



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061386

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 3 Pindos Drive, Tranmere

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 06/07/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 06/07/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 06/07/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **Proposed Alterations & Additions**

Location: **3 Pindos Drive, Tranmere**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 101370	FOLIO 75
EDITION 10	DATE OF ISSUE 09-Feb-2025

SEARCH DATE : 04-May-2026
SEARCH TIME : 01.00 pm

DESCRIPTION OF LAND

City of CLARENCE
Lot 75 on Sealed Plan [101370](#)
Derivation : Part of 100Acres Loc.to J.Gibson
Prior CT [100819/1](#)

SCHEDULE 1


[N231250](#) TRANSFER to ANTHONY JAMES THOMAS and BEVERLEY FRANCES THOMAS Registered 09-Feb-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP101370](#) EASEMENTS in Schedule of Easements
[SP101370](#) COVENANTS in Schedule of Easements
[SP101370](#) FENCING PROVISION in Schedule of Easements

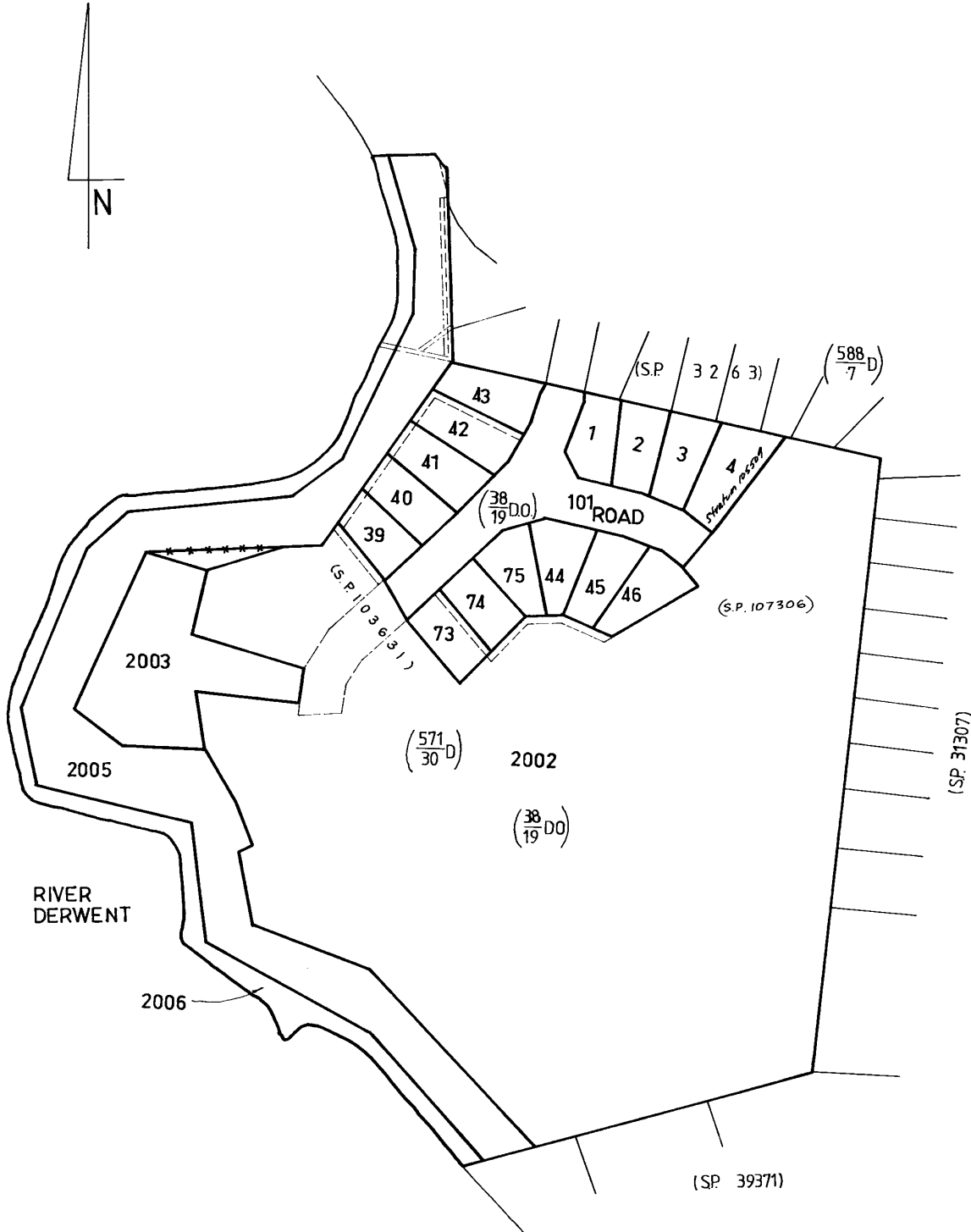
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

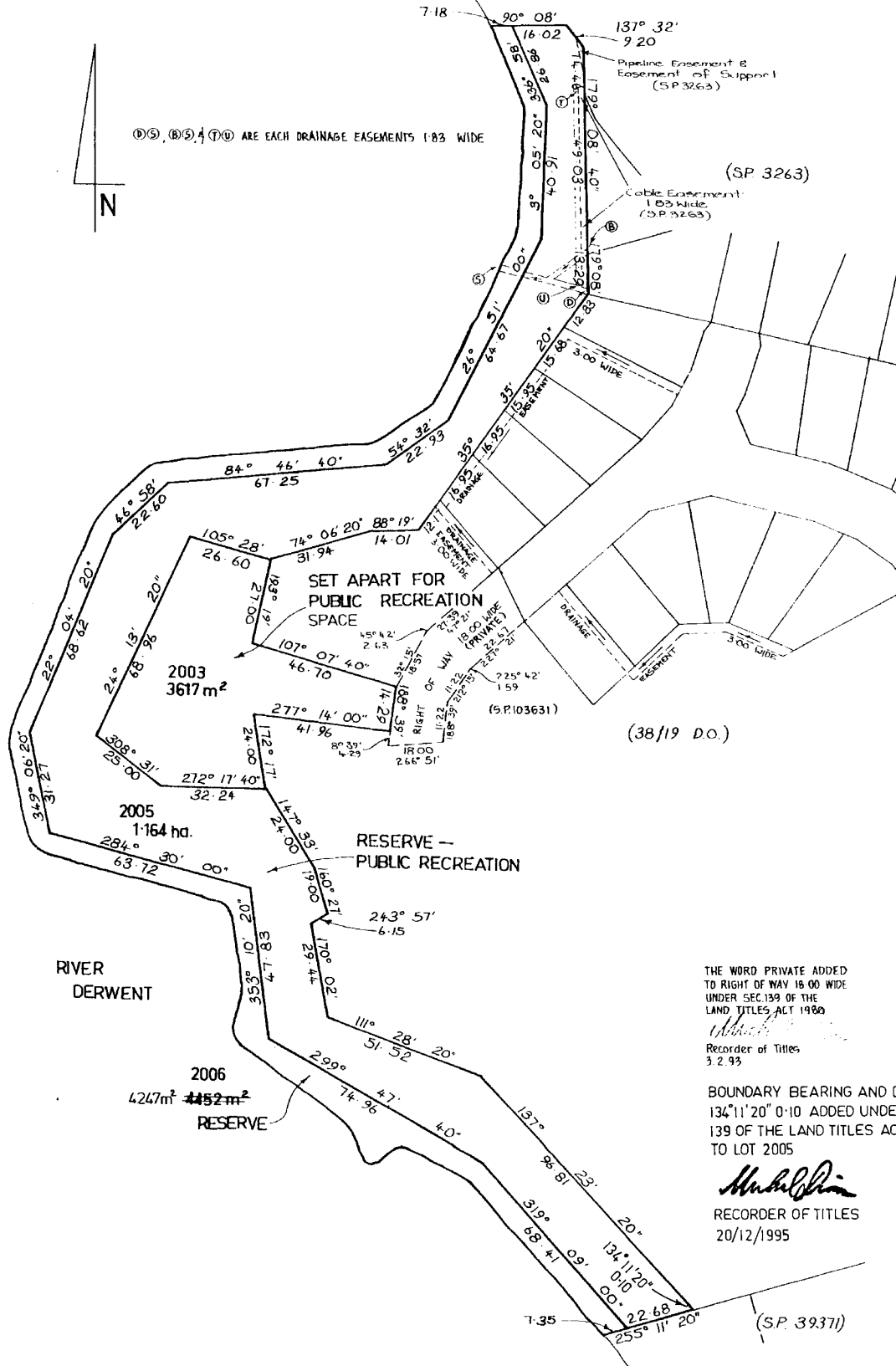
Owner TRANMERE POINT PTY/LTD.	PLAN OF SURVEY by Surveyor T. S. CROMER of land situated in the CROMER & CERUTTY PTY/LTD 7 BAYFIELD ST ROSNY PARK CITY OF CLARENCE SCALE 1:1500 MEASUREMENTS IN METRES	REGISTERED NUMBER SP101370
Title Reference: C.T. 100819-1		Approved Effective from: 10 SEP 2022
Grantee: PART OF 100ac LOCATED TO J. GIBSON		 Recorder of Titles

TSMAP MUNICIPAL CODE NO. 14	LAST TSMAP MPI NO. 793447907	LAST SURVEY PLAN NO. P100819
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

