



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061352

PROPOSAL: Dwelling

LOCATION: 194 Tollard Drive, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15/07/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15/07/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15/07/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **NEW DWELLING**

Location: **194 TOLLARD DRIVE, ROKEBY**

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **VACANT LOT**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 175718	FOLIO 28
EDITION 4	DATE OF ISSUE 06-Mar-2026

SEARCH DATE : 13-Apr-2026

SEARCH TIME : 02.01 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 28 on Sealed Plan 175718

Derivation : Part of Lot 38079 Gtd. to The Director-General of Housing and Construction

Prior CT 174656/600

SCHEDULE 1

N107842 TRANSFER to LISA ANNE READETT and IAN DAVID READETT
Registered 06-Mar-2026 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP175718 COVENANTS in Schedule of Easements

SP175718 FENCING PROVISION in Schedule of Easements

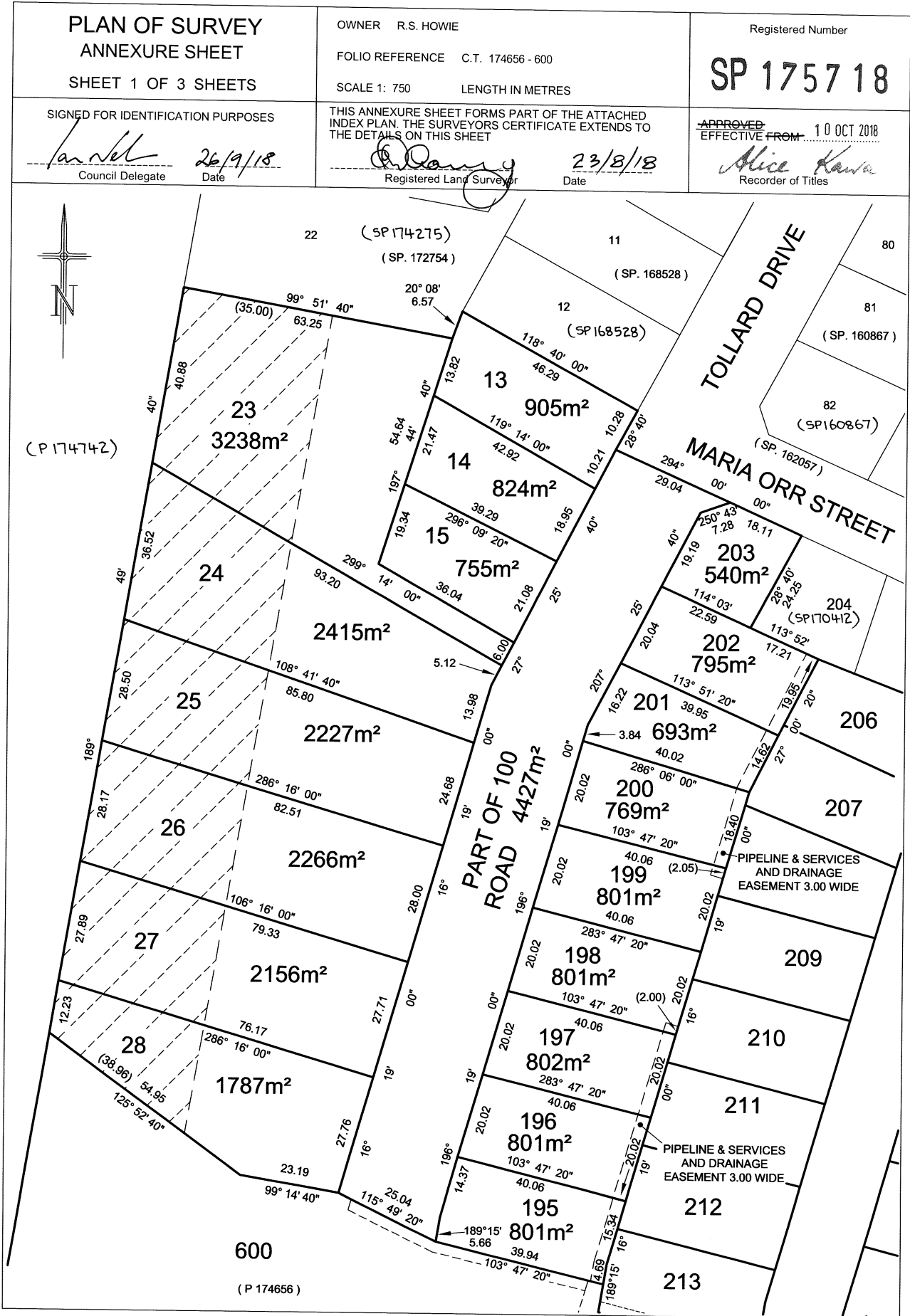
SP170412 COVENANTS in Schedule of Easements

SP170412 FENCING PROVISION in Schedule of Easements

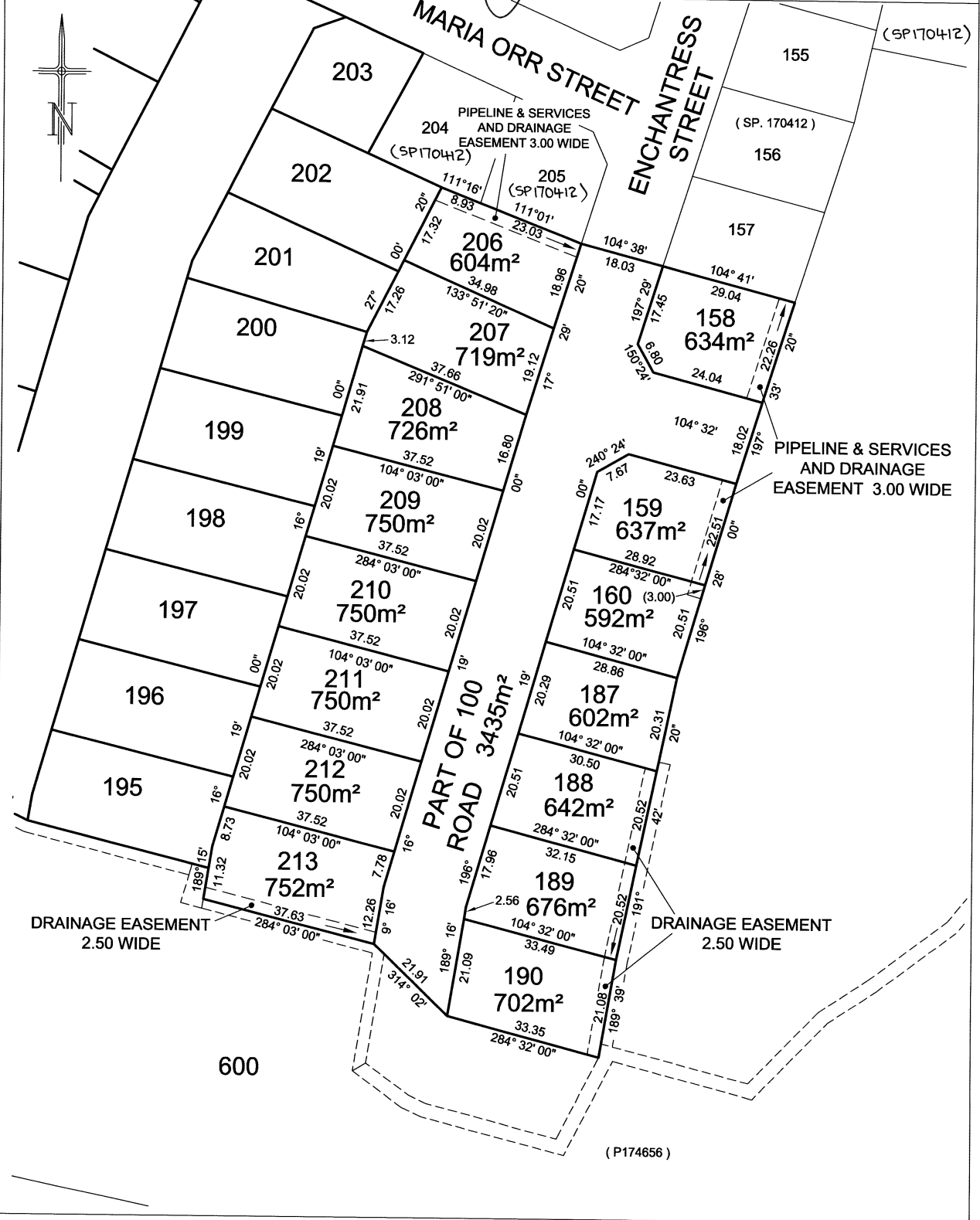
SP160867 FENCING COVENANT in Schedule of Easements

