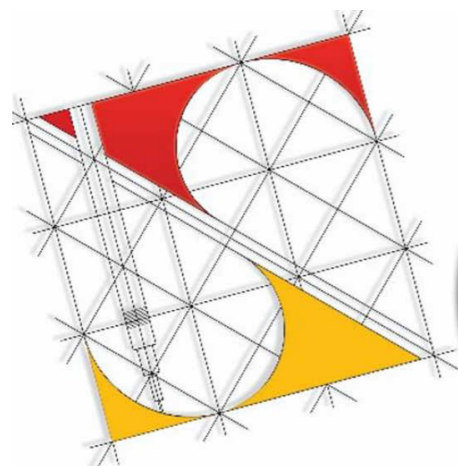
NE

etitia Smith .
J. #

DEC-13 4043 005400

(D.109663)





Urban Space Designers

Building Design and Drafting

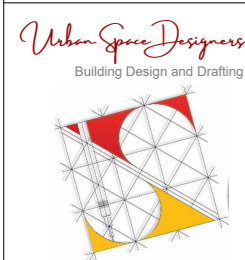
ADDITIONAL DWELLING

AT

**30 BOUNTY STREET,
WARRANE, TAS - 7018**

SHEET	REVISION	SHEET NAME
A00	2	COVER SHEET
A01	2	KEY PLAN
A01.1	2	SURVEY PLAN
A02	2	EXISTING SITE PLAN
A03	2	EXISTING DWELLING
A04	2	SITE PLAN
A05	2	FLOOR PLAN

SHEET	REVISION	SHEET NAME
A06	2	ELEVATIONS
A07	2	ROOF PLAN
A11	2	SERVICE PLAN
A18	2	SHADOW DIAGRAMS
A19	2	LANDSCAPE PLAN
A20	2	3D VIEWS



Phone:
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Accreditation:
TAS - 381246362
VIC - DP-AD 72846

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USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.

IF IN DOUBT ASK.

The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunction with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.

Client:
PRANISH & NISHA

Project:
ADDITIONAL DWELLING

Address:
30 BOUNTY STREET, WARRANE,
TAS - 7018

Issue	Description	Date
1	Existing Dwelling Bins Shown	11/05/2026
2	Spot levels and parking space dimensions shown. Parking SW layout revised.	03/06/2026

ARCHITECTURE DRAWINGS

CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.

ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.

Sheet: COVER SHEET		
Drawn: GK		
Scale:	Size: A3	Date: 08/04/2026
Project: 30BSW/ARCH/TAS - 2026	Sheet: A00	Rev: 2

30, BOUNTY STREET, WARRANE TAS - 7018

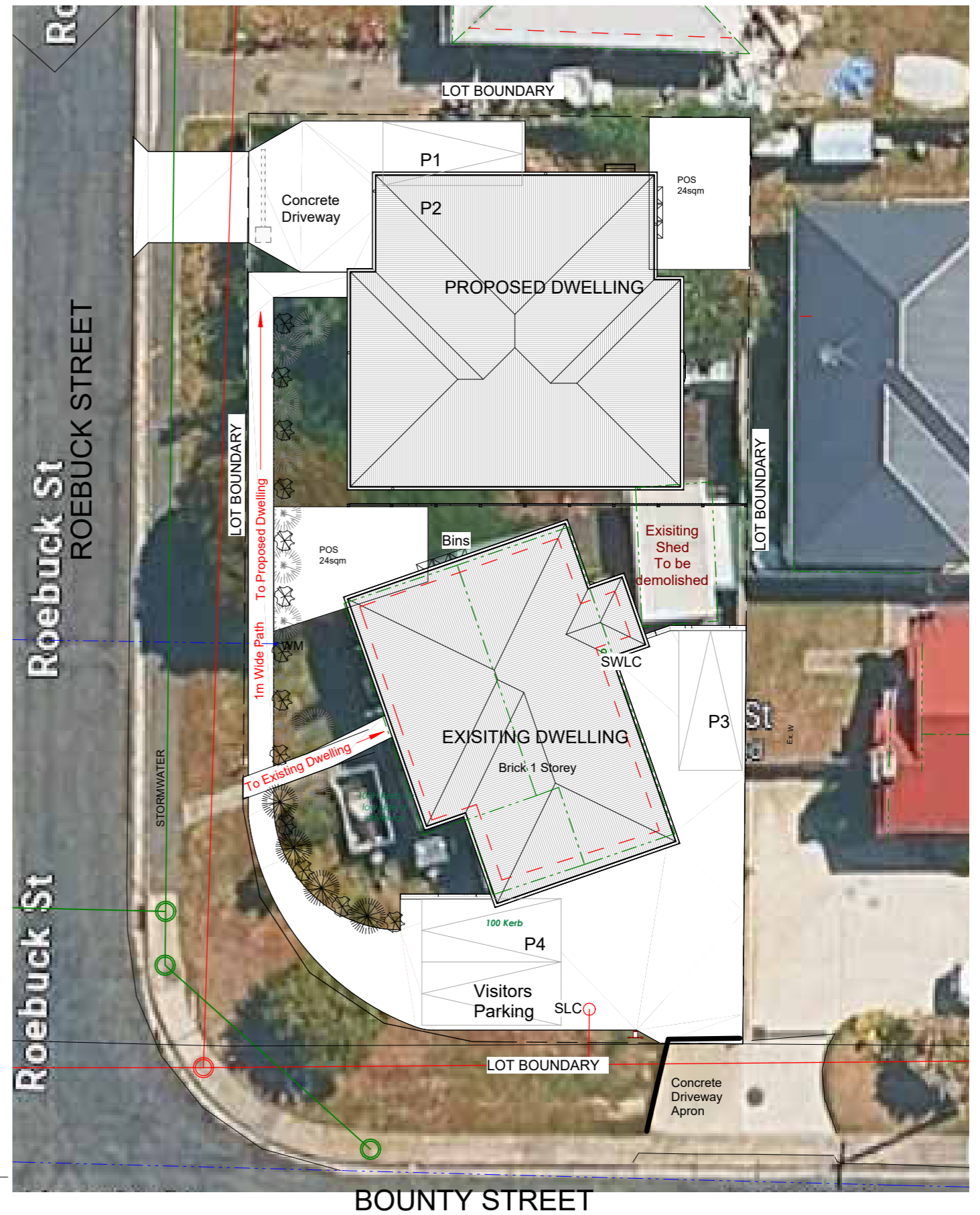
KEY PROJECT STATISTICS & DATA

LOT AREA 705.00 sqm

TITLE REFERENCE 57302/4

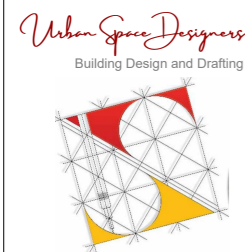
PROPERTY ID 5107405

DEVELOPMENT SUMMARY		
Sno.	Description	AREA SQM.
1	SITE AREA	705
2	GREEN AREA	276.00
4	BLDG BUILT UP AREA	
a	PROPOSED DWELLING	127.00
b	EXISTING BUILDING	96.00
c	PORCH	3.00
	(BUILDING FOOT PRINT) (BUILDING GROUND COVER)	226.00
	PERCENTAGE %	32.06%
5	CONCRETE AREA (DRIVEWAY + PARKING)	206.00
6	IMPERVIOUS SURFACE	
	GROUND COVER	226.00
	CONCRETE/DRIVEWAY	206.00
	TOTAL IMPERVIOUS SURFACE	432.00
	PERCENTAGE %	61.28
7	PERVIOUS SURFACE	
	GREEN AREA	276.00
	TOTAL PERVIOUS SURFACE	276.00
	PERCENTAGE %	39.15



KEY PLAN

1 : 200



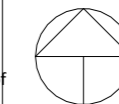
Phone: 0402438170
 Email: info@urbanspacedesigners.com.au
 Website: www.urbanspacedesigners.com.au
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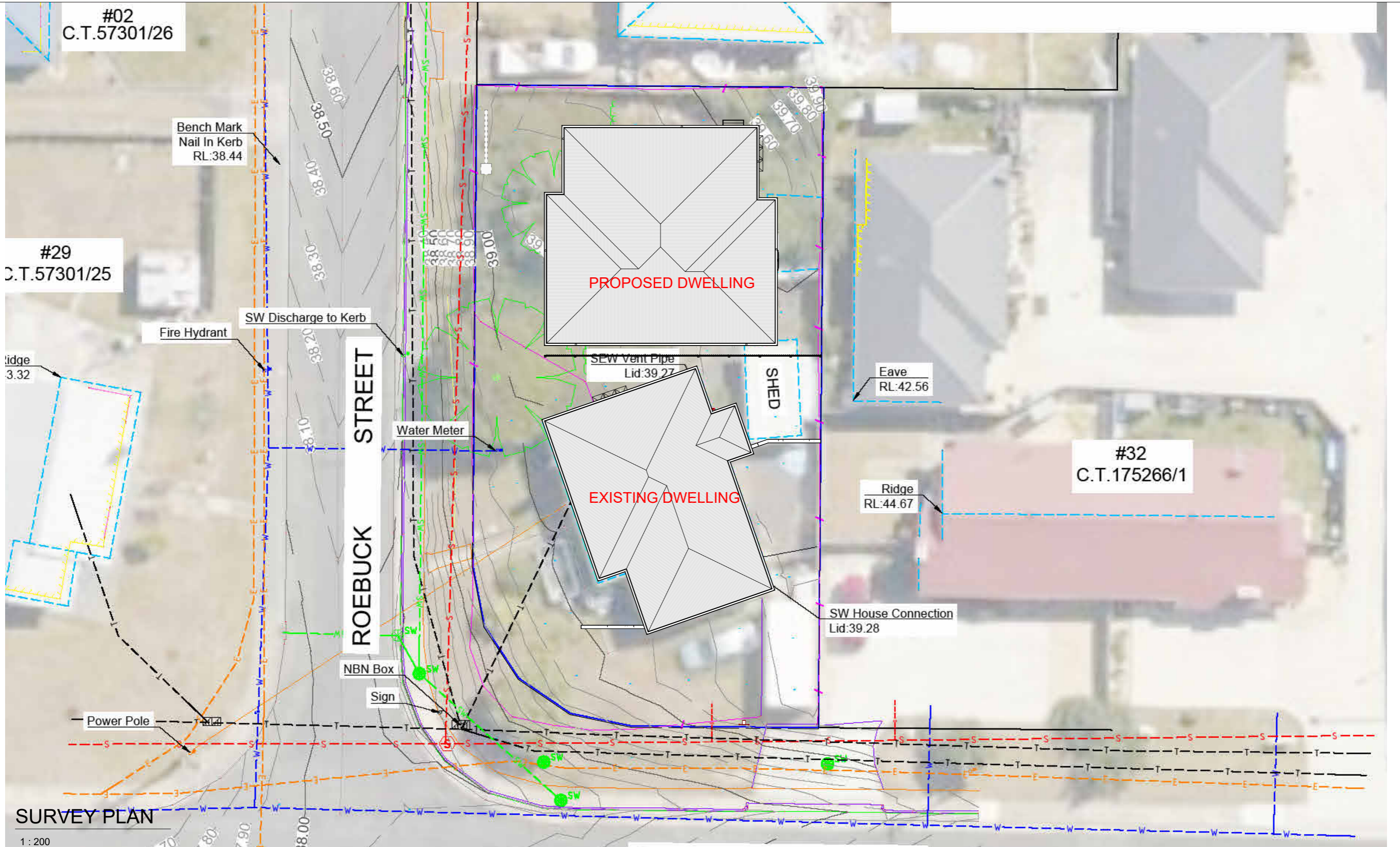
Client: PRANISH & NISHA
 Project: ADDITIONAL DWELLING
 Address: 30 BOUNTY STREET, WARRANE, TAS - 7018