INDEX PLAN

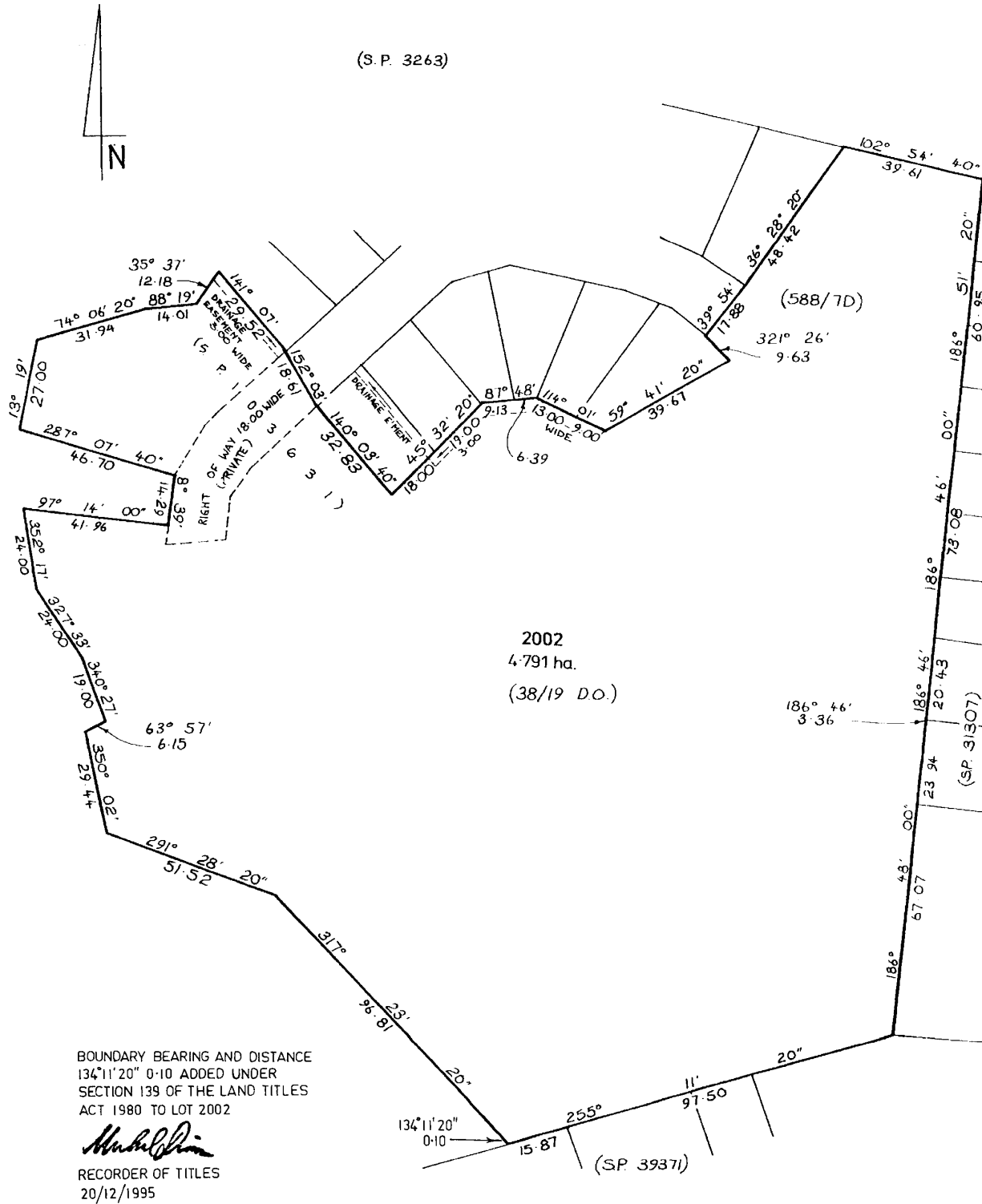


ANNEXURE SHEET No 2 of 3 annexures to plan by Surveyor Signed for the purposes of identification Cannel Clerk <i>[Signature]</i>	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10-11-12 and that certificate extends to the detail shown on this sheet Surveyor... TERRY S. CROMER	Registered Number SP101370
	Owner TRANMERE POINT PTY/LTD Title Reference CT 100819-1	Scale 1 1000 Measurements in Metres



<p>ANNEXURE SHEET No 3 of 3 annexures to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10/12/1995 and that certificate extends to the detail shown on this sheet</p>	<p>Registered Number SP 101370</p>
<p>Signed for the purposes of identification <i>[Signature]</i> Council Clerk</p>	<p>Surveyor: I. S. CROMER Owner: TRANMERE POINT PTY/LTD. Title Reference: CT 100819-1</p>	<p>Scale 1 1000 Measurements in Metres</p>

BALANCE PLAN





SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

EASEMENTS

Right of Way

Lot 2002

- 1.1 ~~the balance land being the land in Conveyance 58/4074 excluding the land contained in the plan herein~~ is subject to a right of way in favour of the City of Clarence over the right of way marked "right of way 18.00 wide" on the plan.

PROFITS A PRENDRE

- 2.1 No profits a prendre are created to benefit or burden any lot on the plan.

COVENANTS

- 3.1 The owner of each of the following Lots on the plan namely Lots 1, 2, 3, 4; 39, 40, 41, 42, 43; 44, 45, 46; 73, 74, and 75 covenants with the Vendor, Tranmere Point Pty Ltd (ACN 055 471 675) and the owners for the time being of each and every other lot shown on the plan (except lot

101) to the intent that the burden of these covenants may run with and bind the covenantor's lot and each and every part of it and that the benefit of these covenants shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations:

3.1.1 Not without prior written consent of the Vendor Tranmere Point Pty Ltd (ACN 055 471 675) to:

- * erect or permit to be erected on each lot more than one private dwelling-house and the buildings usually appurtenant thereto; or
* erect any buildings on the land for use as a temporary dwelling-house or a stratum title flat, unit or villa; or
* set up or carry on in or upon each Lot any trade manufacture or business of any kind (provided that the letting of a house shall not be deemed to be a trade or business within the meaning of this covenant).

3.1.2 Not without prior written consent of the Vendor Tranmere Point Pty Ltd (ACN 055 471 675) to erect or modify any structure or allow any part of any structure upon lots numbered 39, 40, 41, 42, and 43 which exceeds the height restriction.

3 Amended 27/4/1993 Recorder of Titles

3.2 For the purposes of covenant 3.1.2 the level of the height restriction for each of the lots shall be calculated as the height level established by measuring four point five metres (4.5m) above the highest point of the natural ground level on that lot; and then projecting from the point established by that calculation a horizontal plane in all directions covering the whole of the area of the lot.

FENCING PROVISION

4.0 In respect of each Lot shown on the Plan the Vendor Tranmere Point Pty Ltd (ACN 055 471 675) shall not be required to fence.

THE COMMON SEAL of)
TRANMERE POINT PTY LTD)
ACN NO 055 471 675)
was hereunto affixed)
in the presence of:)



Director

[Handwritten signature]

Director

[Handwritten signature]

LOT 2002 is subject to a right of drainage (appurtenant to Lots 11,12 and 100 on Sealed Plan No. 3263) over the Drainage Easement marked BS on the plan.

LOT 2002 is subject to a right of drainage (appurtenant to Lots 12,100 and 102 on Sealed Plan No.3263) over the Drainage Easement marked DS on the plan.

LOT 2002 is subject to a right of drainage (appurtenant to Lot 100 on Sealed Plan No. 3263) over the Drainage Easement marked TU on the plan.

LOT 2002 is subject to the following rights for the owner or owners for the time being of Lot 100 on Sealed Plan No. 3263 or any part thereof with which the rights shall be capable of enjoyment.

1. The full and free right to lay and maintain pipes for the transmission and supply of water under the strip of land marked "Pipeline Easement" hereon and the right for his or their surveyors and workmen from time to time and at all times, hereafter if he or they should think fit to enter upon the said strip of land and inspect repair cleanse and amend any such pipe or pipes without doing unnecessary damage to the said strip of land.

2. The full and free right to erect upon that strip of land marked hereon as "Cable Easement 1.83 wide" any standard (as defined by Section 2 of the Hydro Electric Commission Act 1944 as amended) or line of standards for the suspension thereon of any cable wire conductor or apparatus for the transmission of electrical energy and the right to lay on or below the surface of the said strip of land any cable wire conductor or apparatus for the transmission of electrical energy, together with the right for his or their servants agents or workmen from time to time and at all times hereafter if he or they should think fit to enter upon the said strip of land and inspect repair amend any such cable wire conductor or apparatus without doing unnecessary damage to the said strip of land.

The full right and liberty for ever hereafter to have whatever roads, pavements, footpaths, fences and other like constructions that may exist or may at any time hereafter be erected or constructed on Lot 100 supported laterally by the subsoil of and minerals in and under that strip of land marked "Easement of Support" hereon.

AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED by
its Attorney
PETER JOHN CRANWELL
who hereby certifies that
he has received no notice
of assignment of POWER
of attorney (No. 546229)
under which this instrument
is signed in the presence of:
[Signature]
Bank Officer, Hobart.