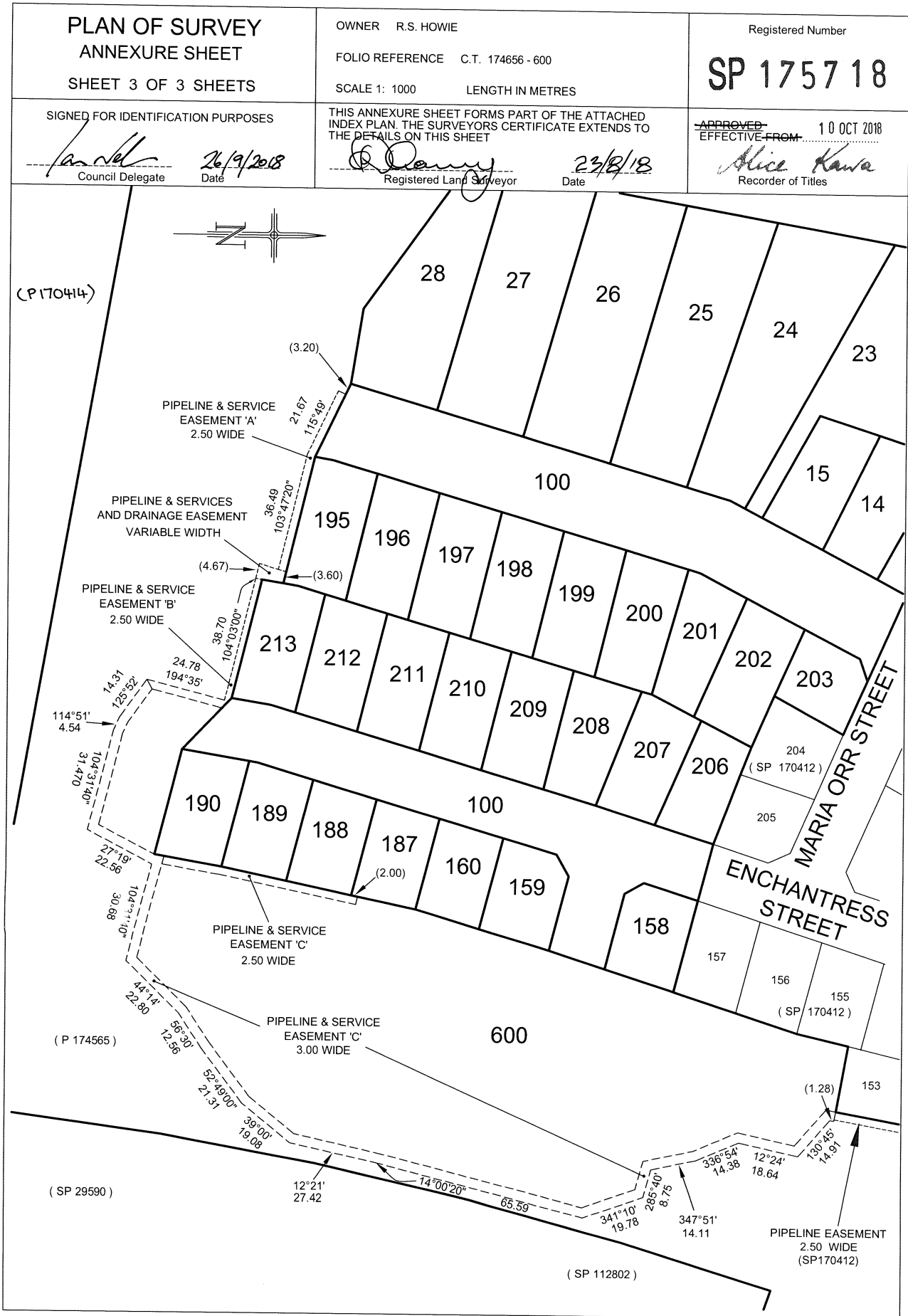
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 3 SHEETS</p>	<p>OWNER R.S. HOWIE</p> <p>FOLIO REFERENCE C.T. 174656 - 600</p> <p>SCALE 1: 750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 175718</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 26/9/18 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>[Signature]</i> 23/9/18 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 10 OCT 2018</p> <p><i>[Signature]</i> Recorder of Titles</p>





SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 1757 18

PAGE 1 OF 6 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

1. EASEMENTS

1.1 Lot 158, 159, 160, 195, 196, 197, 198, 199, 200, 201, 202 & 206

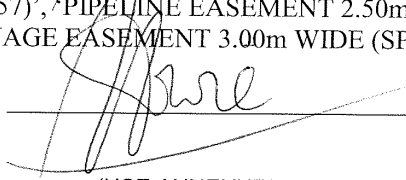
- (a) Lots 158, 159, 160, 195, 196, 197, 198, 199, 200, 201, 202 and 206 on the Plan are subject to a Pipeline and Services Easement in favour of TasWater over the land marked 'PIPELINE & SERVICES, EASEMENT 3.00 WIDE' shown on the Plan ("the Easement Land") & DRAINAGE
- (b) Lots 158, 159, 160, 195, 196, 197, 198, 199, 200, 201, 202 and 206 on the Plan are subject to a Right of Drainage in favour of Clarence City Council over the area marked 'PIPELINE & SERVICES, EASEMENT 3.00 WIDE' shown on the Plan ("the Easement Land") & DRAINAGE

1.2 Lot 188, 189, 190 & 213

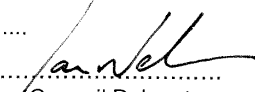
Lots 188, 189, 190 and 213 on the Plan are subject to a Right of Drainage in favour of Clarence City Council over the area marked 'DRAINAGE EASEMENT 2.50 WIDE' shown on the Plan.

1.3 Lot 600

- (a) Lot 600 on the Plan is subject to a Pipeline and Services Easement in favour of TasWater over the land marked 'PIPELINE & SERVICE EASEMENT "A", "B" & "C" 2.50 WIDE', 'PIPELINE & SERVICE EASEMENT "C" 3.00 WIDE', 'PIPELINE & SERVICES & DRAINAGE EASEMENT VARIABLE WIDTH', 'PIPELINE EASEMENT 6.00m WIDE (P128957)', 'PIPELINE EASEMENT 2.50m WIDE (SP170412)' and 'PIPELINE AND DRAINAGE EASEMENT 3.00m WIDE (SP170412)' shown on the Plan.