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Scale: 1 : 200	Size: A3	Date: 08/04/2026
Project: 30BSW/ARCH/TAS - 2026	Sheet: A01	Rev: 2



SURVEY PLAN

1 : 200

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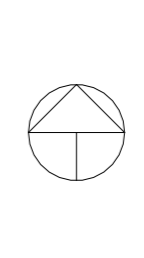
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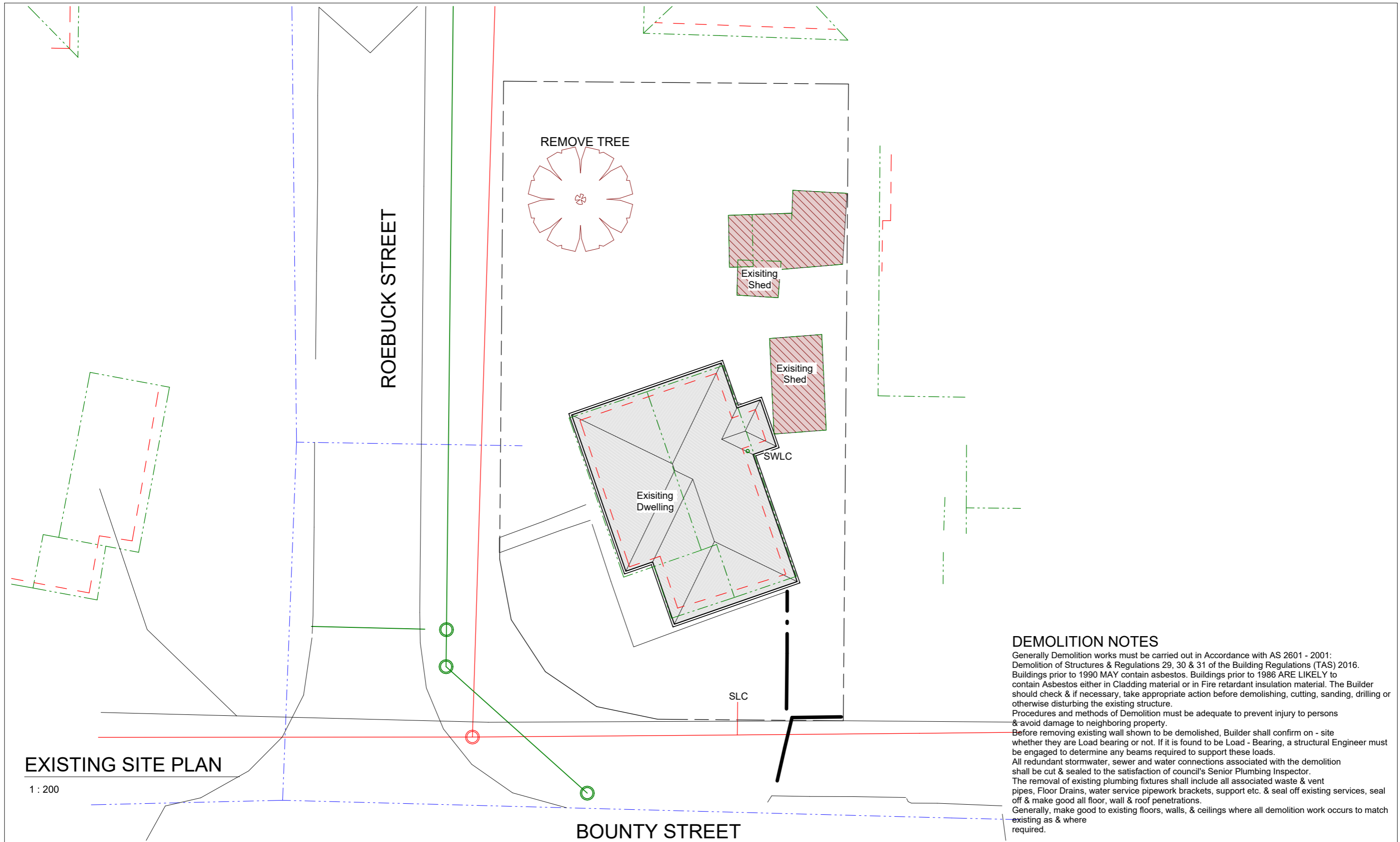
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Project: **ADDITIONAL DWELLING**
Address: **30 BOUNTY STREET, WARRANE, TAS - 7018**

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Sheet: **SURVEY PLAN**
Drawn: **GK**
Scale: **1 : 200** Size: **A3** Date: **08/04/2026**
Project: **30BSW/ARCH/TAS - 2026** Sheet: **A01.1** Rev: **2**




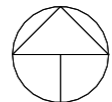


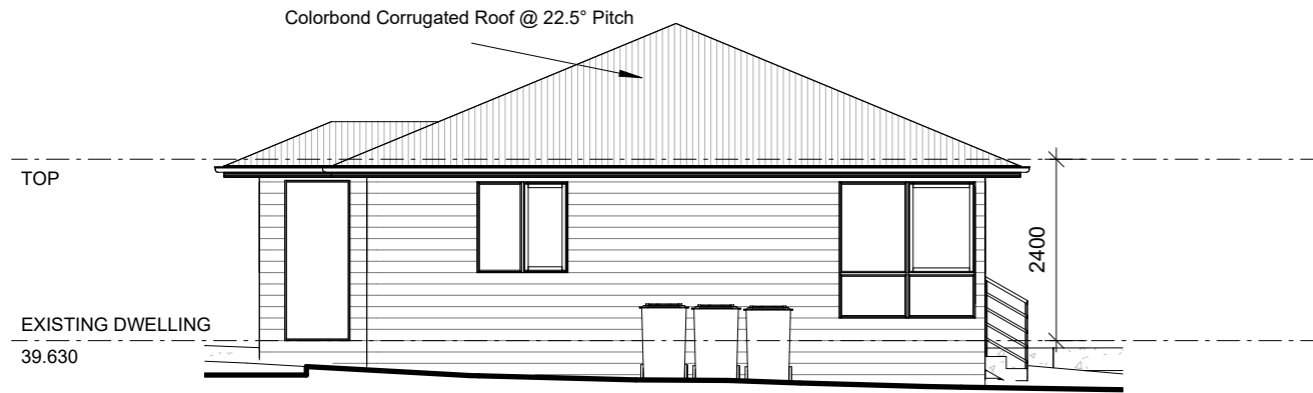
EXISTING SITE PLAN

1 : 200

DEMOLITION NOTES

Generally Demolition works must be carried out in Accordance with AS 2601 - 2001: Demolition of Structures & Regulations 29, 30 & 31 of the Building Regulations (TAS) 2016. Buildings prior to 1990 MAY contain asbestos. Buildings prior to 1986 ARE LIKELY to contain Asbestos either in Cladding material or in Fire retardant insulation material. The Builder should check & if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure. Procedures and methods of Demolition must be adequate to prevent injury to persons & avoid damage to neighboring property. Before removing existing wall shown to be demolished, Builder shall confirm on - site whether they are Load bearing or not. If it is found to be Load - Bearing, a structural Engineer must be engaged to determine any beams required to support these loads. All redundant stormwater, sewer and water connections associated with the demolition shall be cut & sealed to the satisfaction of council's Senior Plumbing Inspector. The removal of existing plumbing fixtures shall include all associated waste & vent pipes, Floor Drains, water service pipework brackets, support etc. & seal off existing services, seal off & make good all floor, wall & roof penetrations. Generally, make good to existing floors, walls, & ceilings where all demolition work occurs to match existing as & where required.