AUSTRALIA AND NEW ZEALAND
BANKING GROUP LIMITED
By its Attorney
[Signature]
Regional Manager - Retail Banking

The Common Seal of Tasmanian Trustees Limited was hereunto affixed by authority of the Directors in the presence of

[Signature] } DIRECTORS
[Signature] }
[Signature] SECRETARY



This is the schedule of easements attached to the plan of Tranmere Pond
(Insert Subdivider's Full Name)

Pty Ltd affecting land in

CT 100819-1
(Insert Title Reference)

Sealed by CITY OF CLARENCE on 10th AUGUST 1992

Solicitor's Reference P. Worrall [Signature]
Council Clerk/Town Clerk

05-K3134

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03 6292 6024 - hello@ossa.design
www.ossa.design

A. & B. THOMAS
P-26010 - PROPOSED ALTERATIONS & ADDITIONS
3 PINDOS DRIVE,
TRANMERE, TAS 7018

COVER SHEET

12-06-2026

001 OF 011

4 12-06-2026 ISSUED TO ADDRESS PLANNING RFI
3 25-05-2026 ISSUED FOR TENDER PURPOSES
2 13-05-2026 MINOR AMENDMENTS, ISSUED FOR CLIENT REVIEW
1 06-05-2026 ISSUED FOR CLIENT REVIEW

STANDARD COMPLIANCE & GENERAL NOTES

EFFECTIVE JULY 2025

GENERAL COMPLIANCE

1. THIS DOCUMENT IS PREPARED SOLELY FOR THE CLIENT OF OSSA DESIGN TASMANIA FOR THE PURPOSE COMMUNICATED TO THE DESIGNER. USE BY OTHERS WITHOUT WRITTEN CONSENT IS AT THEIR OWN RISK. THE DESIGNER ACCEPTS NO LIABILITY FOR UNAUTHORISED USE. ALL DISCREPANCIES MUST BE REFERRED TO THE DESIGNER BEFORE PROCEEDING.
2. THIS DOCUMENT MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS, AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN.
3. THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, LEVELS & SPECIFICATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. A COPY OF THE BUILDING & PLUMBING APPROVALS ARE TO BE KEPT ON THE PROJECT SITE AT ALL TIMES.
5. ALL DESIGN, DEMOLITION, CONSTRUCTION AND OCCUPANCY WORKS MUST COMPLY WITH THE BUILDING ACT 2016, BUILDING REGULATIONS 2016, WORKPLACE STANDARDS TASMANIA AND THE NATIONAL CONSTRUCTION CODE (NCC 2022) INCLUDING HOUSING PROVISIONS, VOLUMES 1, 2 & 3.
6. ALL MATERIALS, PRODUCTS AND WORKMANSHIP TO MEET THE RELEVANT AUSTRALIAN STANDARDS.

DRAWING CONVENTIONS

1. UNLESS NOTED OTHERWISE, ALL DIMENSIONS IN MILLIMETRES, LEVELS IN METRES.
2. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
3. THESE DRAWINGS MUST BE PRINTED IN COLOUR.

PLANNING APPROVAL & PLANNING SCHEME

1. WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE CONDITIONS OF THE PLANNING APPROVAL ISSUED UNDER LAND USE PLANNING & APPROVALS ACT 1993 AND RELEVANT PLANNING SCHEME.

ENERGY EFFICIENCY & SUSTAINABILITY

1. BUILDING FABRIC, SERVICES AND ON-SITE RENEWABLE ENERGY SYSTEMS TO MEET NCC 2022 SECTION J (VOL 1) / PART 12 (VOL 2) DEEMED TO SATISFY PROVISIONS OR AN APPROVED PERFORMANCE SOLUTION.

STRUCTURAL DESIGN & CERTIFICATION

1. STRUCTURAL ELEMENTS TO BE DESIGNED AND CERTIFIED BY A TASMANIAN LICENSED ENGINEER TO AS/NZS 1170 LOADING CODES, AS 4100, AS 3600, AS 3700, AS 1720 AND / OR AS 1684 AS REQUIRED.
2. GEOTECHNICAL CONDITIONS TO BE CONFIRMED BY SITE INVESTIGATION AND FOOTING DESIGN UNDERTAKEN IN ACCORDANCE WITH AS 2870.

WORKPLACE HEALTH & SAFETY

1. PRINCIPAL CONTRACTOR TO PREPARE AND IMPLEMENT A CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN (CEMP) AND SITE SPECIFIC WHS MANAGEMENT PLAN MEETING THE OBLIGATIONS OF THE WORK HEALTH AND SAFETY ACT 2012 AND REGULATIONS.
2. ALL PERSONNEL TO HOLD CURRENT WHITE CARDS. HIGH RISK WORKS (E.G. EXCAVATION, CONFINED SPACES, WORKING AT HEIGHT) REQUIRE SAFE WORK METHOD STATEMENTS.

SITE WORKS, ENVIRONMENTAL & EROSION CONTROL

1. GRADING, DRAINAGE AND SEDIMENT CONTROL MEASURES TO COMPLY WITH COUNCIL STORMWATER MANAGEMENT CODE AND AS 3798 – GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS.
2. DUST, NOISE AND VIBRATION TO BE MANAGED IN ACCORDANCE WITH THE ENVIRONMENTAL MANAGEMENT AND POLLUTION CONTROL ACT 1994 AND COUNCIL ENVIRONMENTAL MANAGEMENT CONDITIONS.
3. EXISTING VEGETATION IDENTIFIED FOR RETENTION TO BE PROTECTED BY TREE PROTECTION ZONES PER AS 4970.

DEMOLITION & HAZARDOUS MATERIALS

1. DEMOLITION WORKS TO COMPLY WITH AS 2601; HAZARDOUS MATERIALS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH WORKSAFE TASMANIA CODES OF PRACTICE.
2. IF ASBESTOS CONTAINING MATERIALS ARE PRESENT, PREPARE AN ASBESTOS REMOVAL CONTROL PLAN IN LINE WITH WORK HEALTH AND SAFETY REGULATIONS 2012.

PLUMBING & DRAINAGE

1. PLUMBING AND DRAINAGE DESIGN AND INSTALLATION SHALL COMPLY WITH NCC 2022 VOLUME 3 AND AS/NZS 3500 SERIES.

ELECTRICAL & COMMUNICATIONS

1. ELECTRICAL INSTALLATION TO COMPLY WITH AS/NZS 3000 AND TASNETWORKS SERVICE & INSTALLATION RULES.

SERVICE AUTHORITY & UTILITY COORDINATION

1. COORDINATE WITH TASWATER, TASNETWORKS, AURORA, NBNCO, TELSTRA AND LOCAL COUNCIL FOR ASSET LOCATIONS, CONNECTION APPROVALS, OUTAGES AND INSPECTIONS.
2. MAINTAIN MINIMUM CLEARANCES TO OVERHEAD AND UNDERGROUND SERVICES, MARK ALL EXISTING SERVICES ON DRAWINGS AND CONSULT WITH AUTHORITIES AS REQUIRED.

COMPLETION

1. ON COMPLETION, THE BUILDER MUST ENSURE SUBMISSION OF ALL REQUIRED COMPLIANCE DOCUMENTATION TO THE DESIGNER, BUILDING SURVEYOR AND COUNCIL AS REQUIRED, INCLUDING, BUT NOT LIMITED TO:
 - A. FINAL STAMPED DRAWINGS
 - B. OCCUPANCY PERMIT AND / OR CERTIFICATE OF FINAL INSPECTION.
 - C. CERTIFICATES FOR PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS, ENERGY EFFICIENCY, WATERPROOFING, GLAZING, AND ANY FIRE SAFETY SYSTEMS
 - D. COUNCIL INSPECTION RECORDS AND COMPLIANCE DOCUMENTS PER PERMIT CONDITIONS
 - E. AS-BUILT PLANS (WHERE APPLICABLE)
2. A COMPLETE HANDOVER PACKAGE MUST BE PROVIDED TO THE CLIENT, INCLUDING:
 - A. WARRANTIES, PRODUCT MANUALS, AND MAINTENANCE GUIDES
 - B. AS-BUILT PLANS (WHERE APPLICABLE)
3. ALL PARTIES MUST RETAIN DIGITAL RECORDS OF PLANS, PERMITS, AND CERTIFICATES FOR A MINIMUM OF 7 YEARS IN ACCORDANCE WITH THE BUILDING ACT 2016.

DRAWING LIST

001	COVER SHEET
002	PROJECT INFORMATION
003	PROPOSED SITE PLAN
004	EXISTING FLOOR PLAN - PART
005	EXISTING ELEVATIONS
006	PROPOSED FLOOR PLAN
007	PROPOSED ELEVATIONS
008	SECTIONAL ELEVATION A - DRAFT
009	PROPOSED PERSPECTIVES
010	EXISTING SHADOW DIAGRAMS - 21-06
011	PROPOSED SHADOW DIAGRAMS - 21-06

SITE INFORMATION

CERTIFICATE OF TITLE REFERENCE:	LOT 75 ON SEALED PLAN 101370
PROPERTY IDENTIFICATION NUMBER:	7846551
LOCAL GOVERNMENT AREA:	CLARENCE CITY COUNCIL
PLANNING SCHEME:	TASMANIAN PLANNING SCHEME
PLANNING ZONE:	GENERAL RESIDENTIAL
PLANNING OVERLAYS:	AIRPORT OBSTACLE LIMITATION AREA FLOOD PRONE AREAS

PROJECT INFORMATION

NCC BUILDING CLASSIFICATION:	CLASS 10a
NCC CLIMATE ZONE:	ZONE 7
WIND CLASSIFICATION:	TBC
GEOTECHNICAL CLASSIFICATION:	TBC
BUSHFIRE ATTACK LEVEL:	N / A
CORROSION ENVIRONMENT:	HIGH
	REFER TO NCC HOUSING PROVISIONS STANDARD 2022 TABLE 6.3.9a