Signed by **R S Howie:** 

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Robert Stuart Howie FOLIO REF: 174656/600 SOLICITOR & REFERENCE: A Tan (190000)	PLAN SEALED BY: Clarence City Council DATE: <u>26/9/2018</u> SD: <u>2011/19</u> REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 1757 18</p>
<p>SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 174656/600</p>	

(hereinafter defined)

- (b) Lot 600 on the Plan is subject to a Pipeline Easement in favour of Clarence City Council over the 'PIPELINE & SERVICES & DRAINAGE EASEMENT VARIABLE WIDTH' shown on the Plan.
- (c) Lot 600 on the Plan is subject to a Pipeline Easement in favour of Clarence City Council and TasWater over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P128957)' on the Plan.
- (d) Lot 600 on the Plan is subject to a Pipeline Right in favour of Clarence City Council over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P128957)' on the Plan as more fully set forth in C88284.
- (e) Lot 600 on the Plan is subject to an Electricity Infrastructure Easement in favour of Clarence City Council and TasWater over the land marked 'ELECTRICITY INFRASTRUCTURE EASEMENT 6.00 WIDE' on the Plan, more particularly set forth in C100545.
- (f) Lot 600 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over the areas of land marked 'PIPELINE AND DRAINAGE EASEMENT 3.00m WIDE (SP170412)' and 'DRAINAGE EASEMENT VARIABLE WIDTH (SP170412)' shown passing through Lot 600 on the Plan.
- (g) *Lot 600 on the Plan is subject to a Right of Drainage in favour of TasWater over the land marked 'DRAINAGE EASEMENT 2.50 wide shown on the Plan.'*

* & DRAINAGE EASEMENT 2.50 WIDE (SP160867)

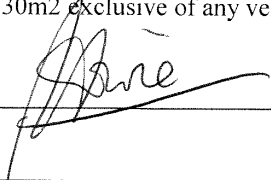
RS
10.10.18

2. COVENANTS

- 2.1 Each lot on the Plan is subject to restrictive covenants as more fully set out in SP170412 in relation to which the Vendor (**Robert Stuart Howie**) retains the right to modify, vary, waive or extinguish each or any of the covenants set out therein.
- 2.2 Additional covenants

The owner of each and every lot on the Plan covenant with the Vendor (Robert Stuart Howie) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every other lot shown on the plan to observe the following stipulations: -

- Not to erect or place or permit to be erected or placed upon the lot a dwelling having a total floor area of less than 130m² exclusive of any vehicle accommodation, external landings, patios and outbuildings.

Signed by **R S Howie**: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 1757 18</p>
<p>SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 174656/600</p>	

Provided that the Vendor (Robert Stuart Howie) shall have the right to modify, vary, waive or extinguish each and every covenant set forth above.

2.3 The owners of Lots 23, 24, 25, 26, 27 and 28 on the Plan covenant with Clarence City Council to the intent that the burden of these covenants may run with and bind the covenantor's lot and ever part thereof and that the benefit may be created in gross in favour of the Clarence City Council to observe the following stipulations:

- Not to erect or cause to be erected any dwelling or other building or structure within that part of each lot shown hatched on the Plan.

3. FENCING PROVISION

In respect of each lot on the Plan the Vendor **Robert Stuart Howie** shall not be required to fence.

4. INTERPRETATION

“Pipeline and Services Easement” means:

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and

Signed by **R S Howie**: 

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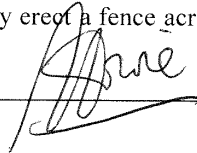
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP 1757 18
SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 174656/600	

- (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.

Signed by **R S Howie**: _____



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 175718</p>
<p>SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 174656/600</p>	

- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and

Signed by **R S Howie:** 

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES	Registered Number SP 1757 18
SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 174656/600	

(h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water and Sewerage Corporation Pty Limited ABN 47162 220 653, trading TasWater, established under the provisions of the water and Sewerage Corporations Act 2008 (Tas).

5. EXECUTION

Signed by **Robert Stuart Howie**

in the presence of

Witness Signature.....

Witness Name (in full) **Curtis Franklin Browne**.....

Legal Practitioner

Witness Address..... **Simmons Wolfhagen**

Level 4, 99 Bathurst Street

Witness Occupation..... **Hobart TAS 7000**



INTERPRETATION - continued:

'Pipeline Easement' means the full and free right of every person (Dominant Owner) who is entitled to an estate or interest in possession indicated as the dominant tenement, or any part of it, with which that right will be capable of enjoyment in common with the owner of the servient tenement to lay use and maintain forever water mains and pipes of such size and number as shall from time to time be required in the strip of land shown on the plan and marked 'Pipeline Easement' (Servient Land) and for the Dominant Owner and their employees, agents and contractors from time to time and at all times to enter into and upon the Servient Land or any part of it bringing upon the Servient Land such material, machinery and other things as it considers fit and proper to inspect the condition of the mains and pipes and to repair, alter, amend and cleanse PROVIDED HOWEVER that any damage occasioned in doing so will be made good.

*for
10.10.18*

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

DRAWING SCHEDULE	
A.01	LOCATION PLAN
A.02	SITE ANALYSIS
A.03	SITE PLAN 1:400
A.04	SITE PLAN 1:200
A.05	LOWER FLOOR PLAN - PROPOSED
A.06	GROUND FLOOR PLAN - PROPOSED
A.07	ROOF PLAN - PROPOSED
A.08	ELEVATIONS 01
A.09	ELEVATIONS 02
A.10	RFI RESPONSE
A.11	RFI RESPONSE



ARTIST IMPRESSION ONLY



194 TOLLARD DRIVE,
ROKEBY TAS

NEW DWELLING
JOB NO: 2537

SITE INFORMATION

Title Reference: 175718/28
 Property ID: 3616812
 Council: Clarence
 Planning Zone: Low Density Residential
 Covenants
 -Not to place a dwelling upon the lot having a total floor area of less than 130m².
 -Not to erect a building or structure within part of the lot shown hatched on plan.

General Overlays: N/A

Code Overlays:
 -Low landslip hazard band,
 -Airport obstacle limitation area
 -Priority vegetation area
 -Bushfire-prone areas

Soil Classification: **CLASS 'M'**
 Refer to GES Geotechnical Assessment

Bushfire Attack Level (BAL): **'19'**
 (Refer to Young Group Bushfire Assessment for more info)

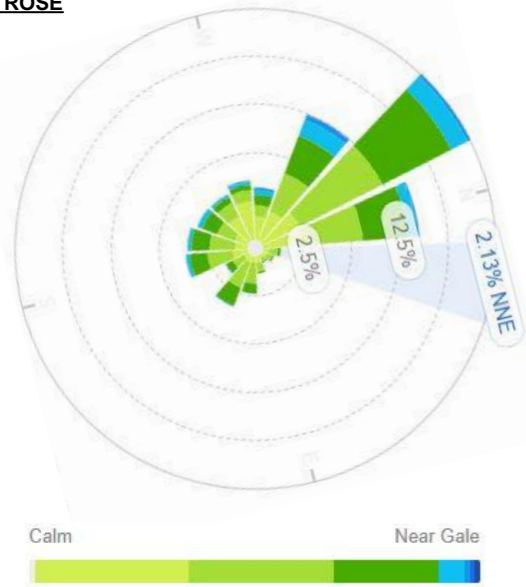
Wind Classification N3
 Terrain Category Classification 1.0
 Topography: T2
 Shielding: PS
 Climate zone: 7

NCC Building Class: 1a

Land area: 1787m²

Building Area- Proposed: 133.12m²
 Deck - Proposed: 19.05m²
 Patio - Proposed: 34.37m²
 Carport - Proposed: 28.36m²

WIND ROSE



All dimensions in millimetres unless noted otherwise.