 <p>Urban Space Designers Building Design and Drafting</p>	<p>Phone: 0402438170</p> <p>Email: info@urbanspacedesigners.com.au</p> <p>Website: www.urbanspacedesigners.com.au</p> <p>Accreditation: TAS - 381246362 VIC - DP-AD 72846</p>	<p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings. USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.</p> <p>IF IN DOUBT ASK.</p> <p>The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunction with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.</p>	<p>Client: PRANISH & NISHA</p> <p>Project: ADDITIONAL DWELLING</p> <p>Address: 30 BOUNTY STREET, WARRANE, TAS - 7018</p>	<table border="1"> <thead> <tr> <th>Issue</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Existing Dwelling Bins Shown</td> <td>11/05/2026</td> </tr> <tr> <td>2</td> <td>Spot levels and parking soace dimensions shown. Parking SW layout revised.</td> <td>03/06/2026</td> </tr> </tbody> </table>	Issue	Description	Date	1	Existing Dwelling Bins Shown	11/05/2026	2	Spot levels and parking soace dimensions shown. Parking SW layout revised.	03/06/2026	<p>ARCHITECTURE DRAWINGS</p> <p>CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.</p> <p>ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.</p>		<p>Sheet: EXISTING SITE PLAN</p> <p>Drawn: GK</p> <p>Scale: 1 : 200 Size: A3 Date: 08/04/2026</p> <p>Project: 30BSW/ARCH/TAS - 2026 Sheet: A02 Rev: 2</p>
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<p>Document Set ID: 5933888 Version: 1, Version Date: 03/06/2026</p>																



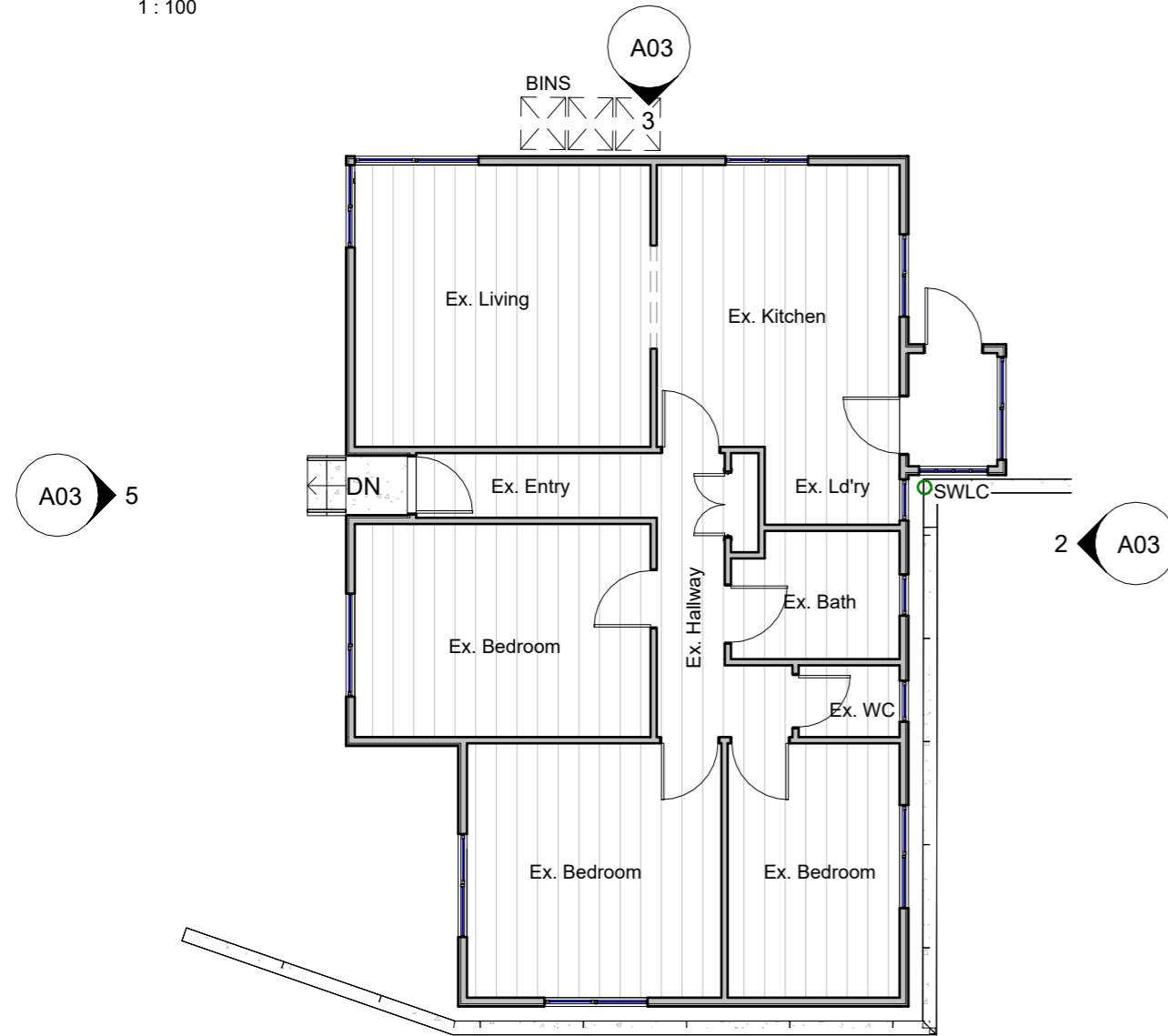
NORTH ELEVATION EX

1 : 100



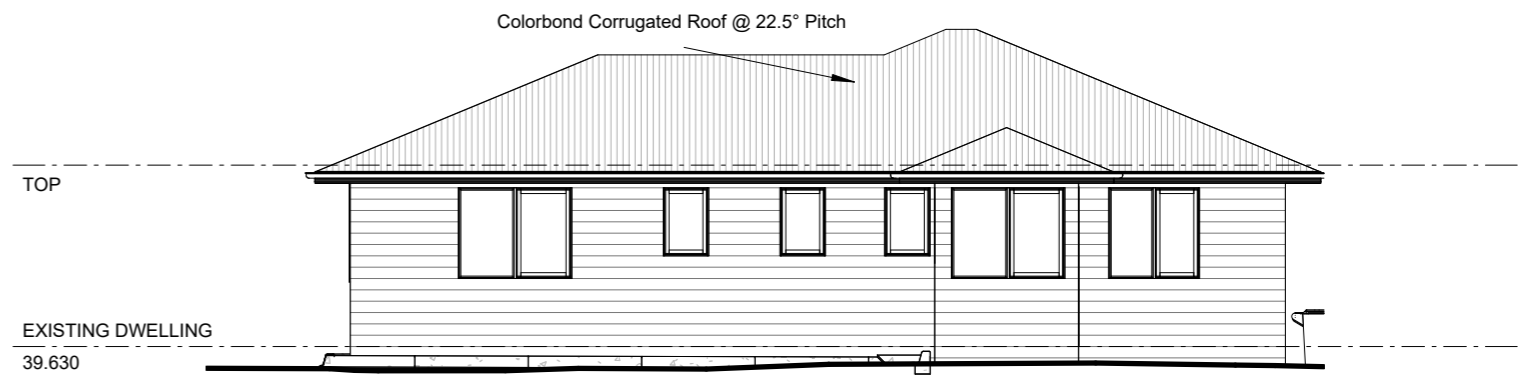
SOUTH ELEVATION EX

1 : 100



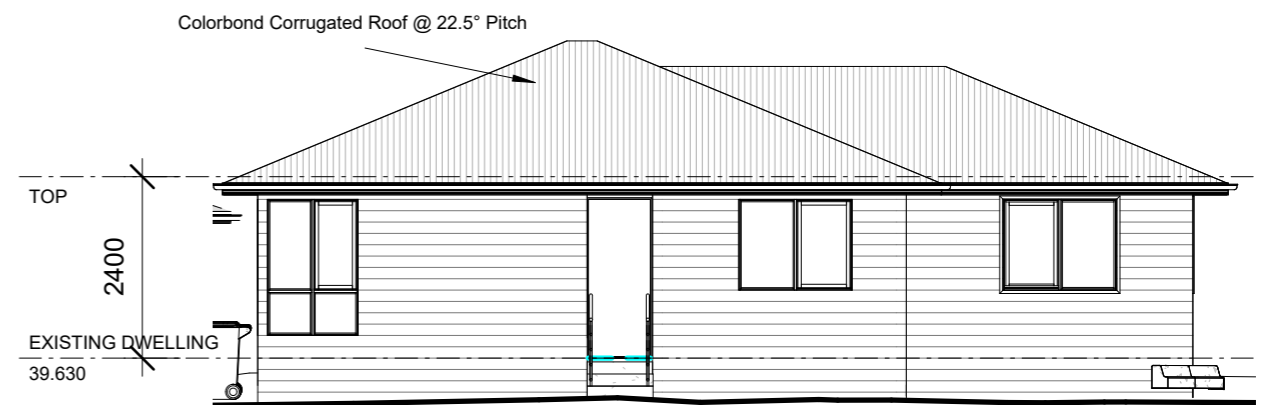
EXISTING DWELLING

1 : 100



EAST ELEVATION EX

1 : 100



WEST ELEVATION EX

1 : 100



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Website:
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Accreditation:
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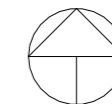
Project:
ADDITIONAL DWELLING

Address:
30 BOUNTY STREET, WARRANE,
TAS - 7018

Issue	Description	Date
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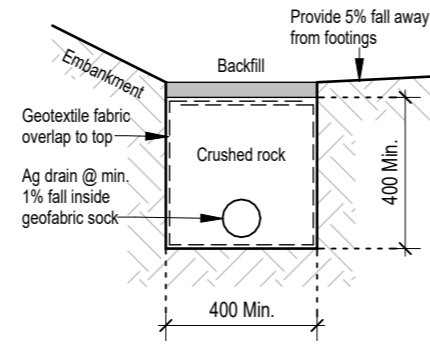
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Sheet: EXISTING DWELLING			
Drawn: GK			
Scale: 1 : 100	Size: A3	Date: 08/04/2026	
Project: 30BSW/ARCH/TAS - 2026		Sheet: A03	Rev: 2

NOTES:
SOIL CLASSIFICATION
 SOIL CLASSIFICATION TO BE CONFIRMED ON SITE.
 SCRAPE SITE TO REMOVE SURFACE VEGETATION
 AND PROVIDE LEVEL BUILDING PLATFORM.
SITE CLEARING
 IT IS THE RESPONSIBILITY OF THE CLIENT TO UNDERTAKE REMOVAL OF ANY
 SITE SPOIL/STOCK PILES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING.
 VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION..
CONDENSATION MANAGEMENT PART 10.8 IS ACHIEVED.
 THIS IS ONLY REQUIRED, IF ALL EXHAUST FANS (WCKITCHEN
 ETC.) DISCHARGE TO WITHIN ROOF SPACE. IF IT COMPLIES WITH
 PART 10.8.2 (2) THEN NO NEED FOR 'WHIRLY BIRDS'.



Ag Drain Detail TYP.