PROJECT CONSULTANTS

BUILDING SURVEYOR:	TBC
LAND SURVEYOR:	N / A
ENGINEER:	
STRUCTURAL:	TBC
CIVIL / HYDRAULIC:	N / A
ENERGY ASSESSOR:	N / A
GEOTECHNICAL ASSESSOR:	N / A
BUSHFIRE ASSESSOR:	N / A
ENVIRONMENTAL CONSULTANT:	N / A
TOWN PLANNER:	N / A
ASSET LOCATOR:	N / A

OSSA

03 6292 6024 - hello@ossa.design
www.ossa.design

CLIENT:
A. & B. THOMAS

PROJECT:
**P-26010
PROPOSED ALTERATIONS
& ADDITIONS**

**3 PINDOS DRIVE,
TRANMERE, TAS 7018**

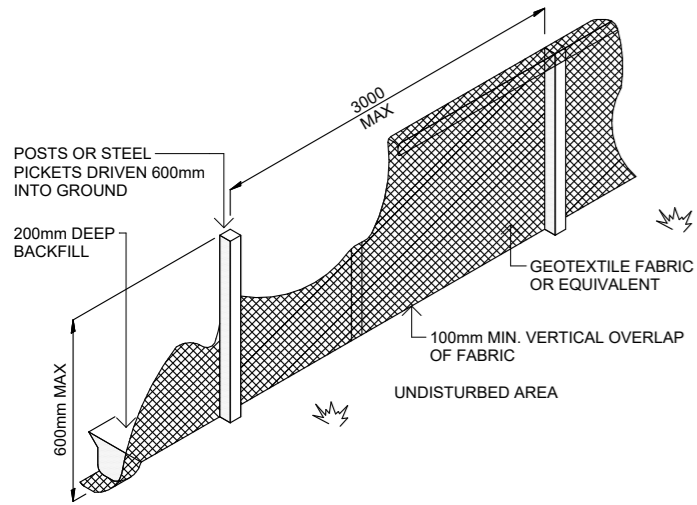
SHEET:
PROJECT INFORMATION

CUT & FILL NOTES

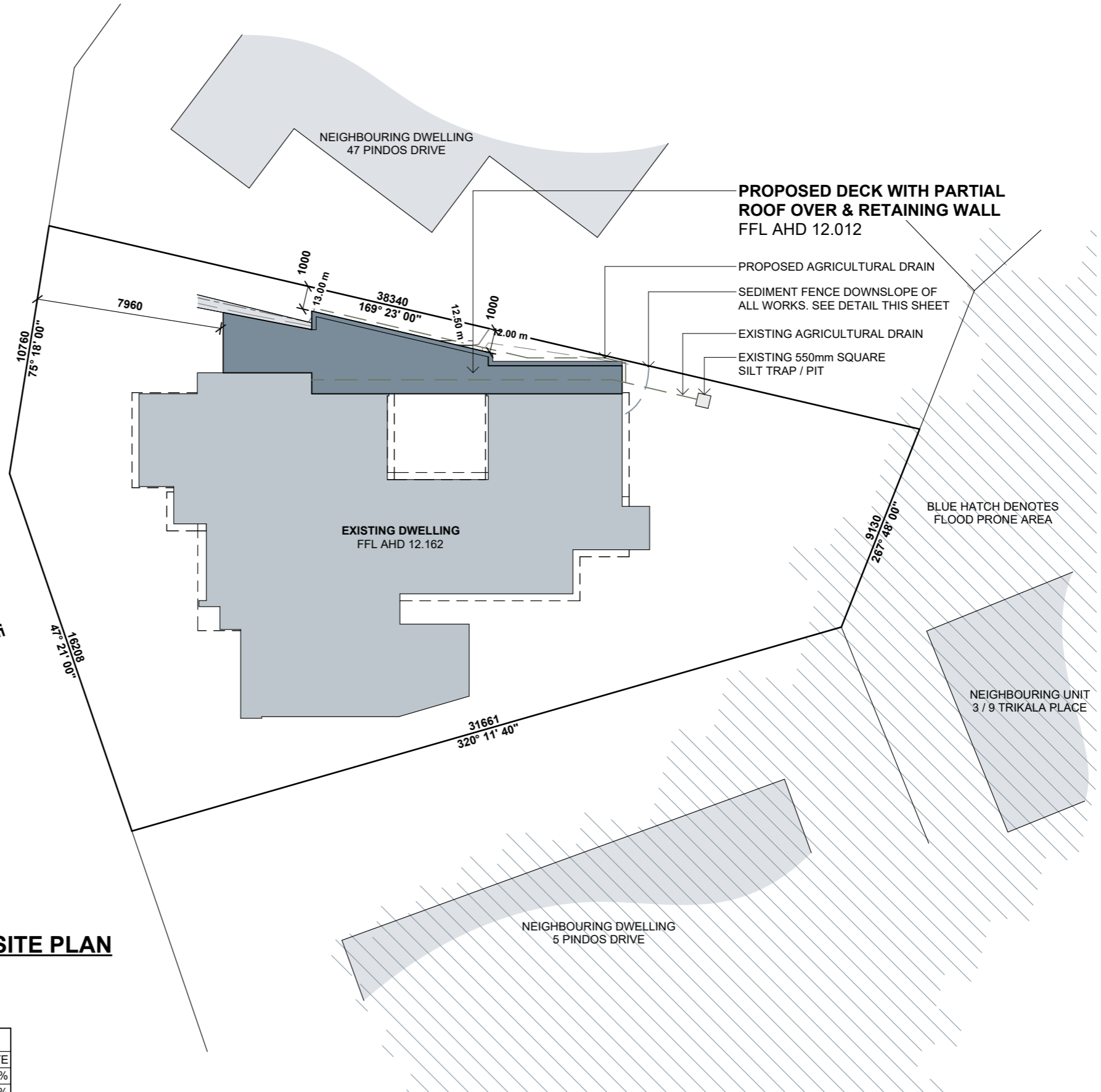
- EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION, ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE. EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED
- IDENTIFY AREAS OF BARE SOIL ESPECIALLY ON SLOPES GREATER THAN 3:1 THAT MAY NEED EROSION CONTROL MATS OR EROSION CONTROL BLANKETS
- PROVIDE 600H GEOFABRIC OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS. SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES
- PROVIDE STABILISED SITE ACCESS VIA GRAVEL EXISTING DRIVEWAY / CROSSOVER
- BUILDER TO ENSURE ADEQUATE PROTECTION PREVENTION METHODS ARE INSTALLED TO PROTECT PUBLIC / CONTRACTORS / OCCUPANTS FROM INJURY

DATUM NOTE:

AHD OBTAINED FROM SPM10986, MEASURING 10.992m AHD



SEDIMENT FENCE DETAIL



PROPOSED SITE PLAN

1 : 200

SITE ANALYSIS - PROPOSED

AREA	m ²	% of SITE
EXISTING DWELLING	201.6 m ²	32.3%
PROPOSED WORKS	52.5 m ²	8.4%
TOTAL BUILDINGS	254.1 m ²	40.7%
REMAINING SITE AREA	370.4 m ²	59.3%
REMAINING SITE AREA	370.4 m ²	59.3%
TOTAL	624.5 m ²	100.0%

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CLIENT:
A. & B. THOMAS

PROJECT:
P-26010
PROPOSED ALTERATIONS & ADDITIONS

3 PINDOS DRIVE,
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SHEET:
PROPOSED SITE PLAN

OSSA

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CLIENT:
A. & B. THOMAS

PROJECT:
**P-26010
PROPOSED ALTERATIONS
& ADDITIONS**

**3 PINDOS DRIVE,
TRANMERE, TAS 7018**

SHEET:
**EXISTING FLOOR PLAN -
PART**

1 : 50
12-06-2026 004 OF 011
Document Set ID: 5946202
Version: 1, Version Date: 16/06/2026