PRINT ALL DRAWINGS IN COLOUR



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MK | **MATT KENNEDY**
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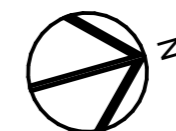
bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

CLIENT: **READETT**
 ADDRESS: **194 TOLLARD DRIVE, ROKEBY**

JOB NO: **2537**

PROPOSAL: **NEW DWELLING**
 PROJECT STAGE: **DA**

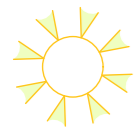
DATE: **24/06/2026**
 SCALE: **NTS**



REV: **2** | AMENDMENT: **COUNCIL RFI** | DATES: **24.06.26**

A.01
 LOCATION PLAN

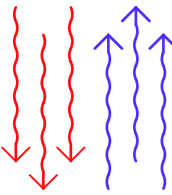
LEGEND



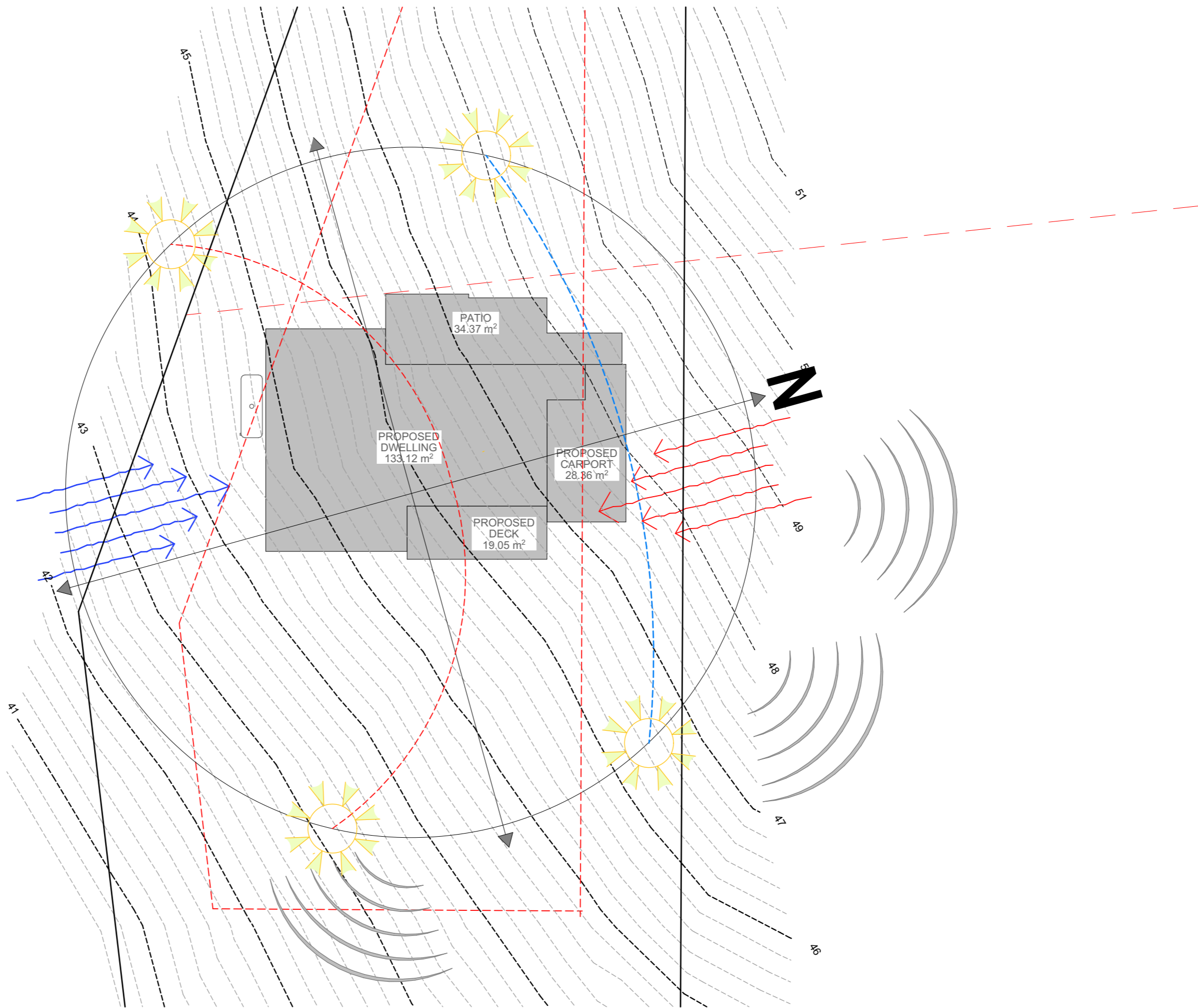
SUN
 SUMMER & WINTER SOLSTICE
 WINTER JUNE 22 ——— (blue dashed line)
 SUMMER DEC 22 - - - - - (red dashed line)



VIEWS
 VIEWS TO ENCAPSULATE DURING DESIGN PROCESS



WINDS
 PREDOMINANT BREEZES
 CROSS VENTILATION



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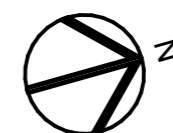


CLIENT:
READETT
 ADDRESS:
194 TOLLARD DRIVE, ROKEBY

JOB NO:
2537

PROPOSAL
NEW DWELLING
 PROJECT STAGE
DA

DATE
24/06/2026
 SCALE
1:200@A3





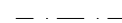






REV
2

AMENDMENT
 COUNCIL RFI





DATES
 24.06.26

A.02
 SITE ANALYSIS

LEGEND

-  PROPOSED BUILDING
-  BOUNDARY
-  NEIGHOURING BOUNDARY
-  CONTOUR
-  WATER MAIN
-  SEWER MAIN
-  SET BACK
-  TEMPORARY BUSHFIRE HAZARD AREA
-  BUSHFIRE HAZARD MANAGEMENT AREA

CODE OVERLAYS

-  PRIORITY VEGETATION AREA - NATURAL ASSEST CODE - ENTIRE SITE (NOT APPLICABLE)
-  LANDSLIP HAZARD - LOW
-  BUSHFIRE - PRONE AREA - ENTIRE SITE
-  AIRPORT OBSTACLE LIMITATION AREA - ENTIRE SITE

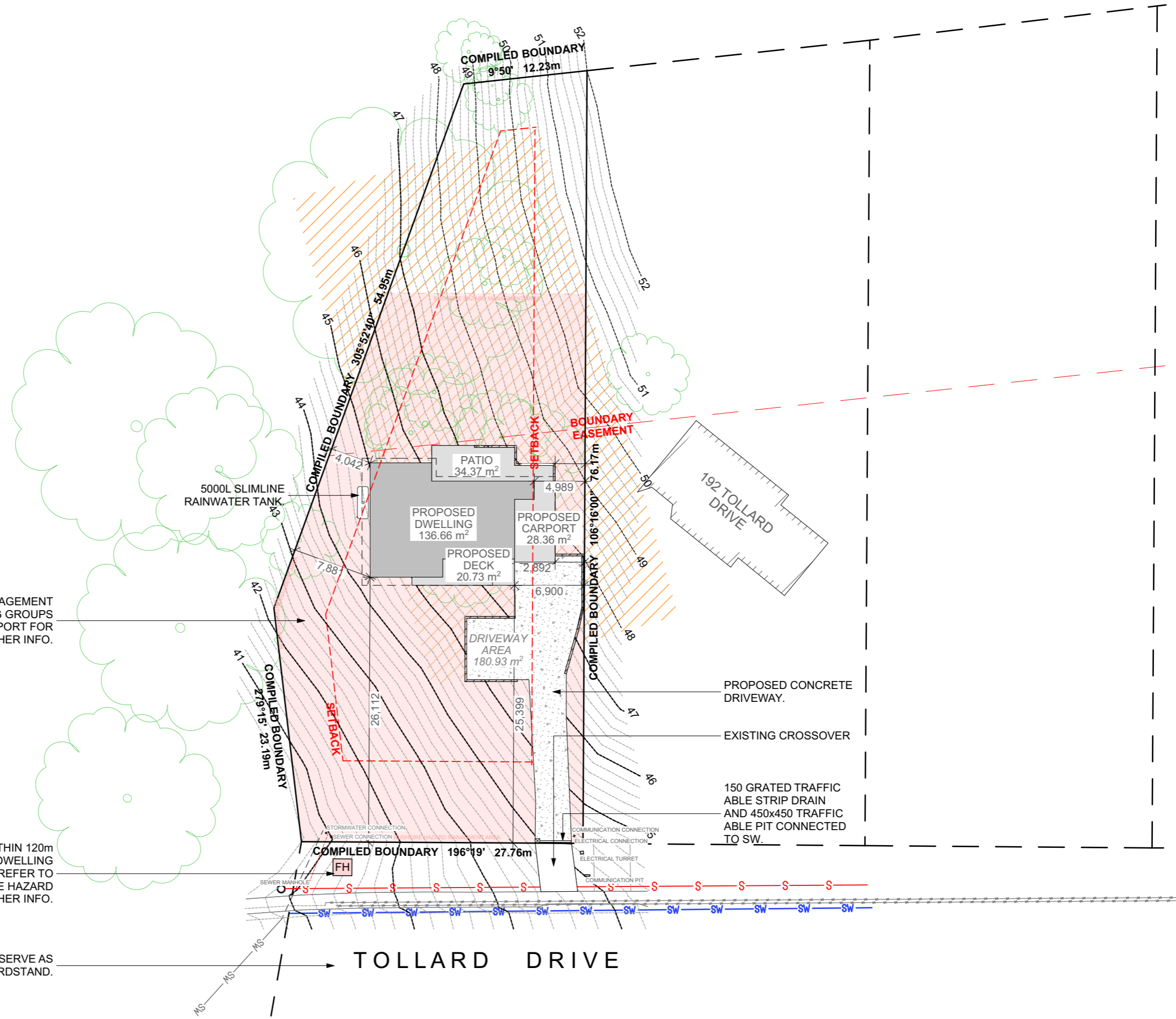
The Bushfire Hazard Management Area (BHMA) shown on Drawing A.03 is accurate.