1 : 20

NOTES:
STORMWATER
 - ROOFING AS PER SPEC. FIX ROOFING IN ACCORDANCE WITH MANU. SPEC. AND INSULATION AS PER SPEC.
 - PROVIDE ALL COLORBOND FLASHINGS AS REQUIRED TO PROVIDE A WATERTIGHT INSTALLATION.
 - CONNECT ALL DOWNPIPES TO LEGAL POINT OF DISCHARGE
 - EAVES GUTTERS AS PER SPEC. MIN 1:200 FALL TOWARDS DOWNPIPES
 - ALL DOWNPIPES AS PER SPEC
 - ALL MECHANICAL AND OTHER SERVICE PENETRATIONS THROUGH ROOF SHALL BE FULLY FLASHED AND MADE WATERTIGHT

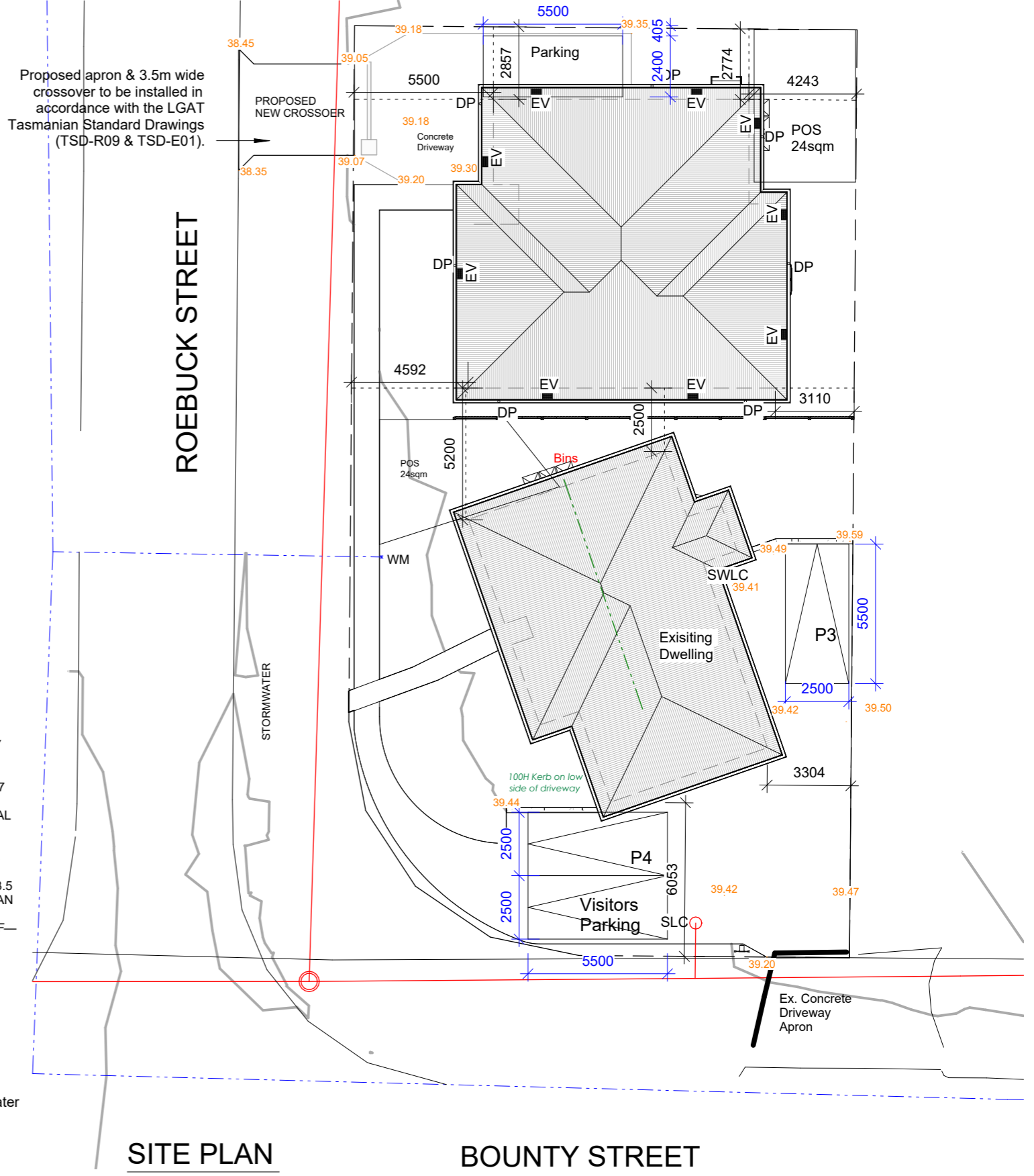
TERMITE PROTECTION
 PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.
STORM WATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID TO THE DRAINERS DISCRETION
SOLAR WATER SYSTEM
 SOLAR HOT WATER SYSTEM IN ACCORDANCE WITH PLUMBING REGULATIONS AND AS 4234-1998
 RELOCATION OF SERVICE PITS OR ANY OBSTRUCTIONS TO ALLOW VEHICLE ACCESS TO GARAGE REMAINS THE RESPONSIBILITY OF THE OWNER
 A SOIL INVESTIGATION REPORT AND FEATURE SURVEY WILL BE REQUIRED.

PLIABLE BUILDING MEMBRANE – PART 10.8.1: WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN AN EXTERNAL WALL, COMPLY WITH AS/NZS 4200.1; AND BE INSTALLED IN ACCORDANCE WITH AS 4200.2;
AND BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6, 7 AND 8; AND BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING

FLASHINGS TO WALL OPENINGS ARE ACCORDANCE WITH PART 7.5.6
ALL MASONRY VENEER WALLS TO COMPLY WITH PART 5.2
DESIGN OF ANTI-PONDING DEVICE/BOARD IN ACCORDANCE WITH 7.3.5
FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS – PART 10.8.2: AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF—
 O 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
 O 40 L/S FOR A KITCHEN OR LAUNDRY.

Subsoil Drainage
 To comply with AS2870, AS3500 & N.C.C 2022 3.3.4 .
 Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must—
 (a) be graded with a uniform fall of not less than 1:300 ; and
 (b) discharge into an external silt pit or sump with—
 (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Surface Water Drainage
 Ground to fall away from building in all Directions in compliance with AS2870 & N.C.C 2022 3.3.3 .
 Surface water must be diverted away from a Class 1 building as follows:
 (a) Slab-on -ground - Finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 (i) 25 mm over the first 1m from the building
 (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
 (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 (ii) 50 mm over the first 1m from the building in any other case.
 (b) Slab-on -ground - finished slab heights: the height of the slab-on -ground above external finished surfaces must not be less than:
 (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well drained areas; or
 (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or
 (iii) 150 mm in any other case.
 (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.



SITE PLAN

1 : 200



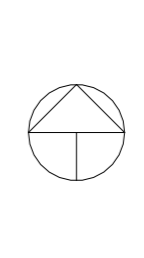
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Client:
PRANISH & NISHA
Project:
ADDITIONAL DWELLING
Address:
30 BOUNTY STREET, WARRANE,
TAS - 7018

Issue	Description	Date
1	Existing Dwelling Bins Shown	11/05/2026
2	Spot levels and parking space dimensions shown. Parking SW layout revised.	03/06/2026

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Sheet: SITE PLAN		
Drawn: GK		
Scale: As indicated	Size: A3	Date: 08/04/2026
Project: 30BSW/ARCH/TAS - 2026	Sheet: A04	Rev: 2

NOTES:

- CONFIRM MANHOLE ACCESS TO ROOF SPACES ON SITE
- A/C SERVICES, DUCTING & FIXTURE LOCATIONS TO BE DETERMINED ON SITE
- EXHAUST RANGEHOOD EXTERNALLY, CONFIRM ON SITE
- FLOOR WASTES TO KITCHEN, L'DRY & PDR TO BE CONFIRMED ON SITE

INSULATION: R5.0 TO CEILINGS AND R2.5 TO EXTERNAL WALLS.
 REFER ENGINEERING DRAWING FOR SLAB/ FOOTING/ ROOF/
 STRUCTURAL DETAILS
 WINDOWS / DOORS: BUILDING GENERALLY WILL BE SEALED TO
 PREVENT AIR LEAKAGE

Heights of rooms & other spaces 10.3.1 of NCC 2022

- Heights of rooms and other spaces must not be less than;
- (a) in a habitable room excluding a kitchen - 2.4 m ; and
 - (b) in a kitchen - 2.1 m ; and
 - (c) in a corridor, passageway or the like - 2.1 m ; and
 - (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m ; and
 - (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
 - (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite , the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II.
 Builder to contact USD before undertaking works.

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
 100mm in low rainfall intensity areas or sandy, well-drained areas;
 or 50mm above impermeable areas that slope away from the building;
 or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended Floor Framing U.N.O in builders specifications or located in Saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints. As per NCC parts 11.3.7 and 11.3.8, Openable windows greater than 4 m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125 mm sphere cannot pass through, and withstand a force of 250N.
 Except for bedrooms, where the requirement is for heights above 2m.
 All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

- Riser: Min 115mm - Max 190mm
- Going: Min 240mm - Max 355mm
- Slope (2R+G): Max 550mm - Min 700mm

Parts 2, 5, and 6 of the NCC 2022 Liveable Housing provisions (Part H8, Vol 2/G7, Vol 1)

Part 2: Doorways and Doors (Clear Opening Width)