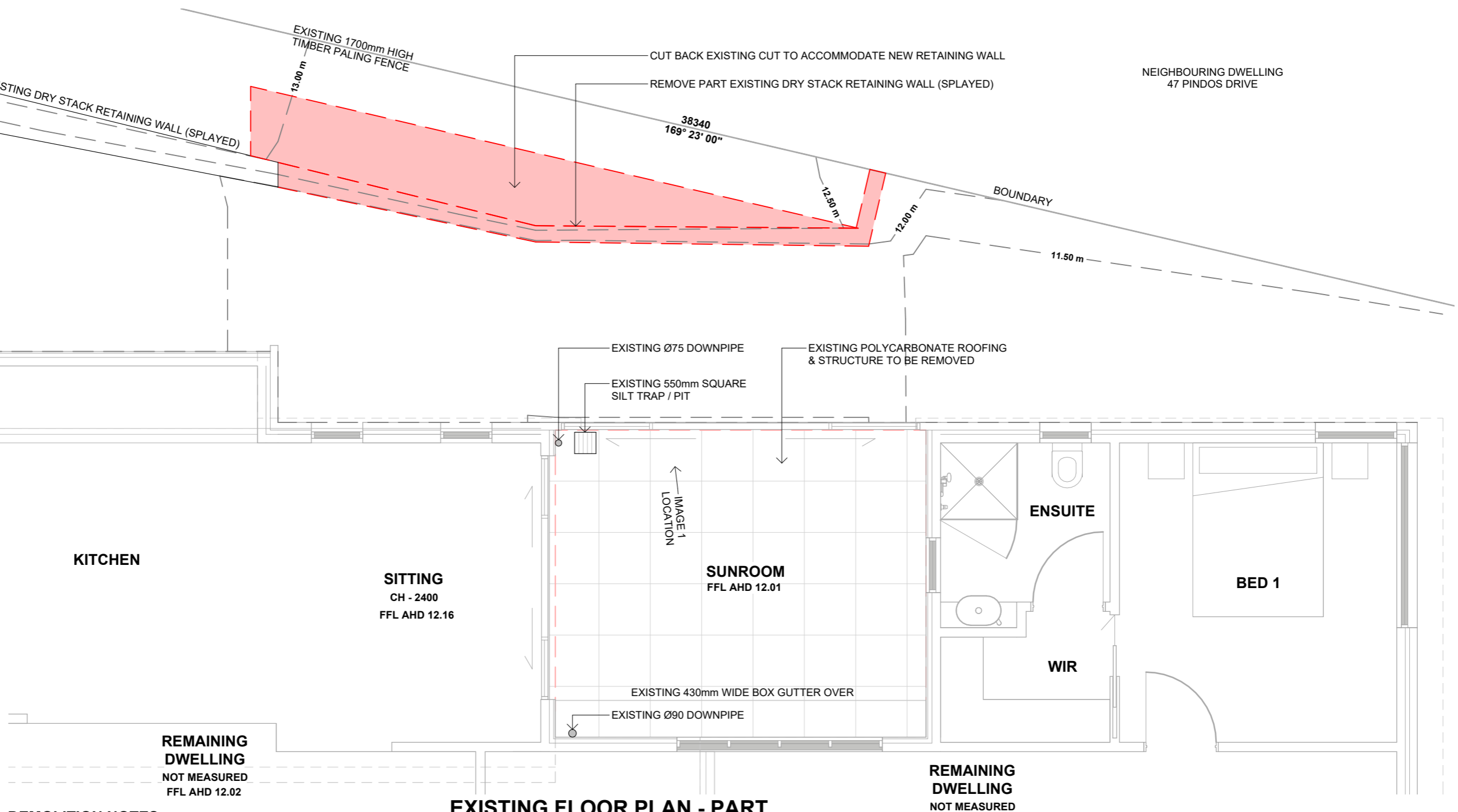


IMAGE 1

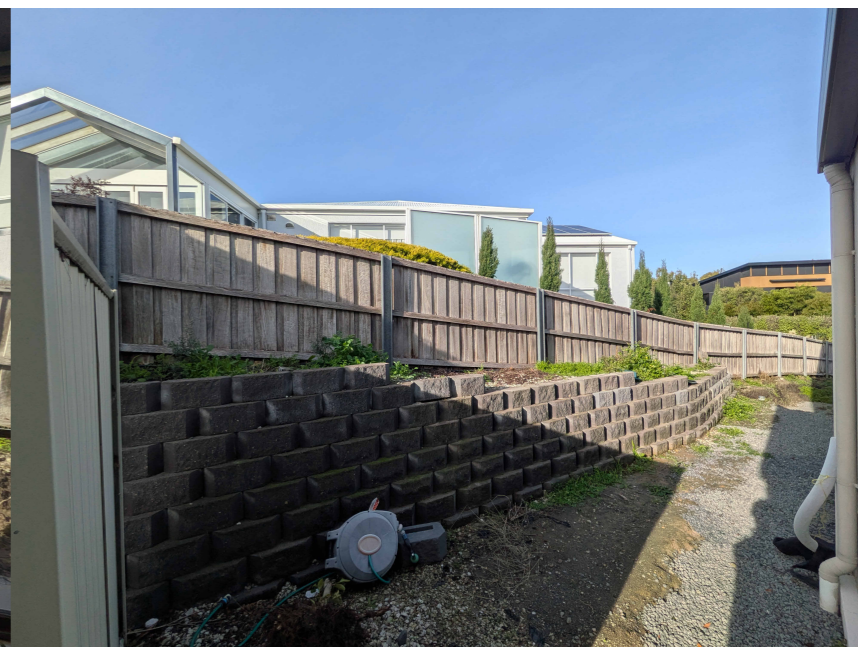


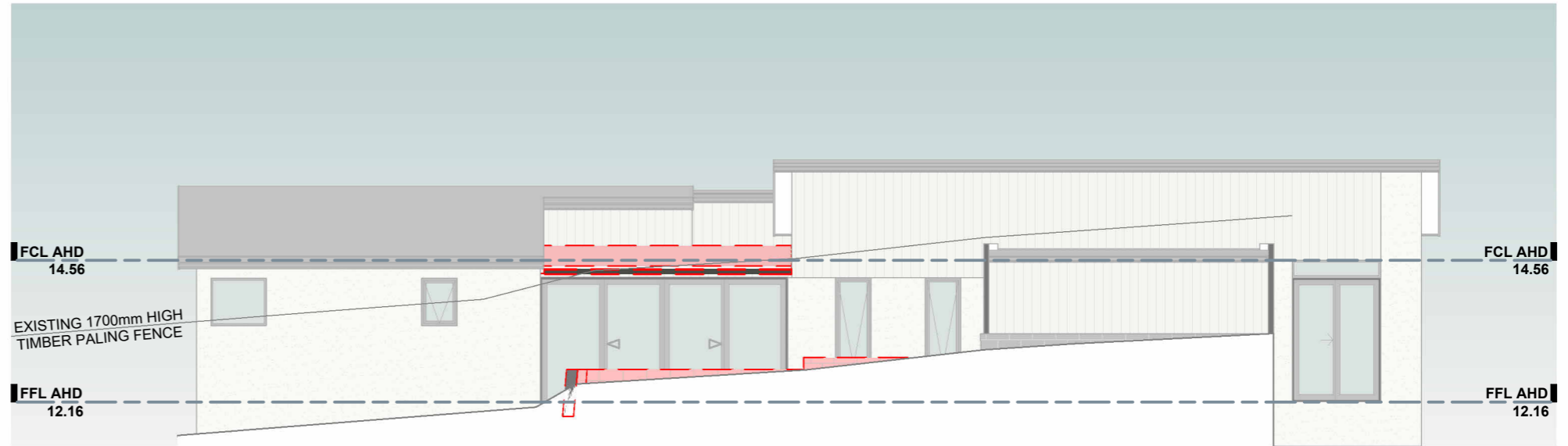
IMAGE 2

DEMOLITION NOTES

1. DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS2601, DEMOLITION WORK CODE OF PRACTICE AND OTHER CURRENT NATIONAL CONSTRUCTION CODES AND RELEVANT AUSTRALIAN STANDARDS.
2. ALL DEMOLITION TO BE CARRIED OUT DURING PERMIT HOURS ONLY.
3. BUILDER TO ENSURE ADEQUATE PROTECTION PREVENTION METHODS ARE INSTALLED TO PROTECT PUBLIC / CONTRACTORS / OCCUPANTS FROM INJURY.
4. SITE TO BE KEPT CLEAN AND TIDY DURING DEMOLITION.
5. MAKE GOOD ALL AFFECTED SURFACES & FINISHES FOR FUTURE USE.
6. DISPOSAL OF ALL WASTE MATERIAL SHALL BE AT AN APPROVED REFUSE SITE.
7. ALL CONTRACTORS TO CONFIRM ALL EXISTING MEASUREMENTS & PROPOSED SCOPE OF WORKS PRIOR TO STARTING ANY WORKS.
8. BUILDER TO INVESTIGATE AND LOCATE ANY MATERIALS THAT MAY CONTAIN ASBESTOS. IF ASBESTOS IS PRESENT, A SUITABLE ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE ANY MATERIALS THAT CONTAIN ASBESTOS IN ACCORDANCE WITH RELEVANT REMOVAL GUIDELINES.
9. ALL MATERIALS, FINISHES & PRODUCTS SHALL BE RE-USED / SALVAGED WHERE POSSIBLE AND APPROPRIATE.
10. BUILDER TO PROVIDE ADEQUATE MEASURES TO PREVENT TRACKING OF MUD AND DEBRIS ONTO ROAD.
11. DISCONNECT AND MAKE SAFE / TEMPORARILY CAP / DIVERT EXISTING SERVICES AFFECTED AS REQUIRED TO THE REQUIREMENTS OF RELEVANT AUTHORITIES.
12. ALL EXISTING STRUCTURES SHALL BE MAINTAINED IN A STABLE MANNER AND ALL TEMPORARY PROPPING SHALL BE DESIGNED AND CHECKED BY A QUALIFIED STRUCTURAL ENGINEER.