REFER TO BUSHFIRE HAZARD REPORT PREPARED BY YOUNG GROUP DATED 8TH MAY 2026 FOR DETAILS

BUSHFIRE HAZARD MANAGEMENT AREA (REFER TO YOUNG GROUPS BUSHFIRE HAZARD REPORT FOR FURTHER INFO.)

EXISTING FIRE HYDANT, WITHIN 120m OF FURTHEST POINT OF DWELLING MEASURED AS HOSELAY. REFER TO YOUNG GROUP'S BUSHFIRE HAZARD REPORT FOR FURTHER INFO.

PUBLIC ROADWAY TO SERVE AS HARDSTAND.



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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

CLIENT:
READETT
ADDRESS:
194 TOLLARD DRIVE, ROKEBY

JOB NO:
2537

PROPOSAL
NEW DWELLING
PROJECT STAGE
DA

DATE
24/06/2026
SCALE
1:400@A3



REV
2








AMENDMENT
COUNCIL RFI

DATES
24.06.26


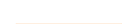

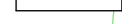
A.03
SITE PLAN 1:400



LEGEND

-  PROPOSED BUILDING
-  BOUNDARY
-  NEIGHOURING BOUNDARY
-  CONTOUR
-  WATER MAIN
-  SEWER MAIN
-  SET BACK

CODE OVERLAYS

-  PRIORITY VEGETATION AREA - NATURAL ASSEST CODE - ENTIRE SITE
-  LANDSLIP HAZARD - LOW
-  BUSHFIRE - PRONE AREA - ENTIRE SITE
-  AIRPORT OBSTACLE LIMITATION AREA - ENTIRE SITE



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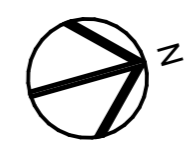
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CLIENT: **READETT**
 ADDRESS: **194 TOLLARD DRIVE, ROKEBY**

JOB NO: **2537**

PROPOSAL: **NEW DWELLING**
 PROJECT STAGE: **DA**

DATE: **24/06/2026**
 SCALE: **1:200@A3**



REV 2

AMENDMENT COUNCIL RFI

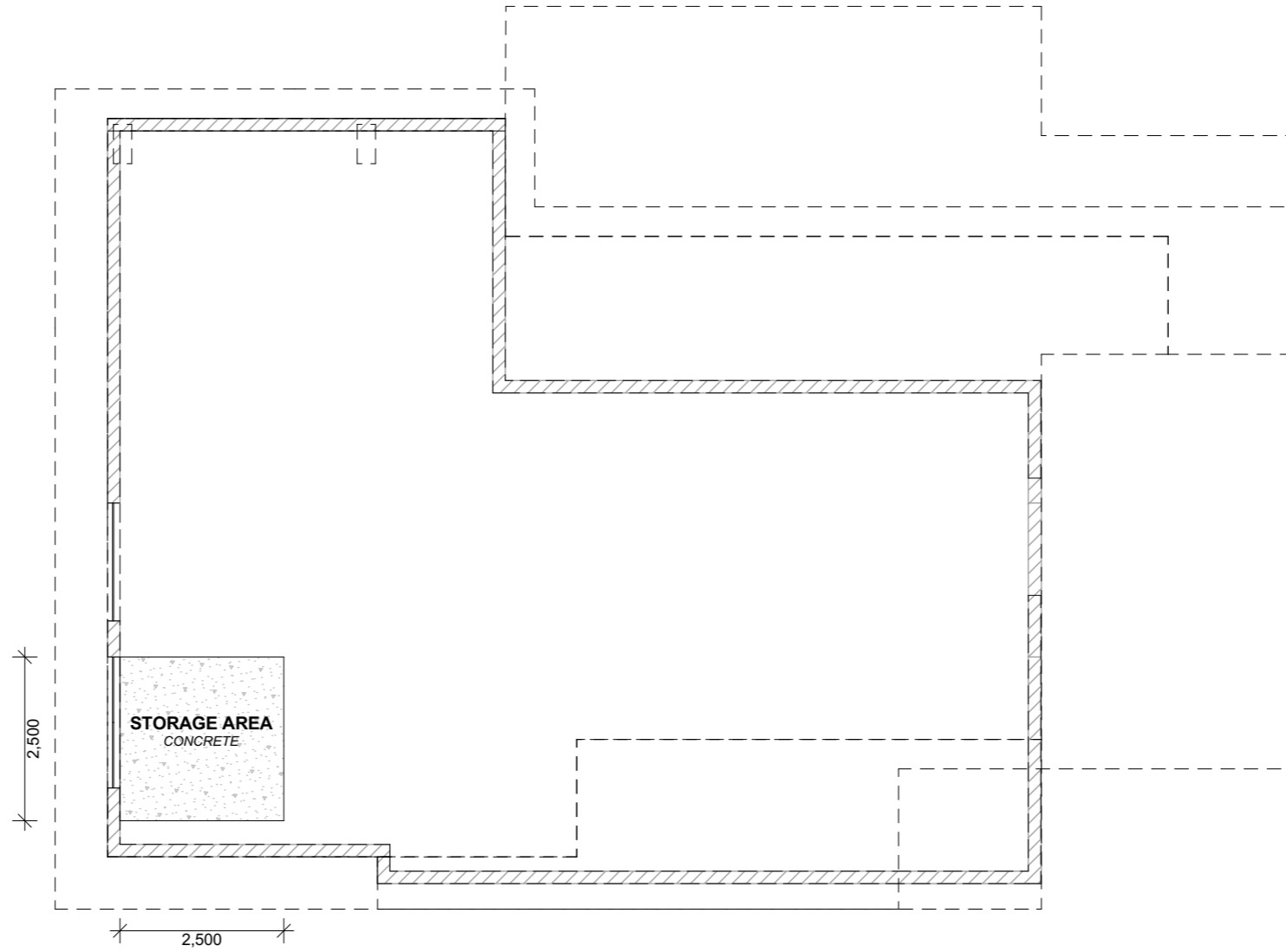
DATES 24.06.26

A.04

SITE PLAN 1:200

LEGEND

CONCRETE - Exposed concrete.
To Owners selection.



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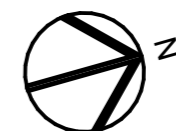


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SCALE
@A3



REV 2	AMENDMENT COUNCIL RFI	DATES 24.06.26
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A.05
LOWER FLOOR PLAN
- PROPOSED

LEGEND

- ⊕ New levels
- BS Basin
- COL Column
- DW Dishwasher
- F Refrigerator
- HP Hot Plates
- O Oven
- S Sink
- SHR Shower
- TR Trough
- TW Towel rail
- WC Water closet
- WM Washing machine

CONCRETE - Exposed concrete.
To Owners selection.