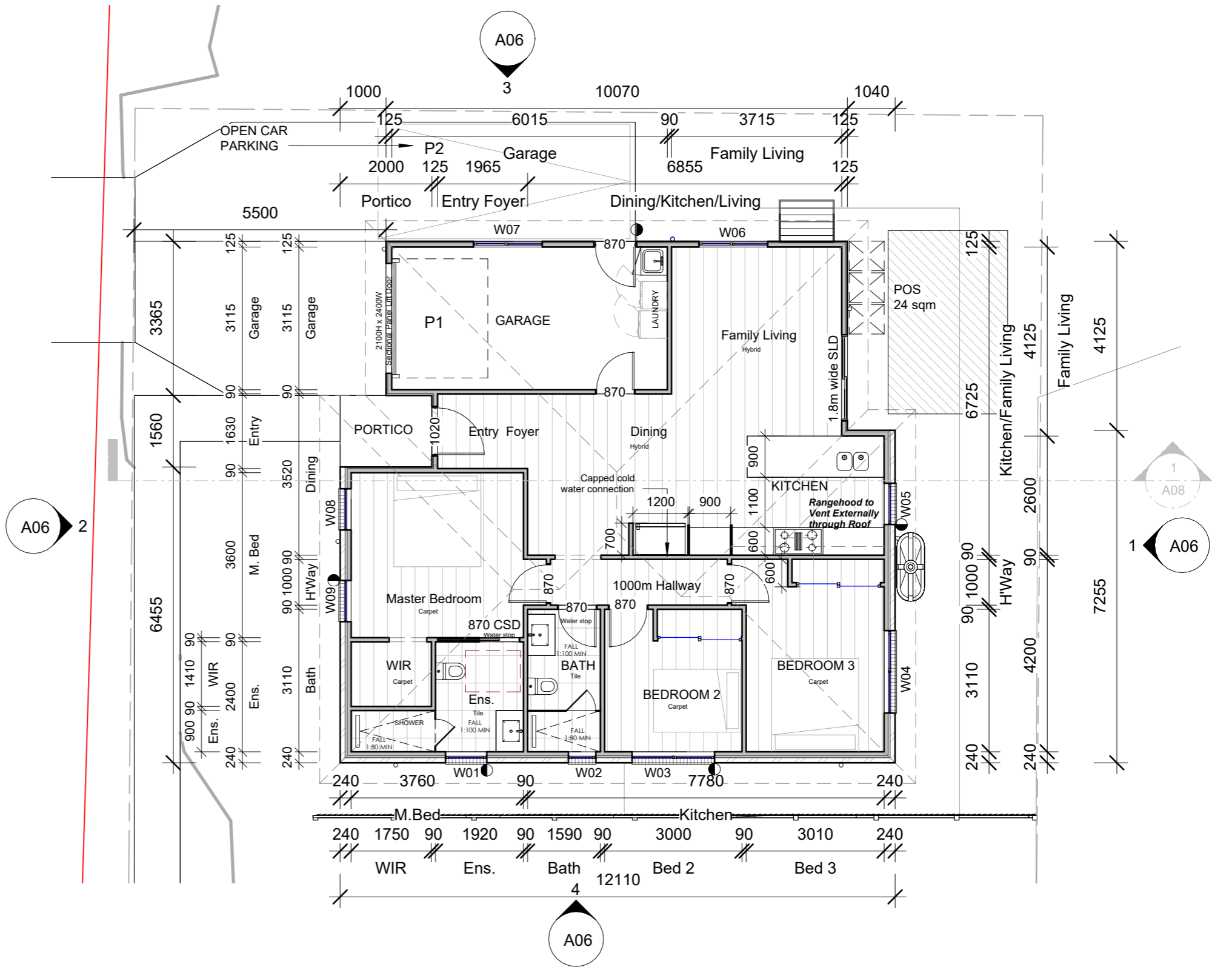
A clear opening width of at least 820mm is required for the main entrance door and at least one path of travel to a living room, kitchen, bathroom, and toilet.

Part 5: Shower

At least one shower must be "hobless" and "step-free".

Part 6: Reinforcement of Bathroom and Sanitary Compartment Walls

Walls must be reinforced (e.g., with noggings or plywood sheeting) to withstand the load of grab rails. Reinforcement is required for all walls of the shower, bath (if provided), and the toilet (sanitary compartment).



FLOOR PLAN

1 : 100



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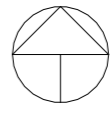
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Address:
30 BOUNTY STREET, WARRANE,
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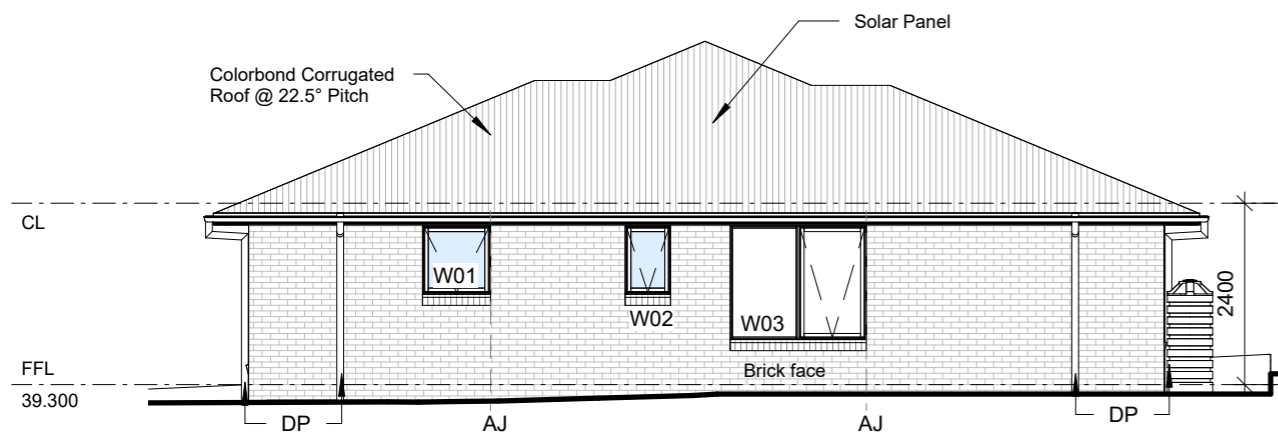


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Project: 30BSW/ARCH/TAS - 2026	Sheet: A05	Rev: 2



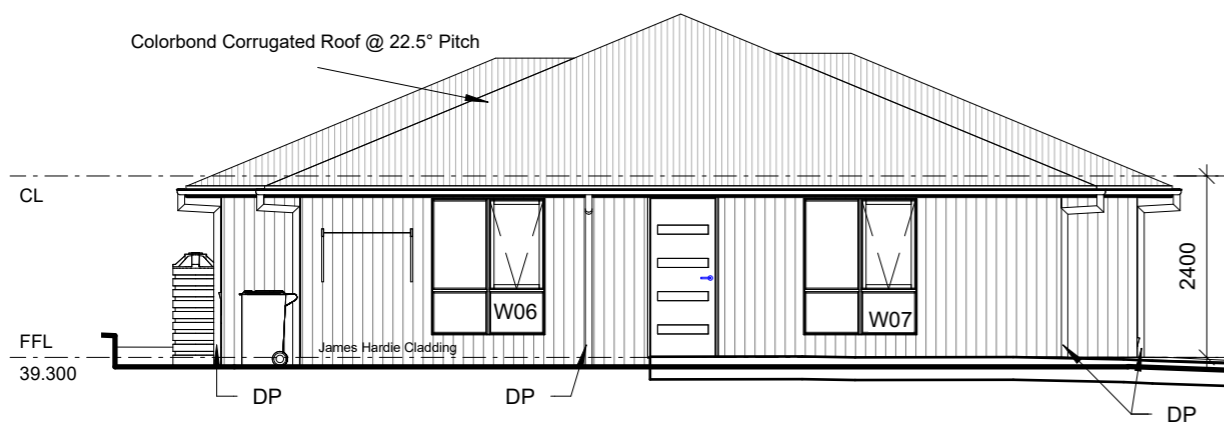
WEST ELEVATION

1 : 100



SOUTH ELEVATION

1 : 100



NORTH ELEVATION

1 : 100

Window Schedule				
Number	Width	Height	Sill Height	Head Height
W01	900	900	1200	2100
W02	600	900	1200	2100
W03	1800	1500	600	2100
W04	1800	1500	600	2100
W05	900	1200	900	2100
W06	1500	1800	300	2100
W07	1500	1800	300	2100
W08	900	1800	300	2100
W09	900	1800	300	2100
W10	1500	1200	900	2100
W11	1500	1200	900	2100
W12	1500	1200	900	2100

EAVE CONSTRUCTION NCC VOLUME 2 PART 3.5.3.5

EAVE WIDTH OVERHANG - 450mm

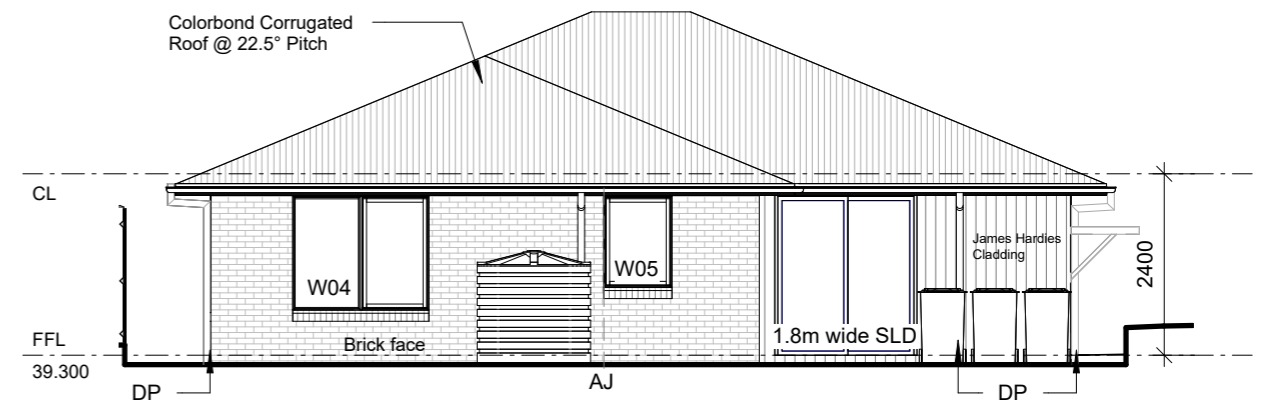
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm OF EXTERNAL CORNERS TO BE SPACED @ 500mm CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF EXTERNAL CORNERS @ 200mm CENTERS, REMAINDER OF SHEET - 300mm CENTERS

COLORBOND CUSTOM ORB ROOF CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562
COLOUR BY OWNER.