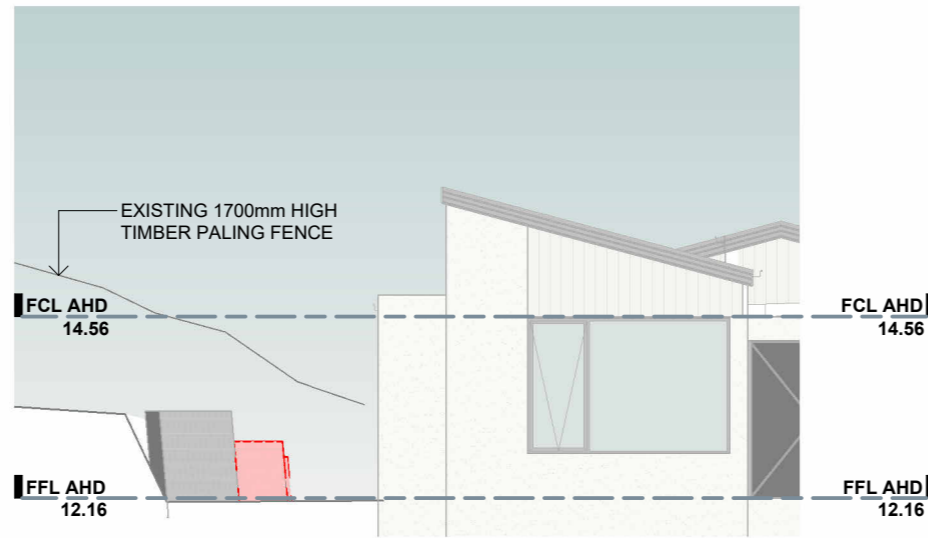
DEMOLITION LEGEND

- DENOTES EXISTING ELEMENTS TO BE RETAINED
- DENOTES EXISTING ELEMENTS TO BE REMOVED



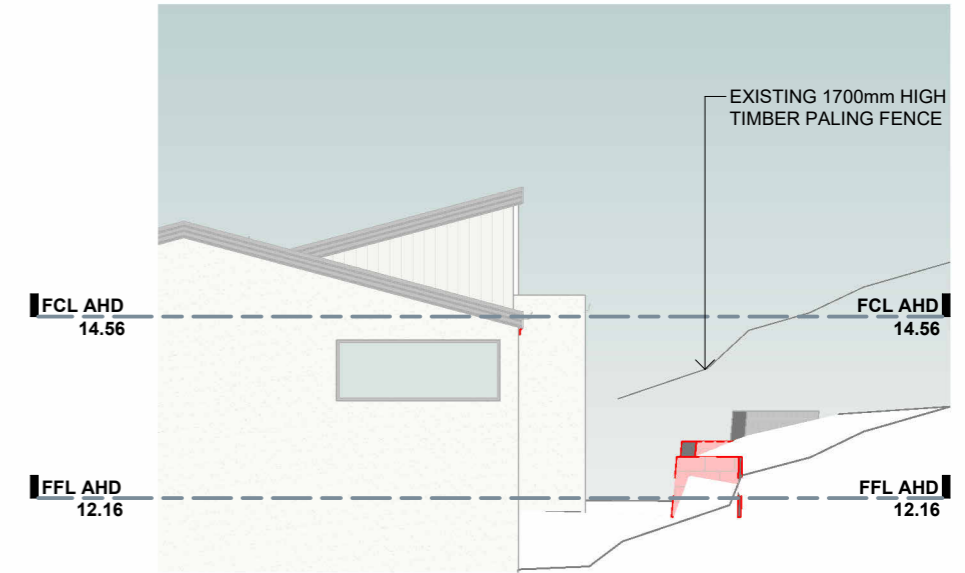
EXISTING EAST ELEVATION

1 : 100



EXISTING NORTH ELEVATION - PART

1 : 100



EXISTING SOUTH ELEVATION - PART

1 : 100

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CLIENT:
A. & B. THOMAS

PROJECT:
**P-26010
PROPOSED ALTERATIONS
& ADDITIONS**

**3 PINDOS DRIVE,
TRANMERE, TAS 7018**

SHEET:
EXISTING ELEVATIONS

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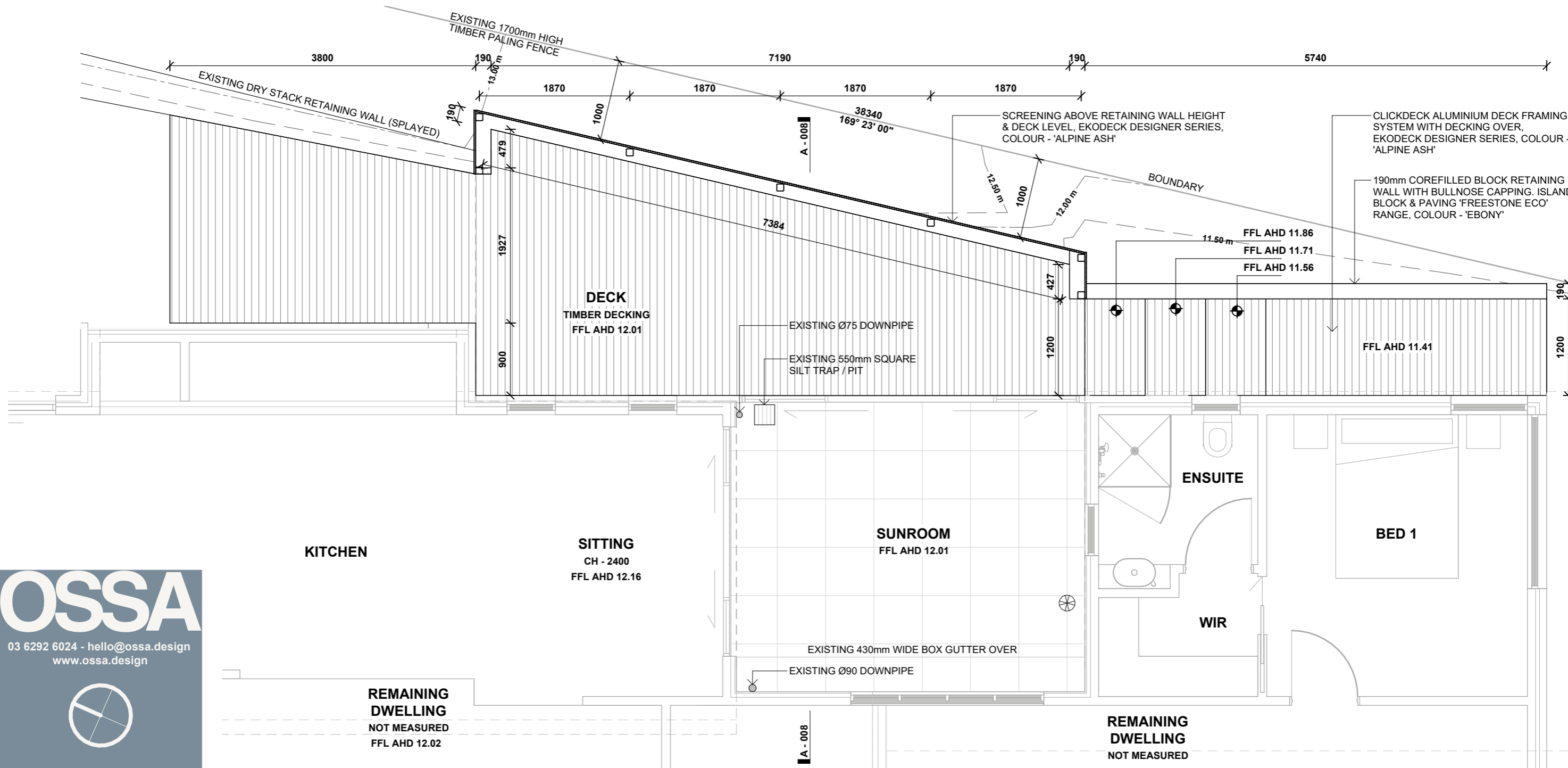
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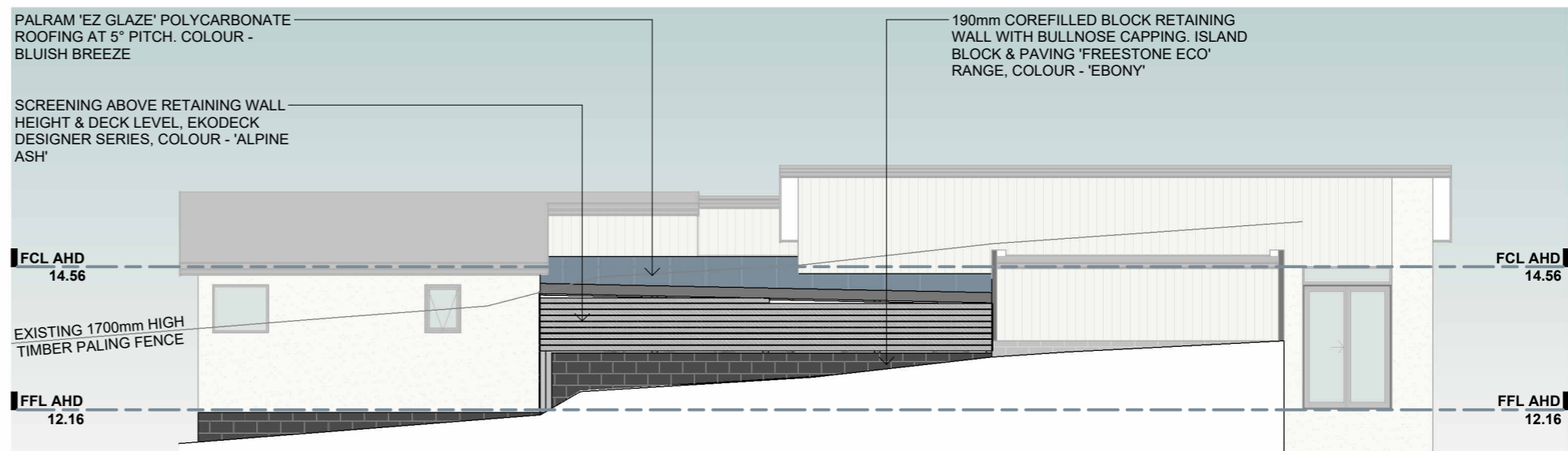
**3 PINDOS DRIVE,
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SHEET:
PROPOSED FLOOR PLAN

1 : 50
12-06-2026 **006** OF 011
Document Set ID: 5946202
Version: 1, Version Date: 16/06/2026