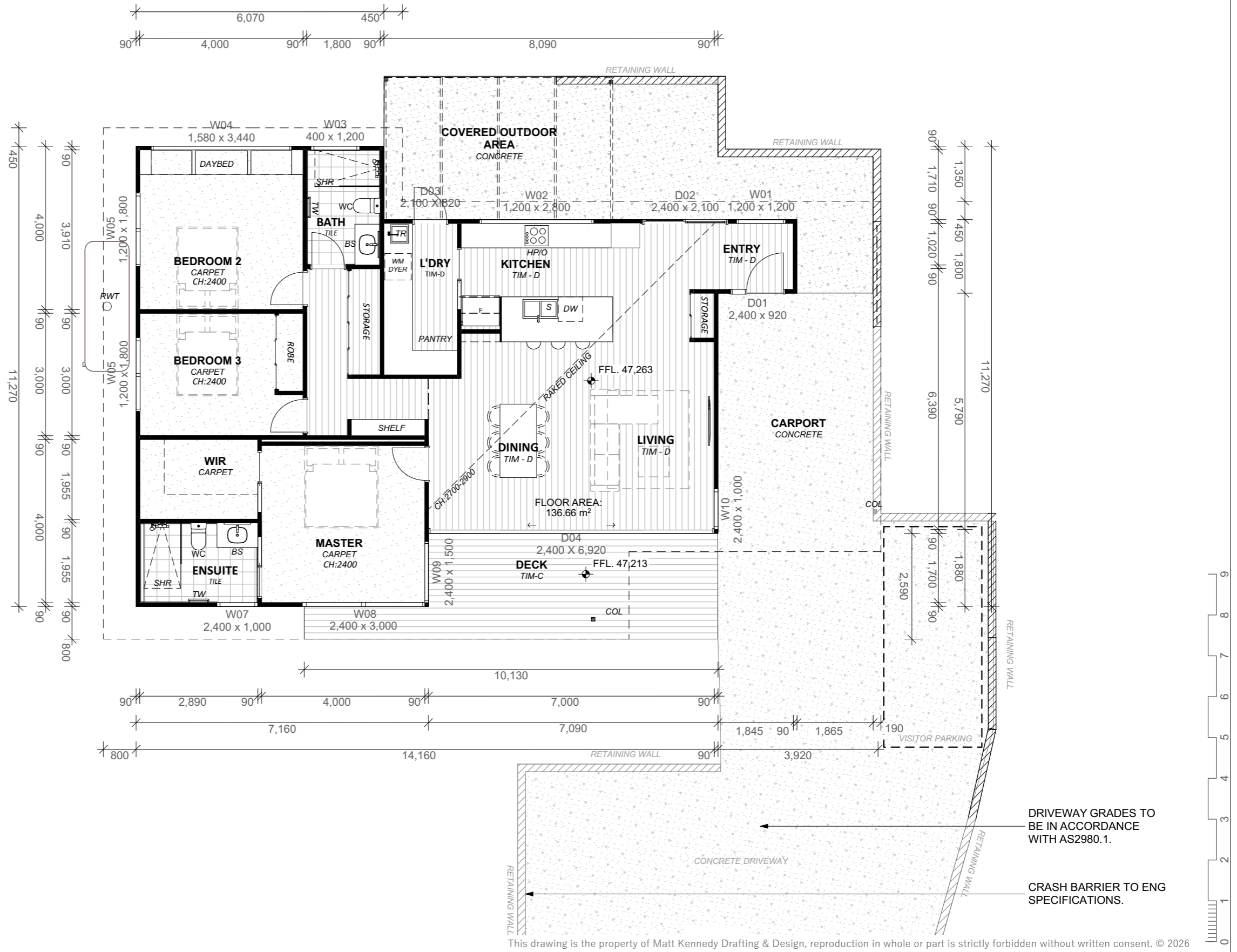
CARPET - To Owners selection.

TILE - Ceramic Floor Tile-
To Owners selection.

TIMB - D - To Owners selection.

TIMB - C - To Owners selection.

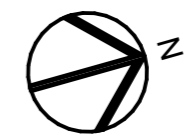
DRIVEWAY - Concrete Driveway- To
Engineer's specification.



DRIVEWAY GRADES TO BE IN ACCORDANCE WITH AS2980.1.

CRASH BARRIER TO ENG SPECIFICATIONS.

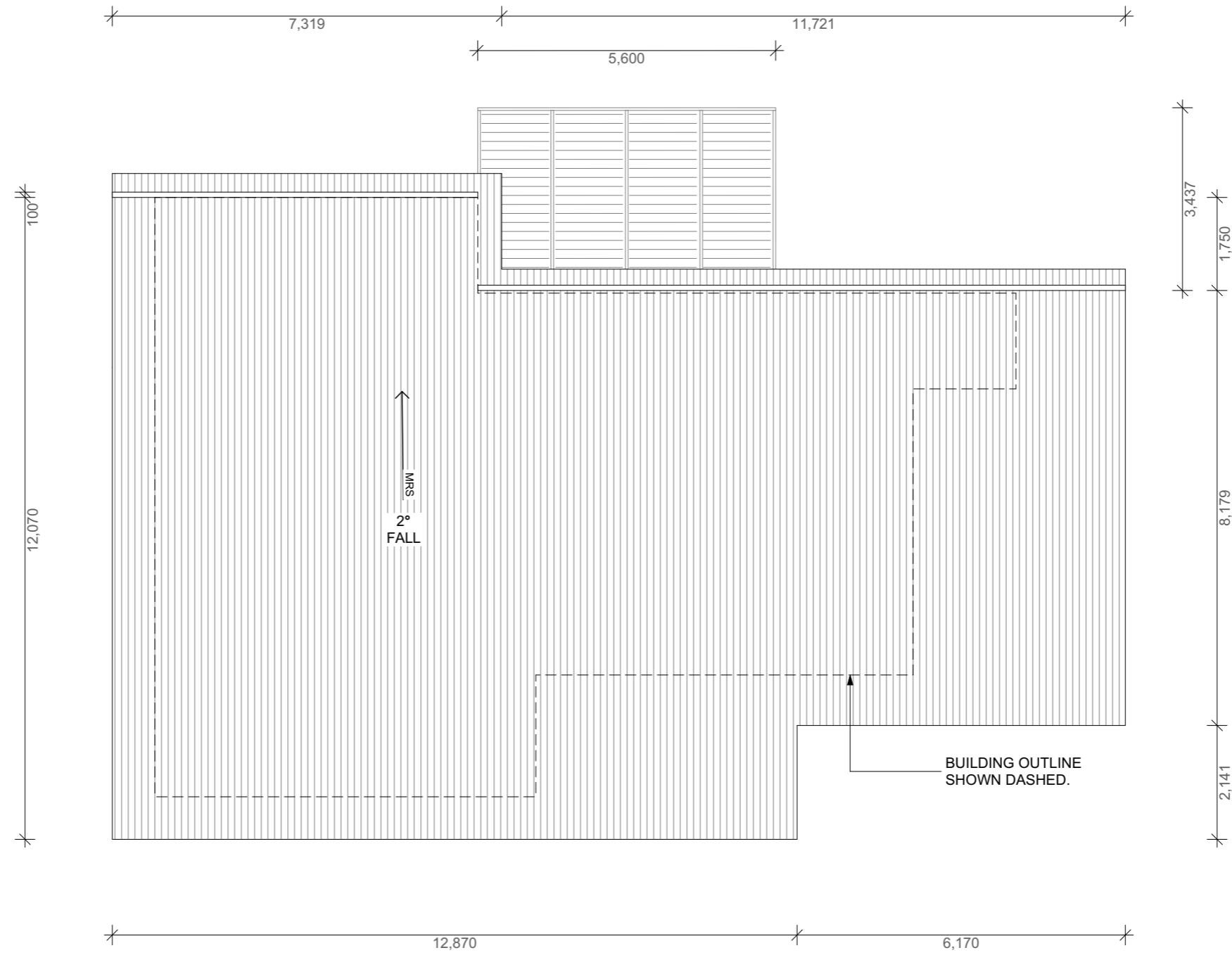
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LEGEND