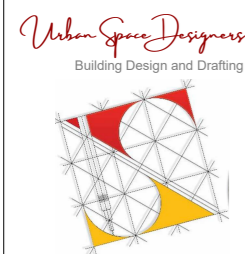
SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
NCC VOLUME 2 PART 3.6 POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



EAST ELEVATION

1 : 100



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TAS - 7018

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Sheet:

ELEVATIONS

Drawn: GK

Scale: 1 : 100

Size: A3

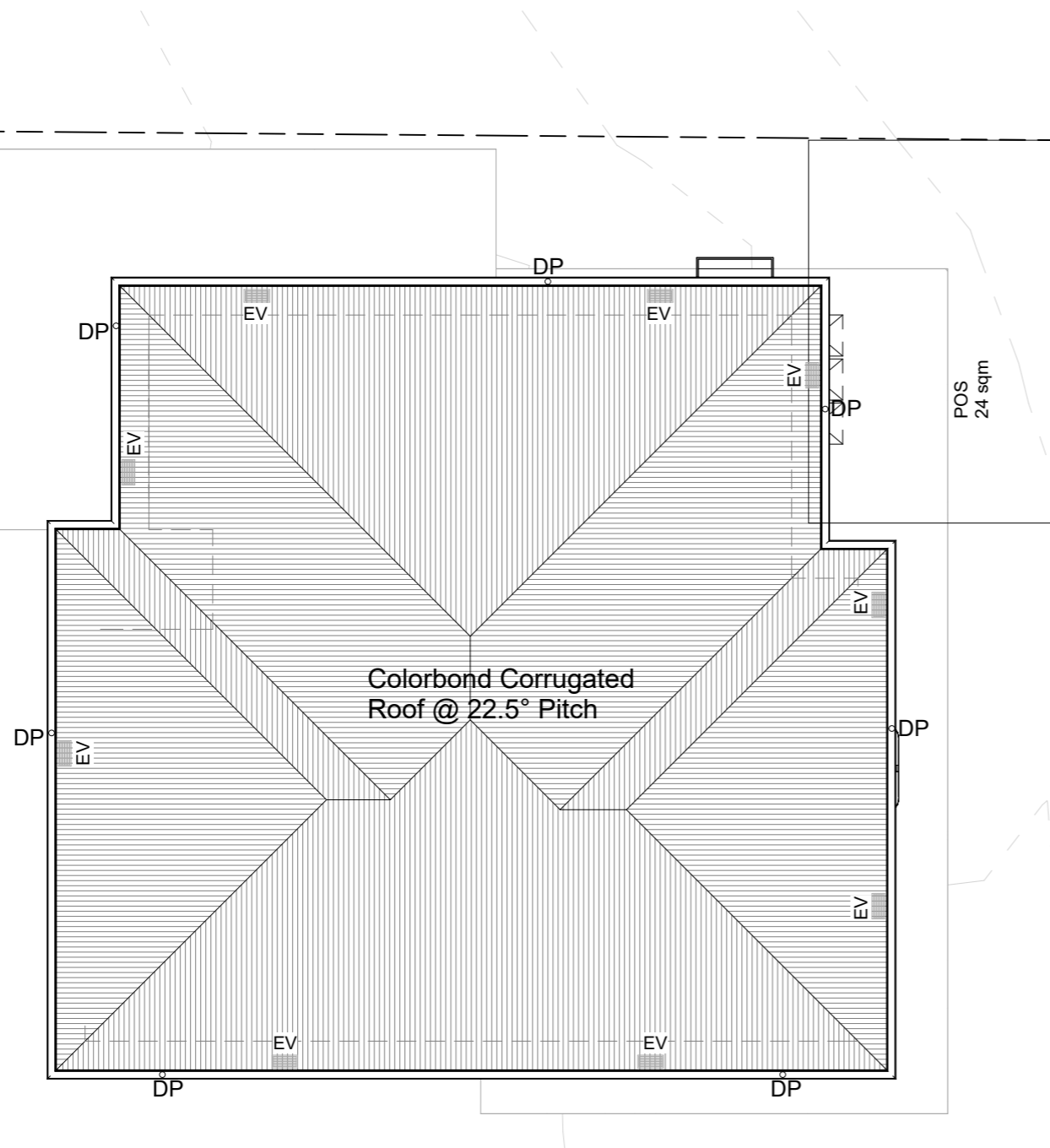
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2026

Sheet:
A06

Rev:
2

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)



ROOF PLAN

1 : 100

Gutter and Down Pipes - NCC 2022 Part 7.4

- Colorbond metal fascias and gutters.
 - Eaves gutters installed with a fall of 1:500 (normally).
 - Box gutters fall of 1:100.
 - Spacing between downpipes maximum 12m.
 - Downpipes to be located 1.2m from a valley or provisions made for overflow.
 - Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table 7.4.3b and 7.4.3c.
- Zincalume color (B.M.T) 0.500 protected steel sheet to Australian Standard AS139\ Fascia clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than $1.14 \mu\text{g}/\text{N.s}$, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles or an unsarked tiled roof.

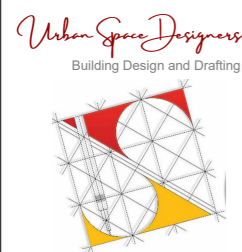
Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

F8D3 External wall construction

2 (b) for climate zone 6,7,& 8, $1.14 \mu\text{g}/\text{N.s}$

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b).



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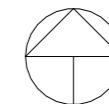
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Project: 30BSW/ARCH/TAS - 2026		Sheet: A07	Rev: 2

SERVICES

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
 A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
 B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING; AND
 C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING

- A) ALL FLOW AND RETURN INTERNAL PIPING THAT IS -
 - I) WITHIN AN UNVENTILATED WALL SPACE
 - II) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
 - III) BETWEEN CEILING INSULATION AND A CEILING

MUST HAVE A MINIMUM R-VALUE OF 0.2 (IE 9MM OF CLOSED CELL POLYMER INSULATION)

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

- A) ALL FLOW AND RETURN PIPING
 - B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
- MUST HAVE A MINIMUM R-VALUE OF 0.45 (IE 19MM OF CLOSED CELL POLYMER INSULATION)

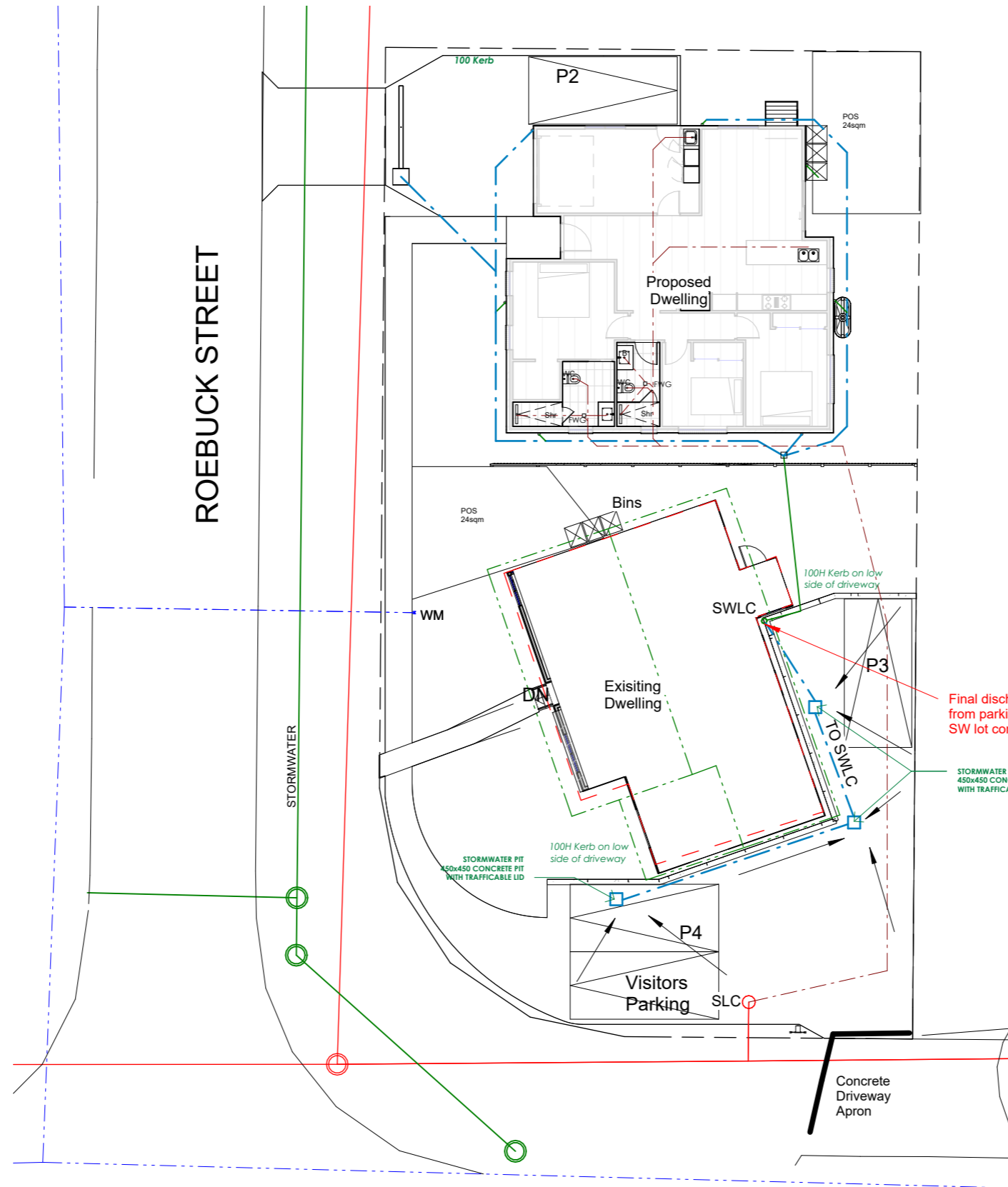
3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB-FLOOR OR ROOF SPACE

- A) ALL FLOW AND RETURN PIPING
 - B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
- MUST HAVE A MINIMUM R-VALUE OF 0.6 (IE 25MM OF CLOSED CELL POLYMER INSULATION)

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

DOWNPIPES MUST NOT SERVE MORE THAN 12M GUTTER LENGTH FOR EACH DOWNPIPE. AS PER BCA 3.5.2.5.

DOWNPIPES MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY UTTERS AND, IF THE DOWNPIPE IS MORE THAN 1.2M FROM A VALLEY, ROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.