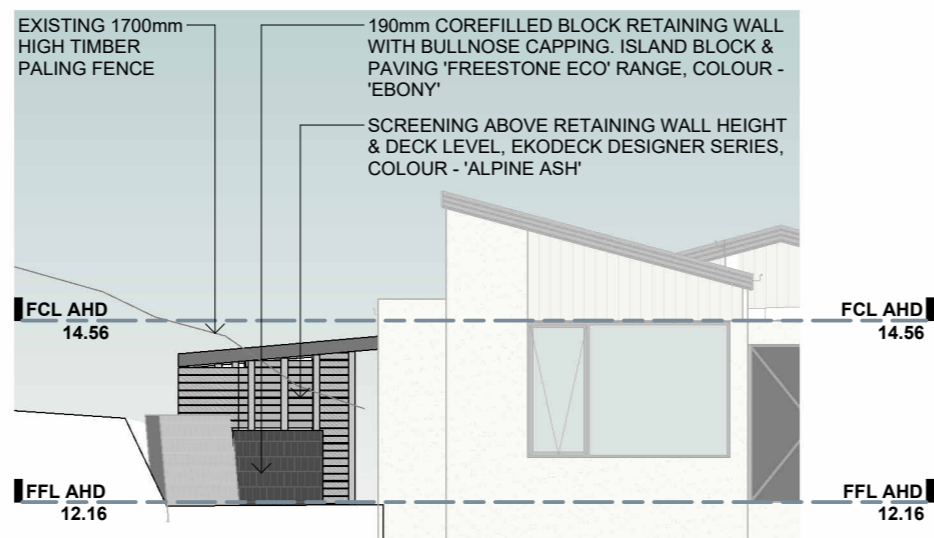


PROPOSED FLOOR PLAN - PART
1 : 50



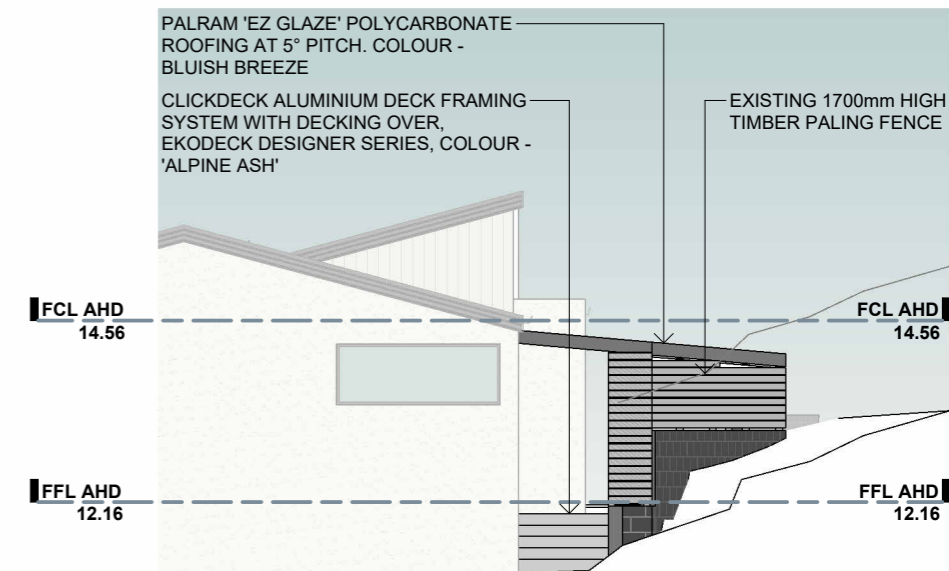
PROPOSED EAST ELEVATION

1 : 100



PROPOSED NORTH ELEVATION - PART

1 : 100



PROPOSED SOUTH ELEVATION - PART

1 : 100

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PROPOSED ELEVATIONS

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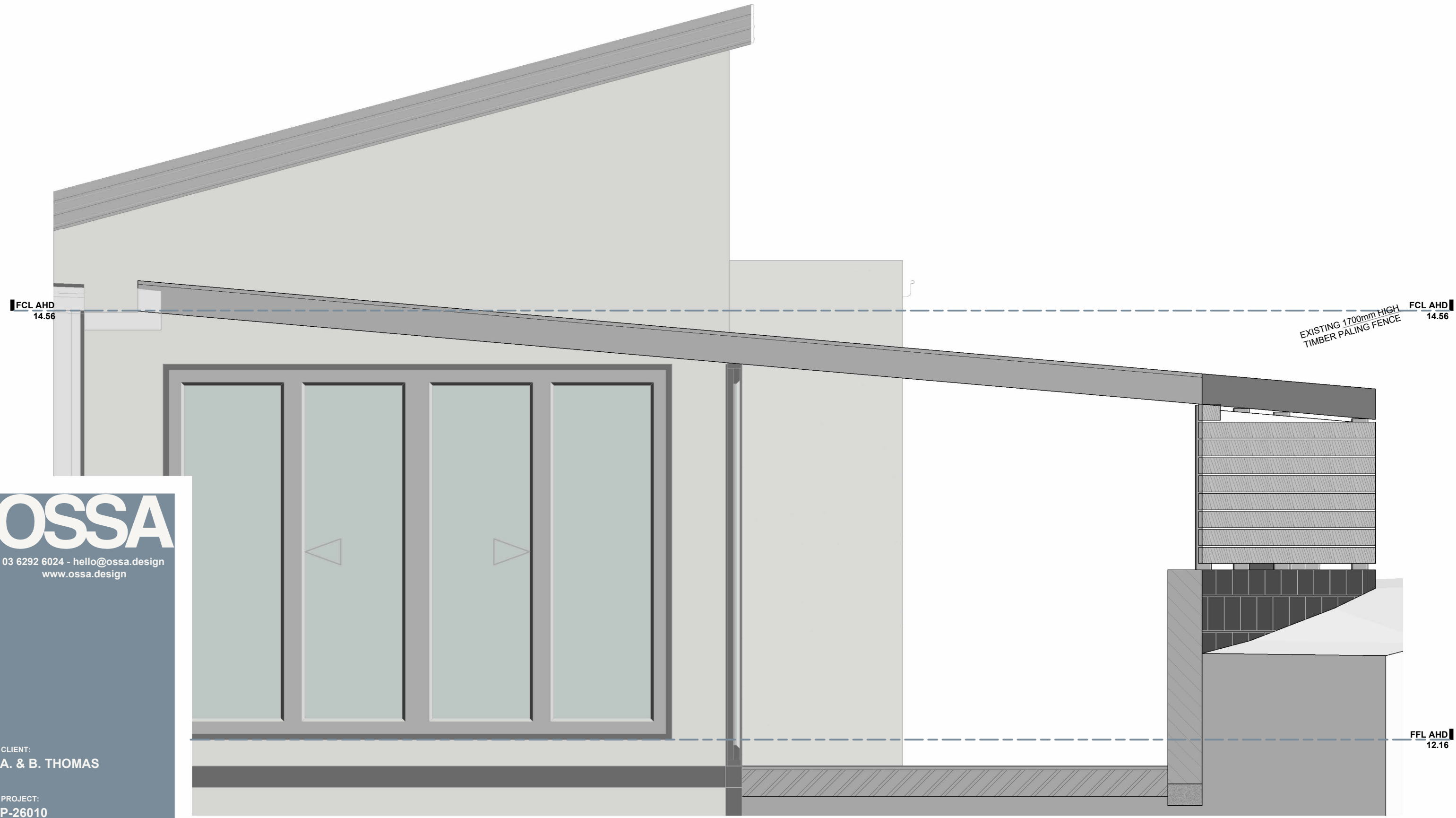
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 PROPOSED ALTERATIONS
 & ADDITIONS**

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SHEET:
**SECTIONAL ELEVATION A -
 DRAFT**

1 : 20
 12-06-2026 008 OF 011
 Document Set ID: 5946262
 Version: 1, Version Date: 16/06/2026