RWG - RAINWATER GUTTER

MRS - METAL ROOF SHEETING



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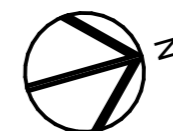


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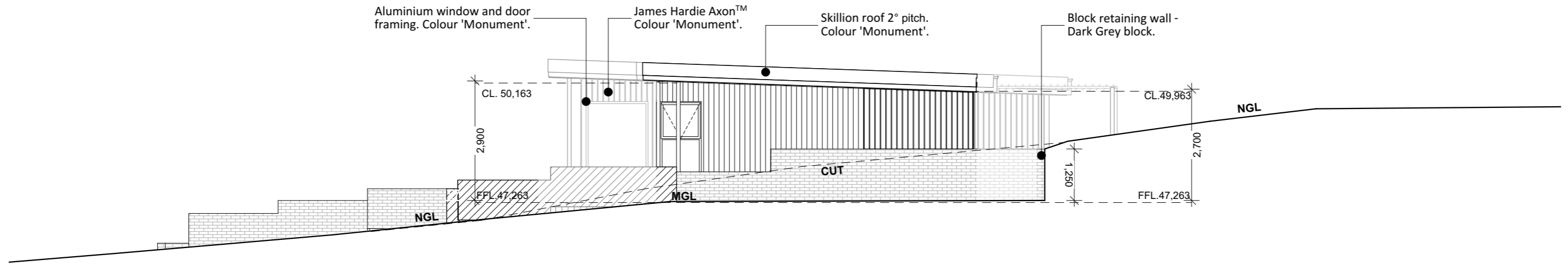
DATE
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SCALE
1:100@A3



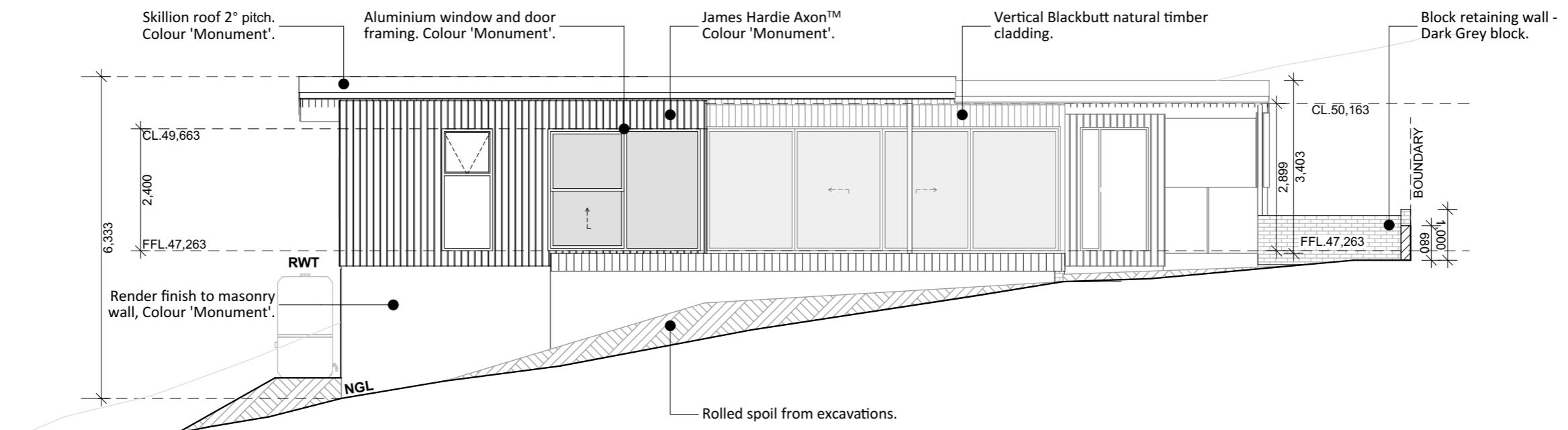
REV 2	AMENDMENT COUNCIL RFI	DATES 24.06.26
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A.07
ROOF PLAN -
PROPOSED





1
-
North Elevation



2
-
East Elevation



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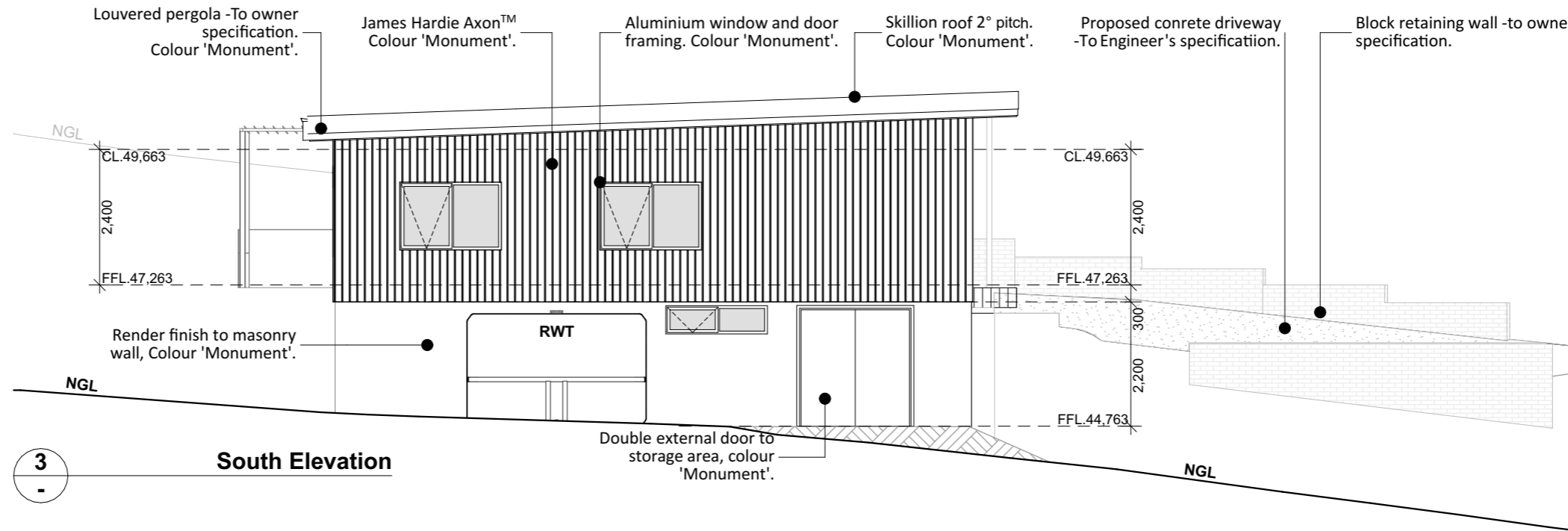
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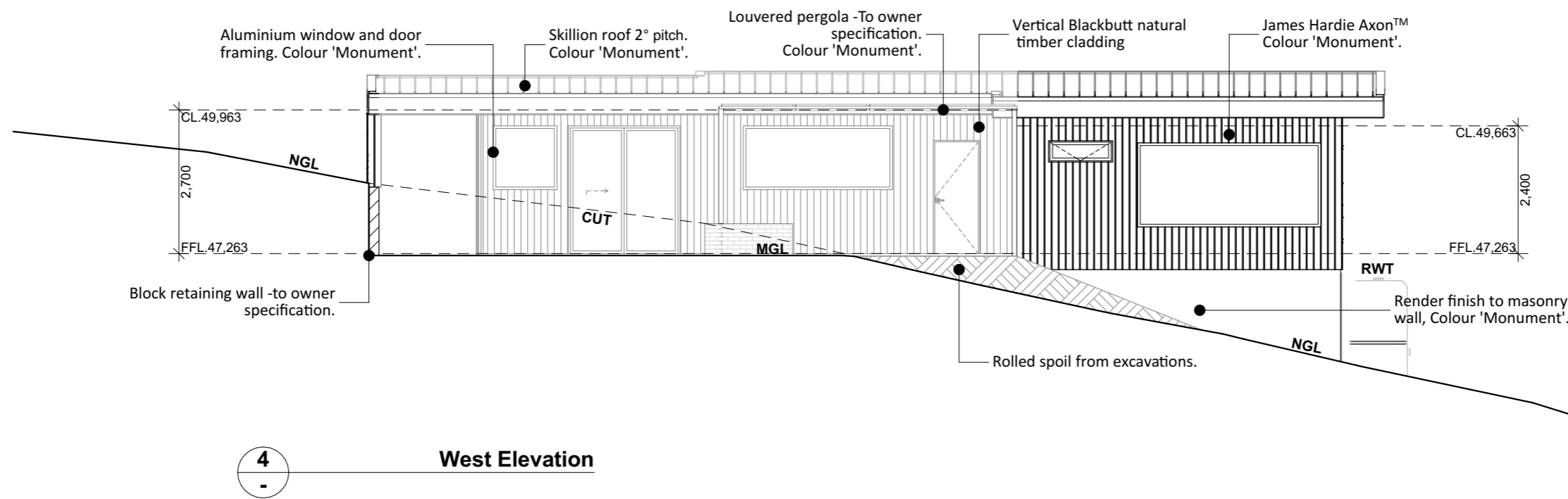
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A.08
ELEVATIONS 01