DRAINAGE PLAN LEGEND

- SEWER LINE (100mm DIA UPVC PIPE) ---
- STORMWATER LINE (100mm DIA UPVC PIPE) ---
- AG DRAIN (100mm SOCKET SLOTTED PIPE) ---
- INSPECTION OPENING I.O.
- RODDING END R.E.
- OVERFLOW RELIEF GULLY ORG
- VENT VENT
- DOWNPIPE (90mm) D.P.
- WET AREA (REFER TO WATERPROOFING NOTES)

DRAINAGE PLAN NOTES

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

ALL PLUMBING & DRAINAGE TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size (dia)
B	BASIN	40
BTH	BATH	40
SHR	SHOWER	40
S	SINK	50
TR	TROUGH	40
WC	WATER CLOSET PAN	100
DP	DOWNPIPE	90

NOTES:
 Waterproof Membrane not required below Pre - Formed Shower Bases, but still required at Penetrations (including floor waste)

SERVICE PLAN

1 : 200

BOUNTY STREET



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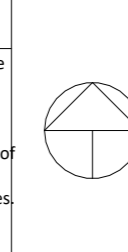
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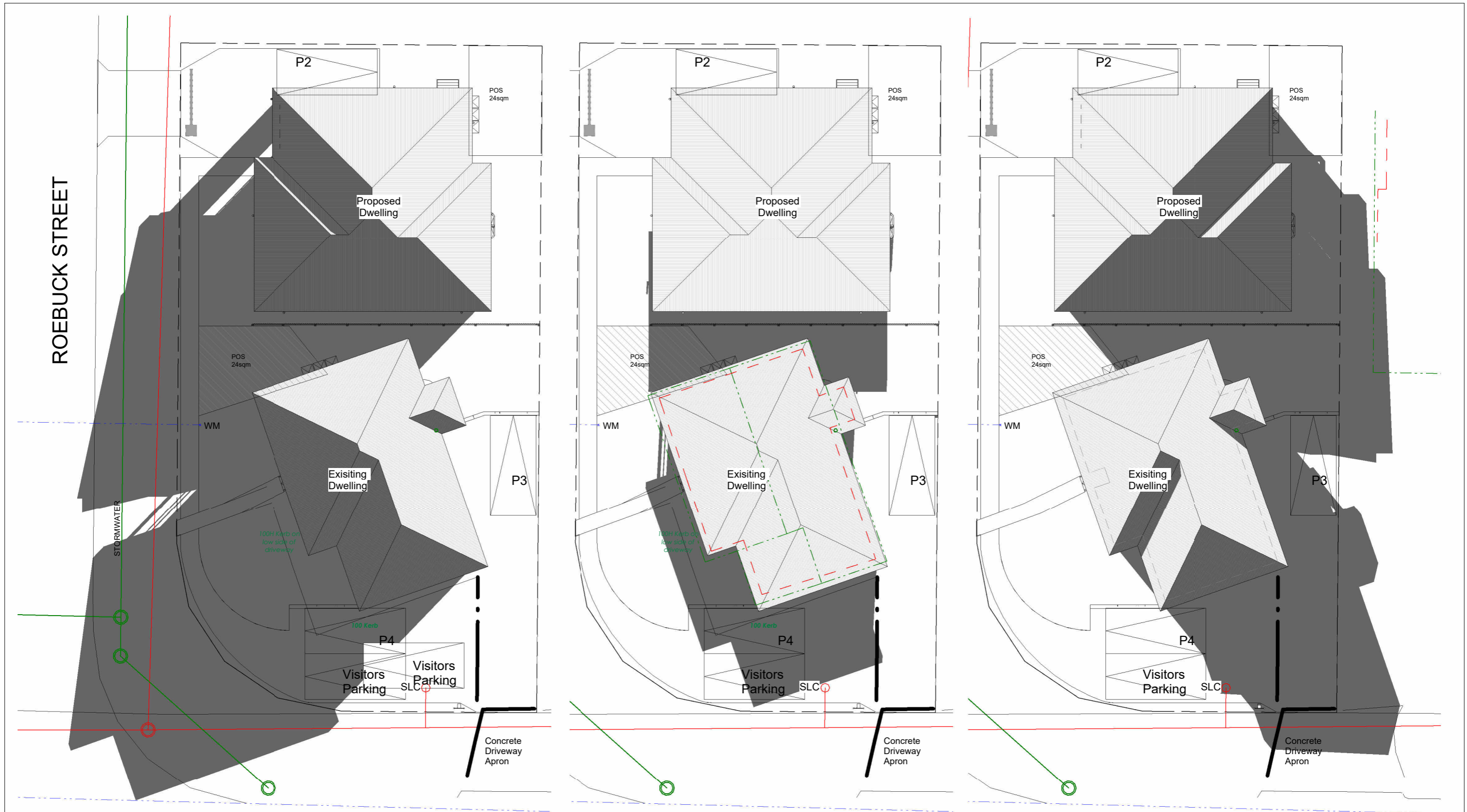
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Project: 30BSW/ARCH/TAS - 2026	Sheet: A11	Rev: 2



SHADOW @9AM

1 : 200

SHADOW @12PM

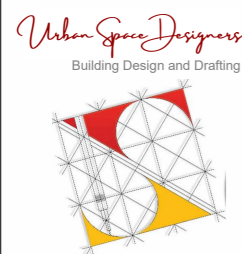
1 : 200

(21st JUNE)

SHADOW @3PM

1 : 200

(21st JUNE)



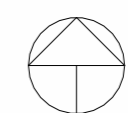
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Client: PRANISH & NISHA
 Project: ADDITIONAL DWELLING
 Address: 30 BOUNTY STREET, WARRANE, TAS - 7018

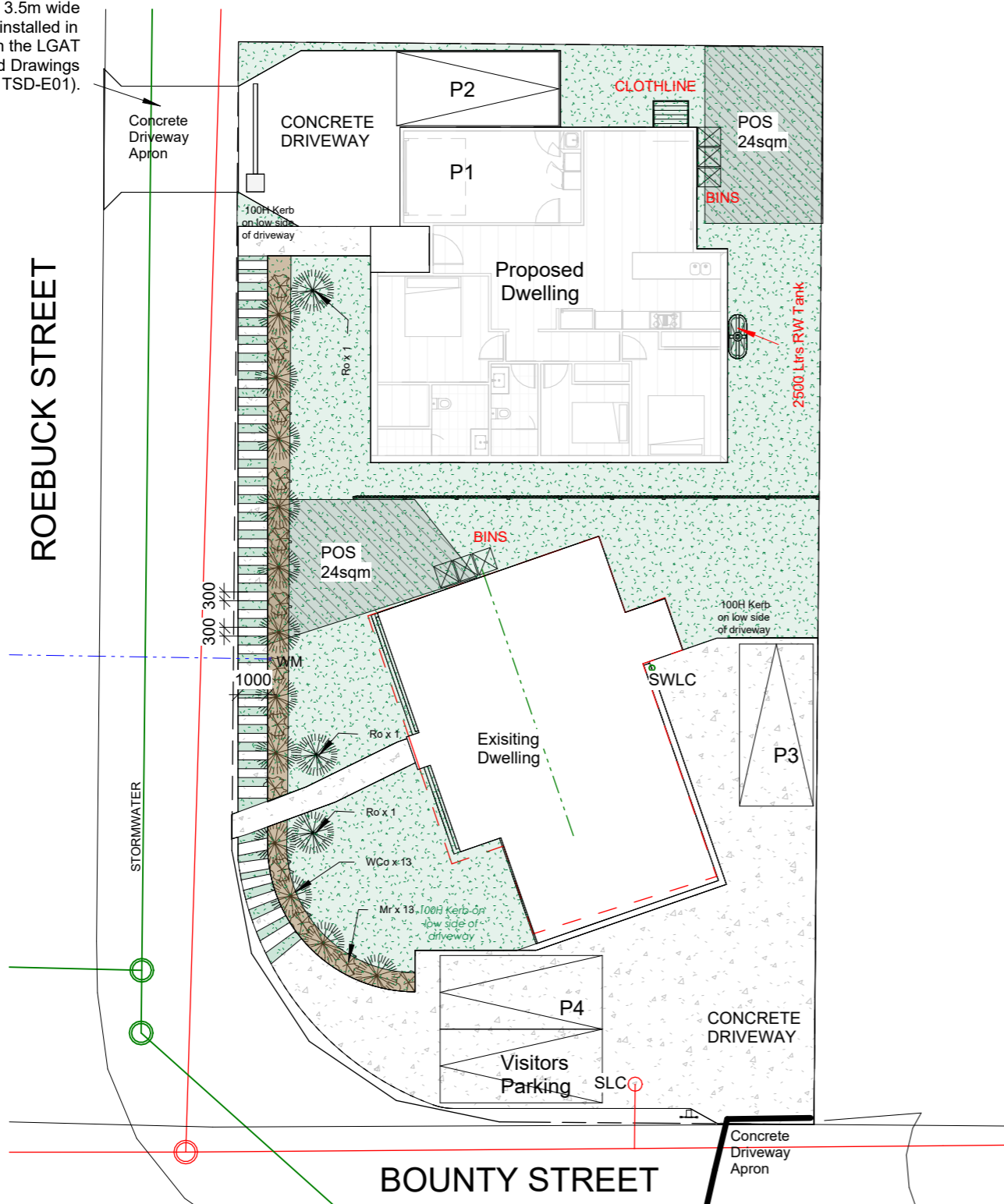
Issue	Description	Date
1	Existing Dwelling Bins Shown	11/05/2026
2	Spot levels and parking space dimensions shown. Parking SW layout revised.	03/06/2026

ARCHITECTURE DRAWINGS
 CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.



Sheet: SHADOW DIAGRAMS		
Drawn: GK		
Scale: 1 : 200	Size: A3	Date: 08/04/2026
Project: 30BSW/ARCH/TAS - 2026	Sheet: A18	Rev: 2

Proposed apron & 3.5m wide crossover to be installed in accordance with the LGAT Tasmanian Standard Drawings (TSD-R09 & TSD-E01).



LANDSCAPE PLAN

1 : 200

GARDEN BEDS LOCATED IN PUBLIC VIEW MUST BE MULCHED. GARDEN BEDS ARE TO CONTAIN ORGANIC OR PEBBLE MULCH

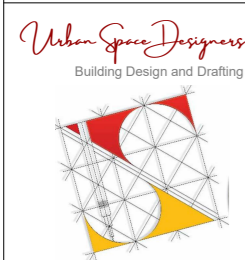


Letter Box

DEVELOPMENT SUMMARY		
Sno.	Description	AREA SQM.
1	SITE AREA	705
2	GREEN AREA	276.00
4	BLDG BUILT UP AREA	
a	PROPOSED DWELLING	127.00
b	EXISTING BUILDING	96.00
c	PORCH	3.00
	(BUILDING FOOT PRINT) (BUILDING GROUND COVER)	226.00
	PERCENTAGE %	32.06%
5	CONCRETE AREA (DRIVEWAY + PARKING)	206.00
6	IMPERVIOUS SURFACE	
	GROUND COVER	226.00
	CONCRETE/DRIVEWAY	206.00
	TOTAL IMPERVIOUS SURFACE	432.00
	PERCENTAGE %	61.28
7	PERVIOUS SURFACE	
	GREEN AREA	276.00
	TOTAL PERVIOUS SURFACE	276.00
	PERCENTAGE %	39.15

PLANTING SCHEDULE				
CODE	NAME	POT SIZE	QUANTITY	MATURE H x W
SHRUBS				
Wco	WHITE CORREA	140mm	13	1.5m x 1.5m
Mr	MAT - RUSH	140mm	13	1m x 1m
Ro	ROSEMARY	150mm	03	1m x 1.5m
	GARDEN MULCH			