South Elevation



West Elevation

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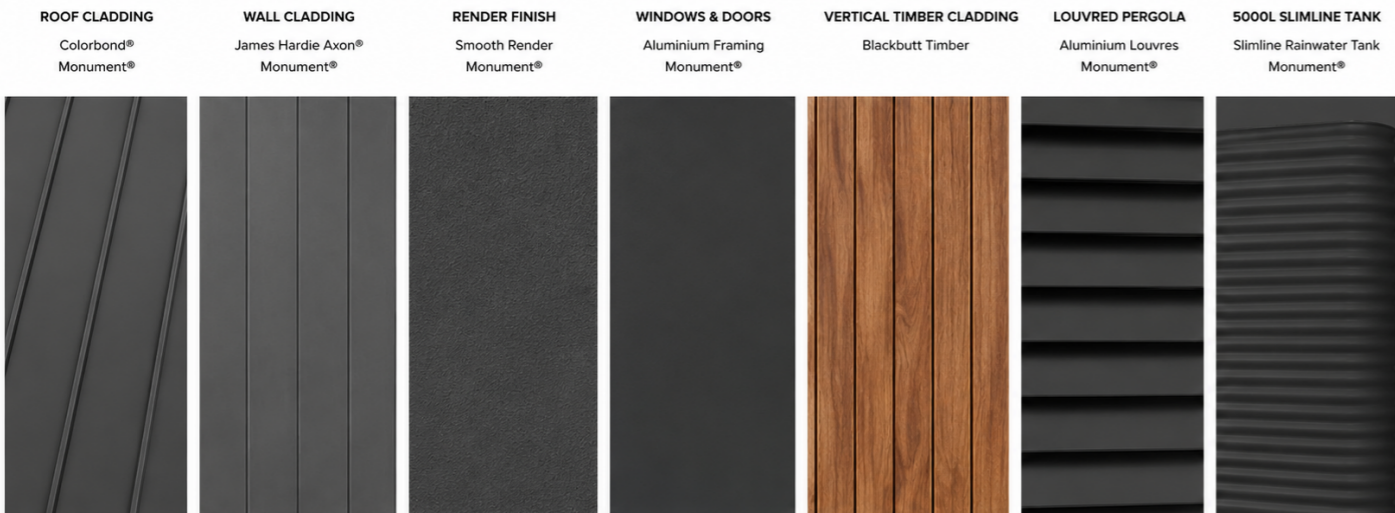
A.09
ELEVATIONS 02

CLA-S7.7.1 compliance:

All external materials and colours are mid or dark natural tones in accordance with Acceptable Solution A1.1 - Tasmanian Planning Scheme, Clarence LPS (North East Droughty Specific Area Plan). Colour swatches are indicative - confirm against manufacturer physical samples prior to construction.

CLA-S7.7.1 VISUAL IMPACT

COLOUR PALETTE



CLA-S7.7.2 — Bird Strike (A1)

The proposal has been designed to comply with Acceptable Solution A1 as follows:

D04,W10,D01,W01,D02,W04,W05 windows & doors - external glazing to be low reflectance glass with a maximum visible light reflectance (VLR) of 20% or less. Glazing specification to be confirmed by supplier prior to construction. Close set corner windows are under carport or deck roof, so will be in shadow (not reflecting sky or native vegetation) and will present a very low risk. This addresses the risk of transparent or highly reflective obstacles not readily perceptible by birds in flight.

No wire mesh fencing exceeding 1.5m in height is proposed as part of this development. It is submitted that the proposal satisfies Acceptable Solution A1 in full.

RAINWATER TANK NOTES (slimline tank in monument)

- (a) Minimum **5,000L** capacity
- (b) Connected to the **roof drainage system**
- (c) Connected to a **non-potable fixture** inside the dwelling — toilet cistern or cold water inlet to a washing machine (garden watering alone is not sufficient)

Clause 10.4.3 — Setback (P2)

Setback (P2)The proposal does not comply with Acceptable Solution A2, which requires a minimum 5m setback from side boundaries. The carport and driveway encroach within the northern side setback shared with 192 Tollard Drive. It is submitted the proposal satisfies Performance Criteria P2, having regard to the following:(a) Site area and proportionate intrusionThe site is 1,787m². The proposed dwelling footprint is 136.66m², a modest building-to-land ratio. The encroaching elements are the carport and driveway - not the dwelling itself. The dwelling complies with the required side setbacks. The encroachments on the northern boundary are a direct consequence of the site's topography and irregular geometry, and represent the minimum intrusion necessary to achieve functional vehicle access.

(a) Site area and proportionate intrusion

The site is 1,787m². The proposed dwelling footprint is 136.66m², a modest building-to-land ratio. The encroaching elements are the carport and driveway - not the dwelling itself. The dwelling complies with the required side setbacks. The encroachments on the eastern boundary are a direct consequence of the site's topography and irregular geometry, and represent the minimum intrusion necessary to achieve functional vehicle access.

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(b) Compatibility with adjoining buildings

192 Tollard Drive is currently under construction to the north. The encroaching structures are a carport and driveway, both are open, low-scale, non-habitable structures. They do not present as a solid wall condition to the adjoining property and will have minimal visual impact on 192 Tollard Drive.

(c) Space between buildings for landscaped buffer

The encroaching elements are open structures (carport) and hard paving (driveway), not enclosed walls. Their open character means the boundary condition does not read as a solid built edge and does not prevent establishment of a landscaped buffer on either lot. Given the lot sizes involved, adequate separation between the dwelling on the subject site and any future dwelling at 192 Tollard Drive is maintained.

(d) Setback on the opposite side and landscaping offset

The dwelling maintains 4042mm from the southern boundary - a marginal encroachment of approximately 960mm within the required 5m set back. This position is a direct consequence of the site's topography. The siting therefore represents the best balance achievable across both boundaries given the site constraints. Landscaping can be committed along the southern boundary to offset the minor setback reduction and provide visual screening.

(e) Height of wall/carport

The carport is open-sided and 3403mm overall height. This element does not present a wall of any significant height or length to 192 Tollard Drive. There is no unreasonable overshadowing impact to the adjoining property or any landscaped buffer. The max height of the retaining wall is 1000mm

Conclusion

The setback encroachments are limited to a carport and driveway - open, low-scale, non-habitable structures. The dwelling itself complies with the required setbacks. The encroachments will not result in unreasonable amenity impact on 192 Tollard Drive, and Performance Criteria P2 is satisfied.



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A.11
 RFI RESPONSE