TOTAL GREEN AREA: 276.00SqM



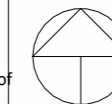
Phone:
0402438170
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Website:
www.urbanspacedesigners.com.au
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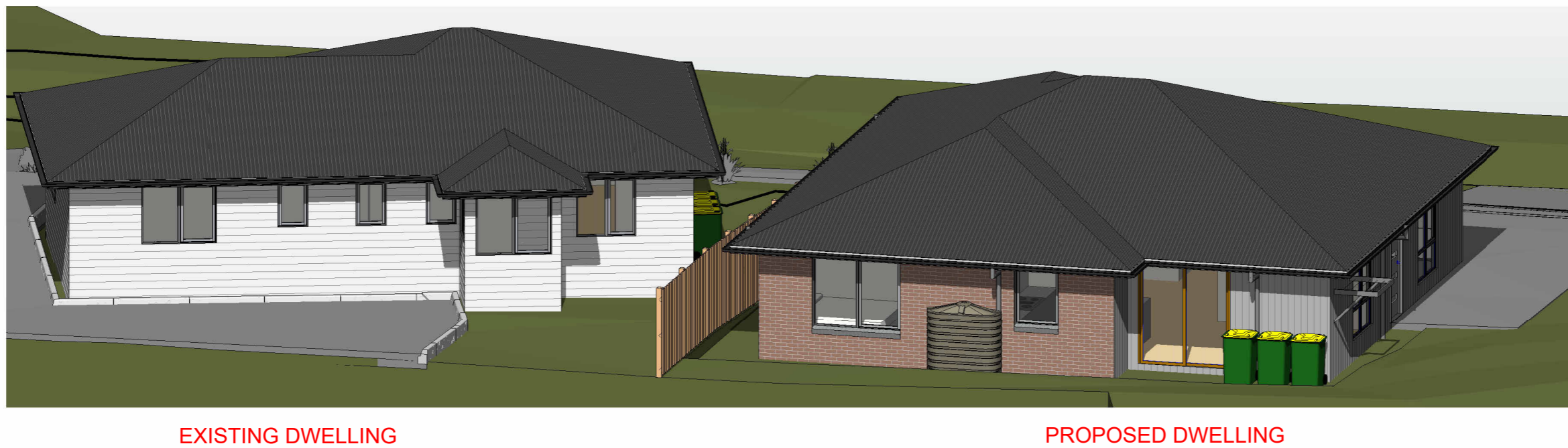
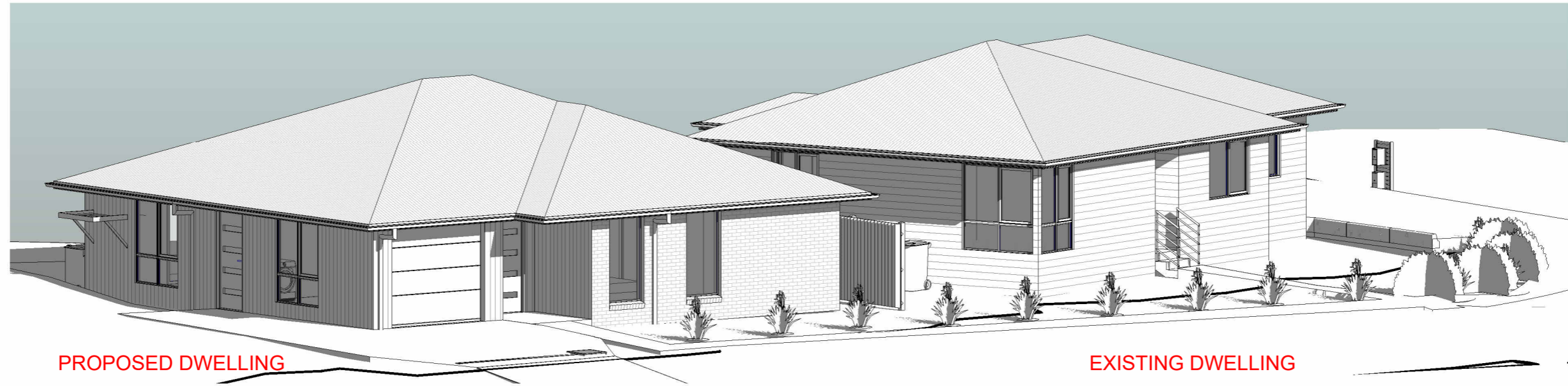
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Sheet:
LANDSCAPE PLAN
Drawn: GK
Scale: As indicated Size: A3 Date: 08/04/2026
Project: 30BSW/ARCH/TAS - 2026 Sheet: A19 Rev: 2

3D VIEWS FOR ILLUSTRATION PURPOSE ONLY



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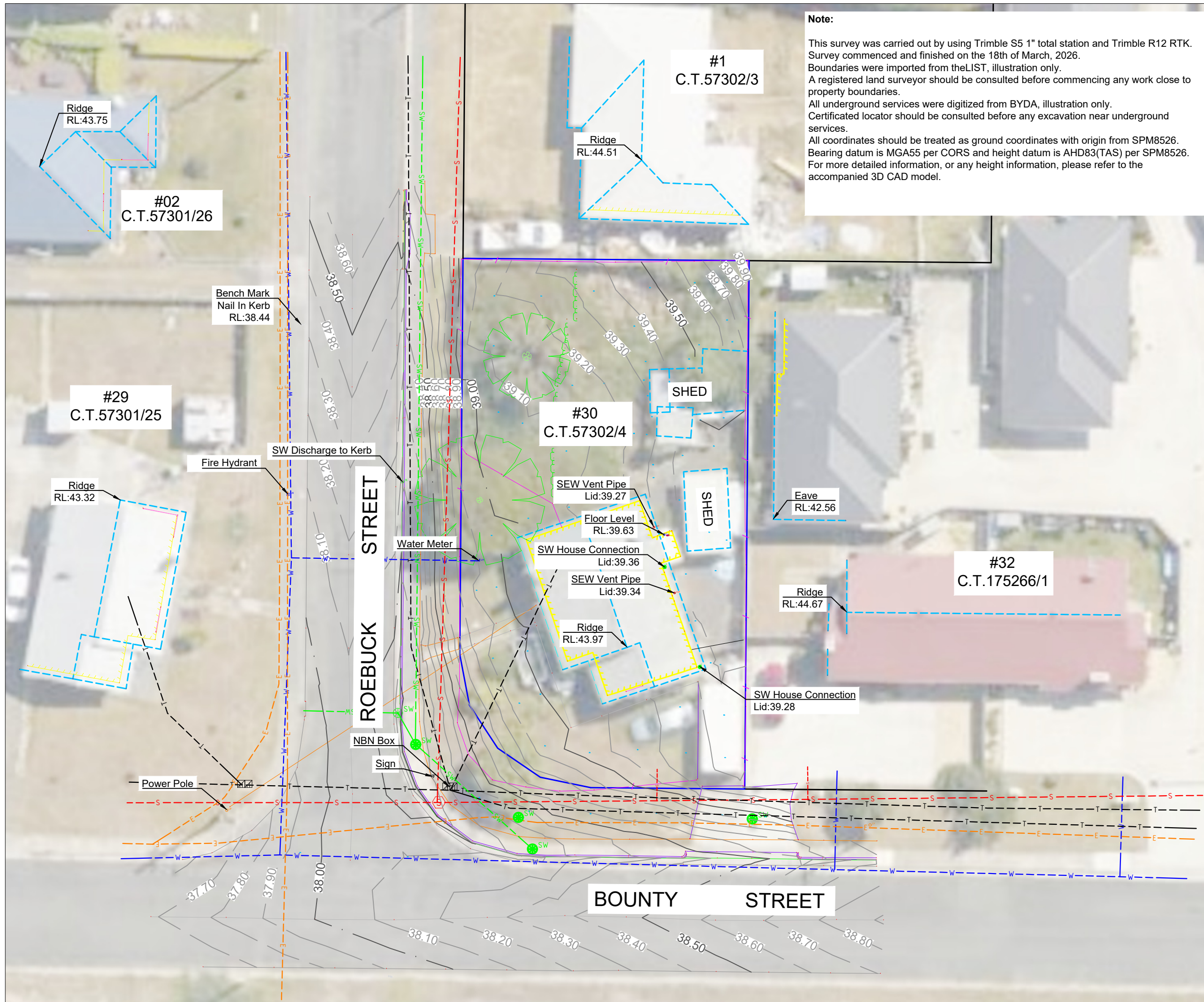
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Sheet: 3D VIEWS		
Drawn: GK		
Scale:	Size: A3	Date: 08/04/2026
Project: 30BSW/ARCH/TAS - 2026	Sheet: A20	Rev: 2



Note:
 This survey was carried out by using Trimble S5 1" total station and Trimble R12 RTK. Survey commenced and finished on the 18th of March, 2026. Boundaries were imported from theLIST, illustration only. A registered land surveyor should be consulted before commencing any work close to property boundaries. All underground services were digitized from BYDA, illustration only. Certificated locator should be consulted before any excavation near underground services. All coordinates should be treated as ground coordinates with origin from SPM8526. Bearing datum is MGA55 per CORS and height datum is AHD83(TAS) per SPM8526. For more detailed information, or any height information, please refer to the accompanied 3D CAD model.

N

SCALE 1: 250 (A3)

Metres

Detail Survey Plan

Address:	30 Bounty St, Warrane, TAS 7018
F.R.:	57302/4
Owner:	P. NIRLAULA

Legend:

Fence	
theLIST Boundary	
Building Eave	
Window	
Driveway	
Footpath	
ELEC(Digitized)	
Water(Digitized)	
Sewer(Digitized)	
SW(Digitized)	
COMM(Digitized)	

Horizontal Datum	MGA55 GDA2020
Height Datum	AHD83 (Tas)
Ground/Grid Coordinates	Ground
Horizontal Origin	SPM8526
Height Origin	SPM8526
CSF Applied	0.99960564

Drawing No:	D-1
Revision:	0
Page:	1/1
Surveyor:	S.SHEN
Draftsman:	S.SHEN
Date:	22/03/2026
RMS Ref:	26016D



ReMarkable Surveying PTY LTD
 ABN:32651691986

Engineering Survey	Quantity Take-off
Setout	Conformance Report
Site Detail Survey	Data Management

0497241557
 Cheng@ReMarkableSurveying.com