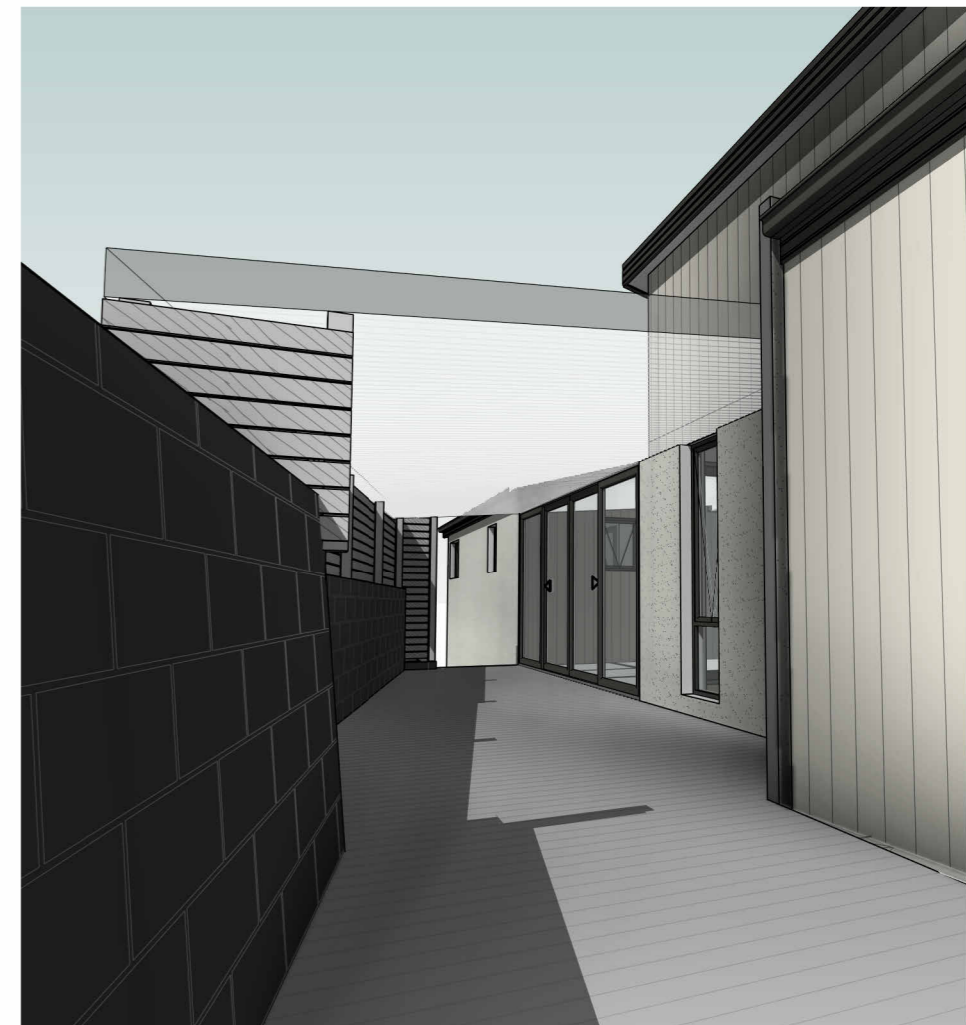
PROPOSED SECTION A
 1 : 20



PERSPECTIVE 1



PERSPECTIVE 2



PERSPECTIVE 3

OSSA

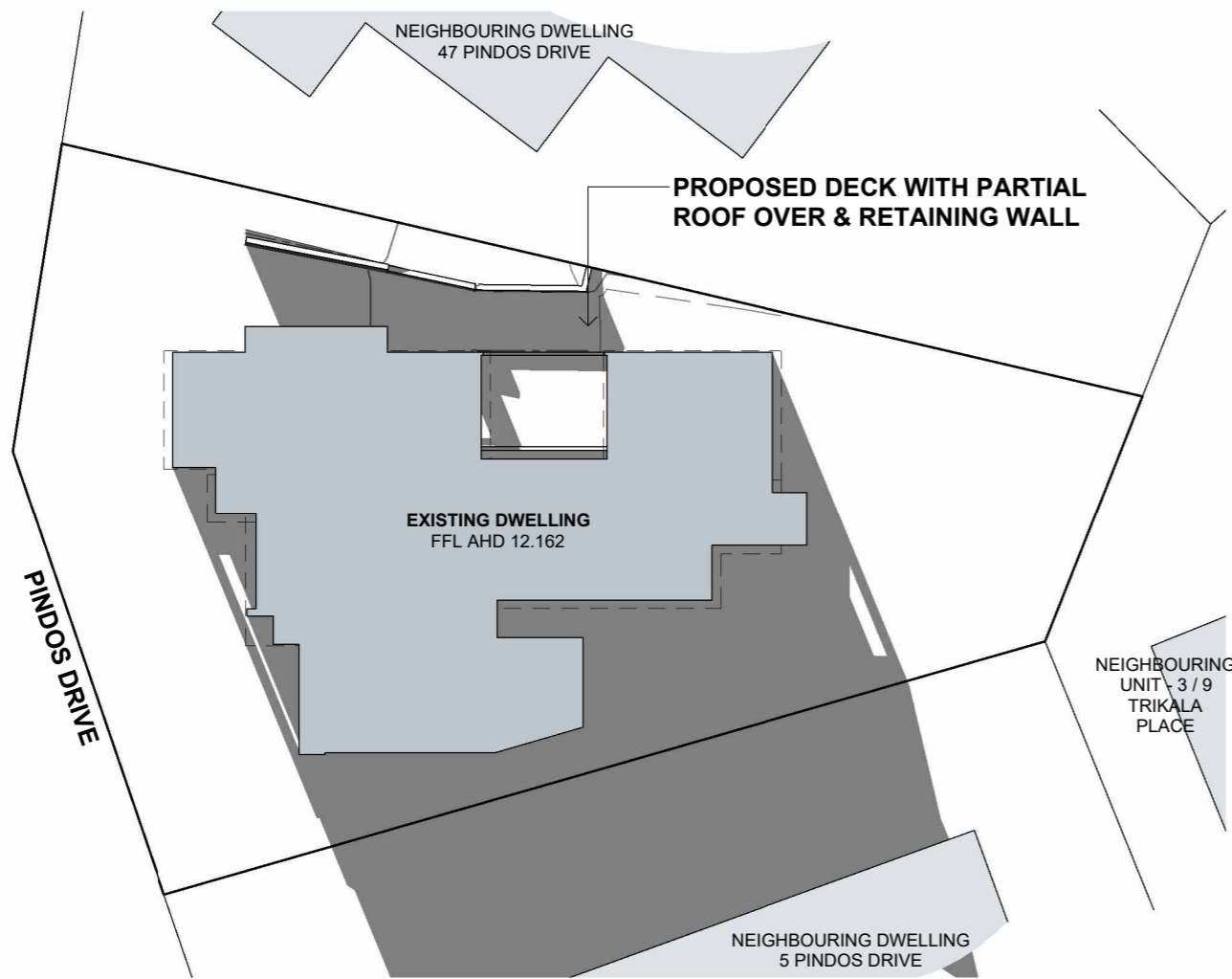
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& ADDITIONS**

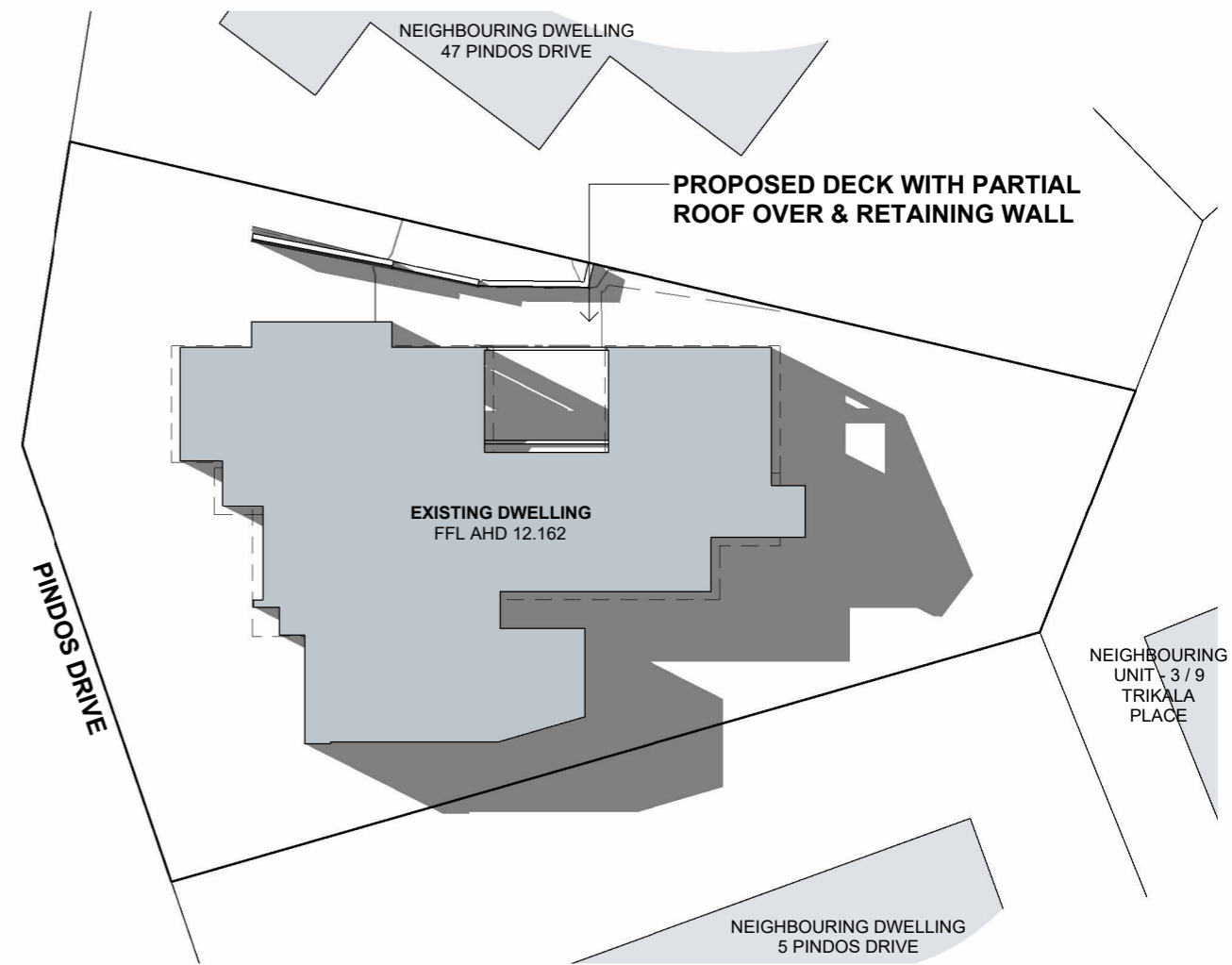
**3 PINDOS DRIVE,
TRANMERE, TAS 7018**

SHEET:
PROPOSED PERSPECTIVES



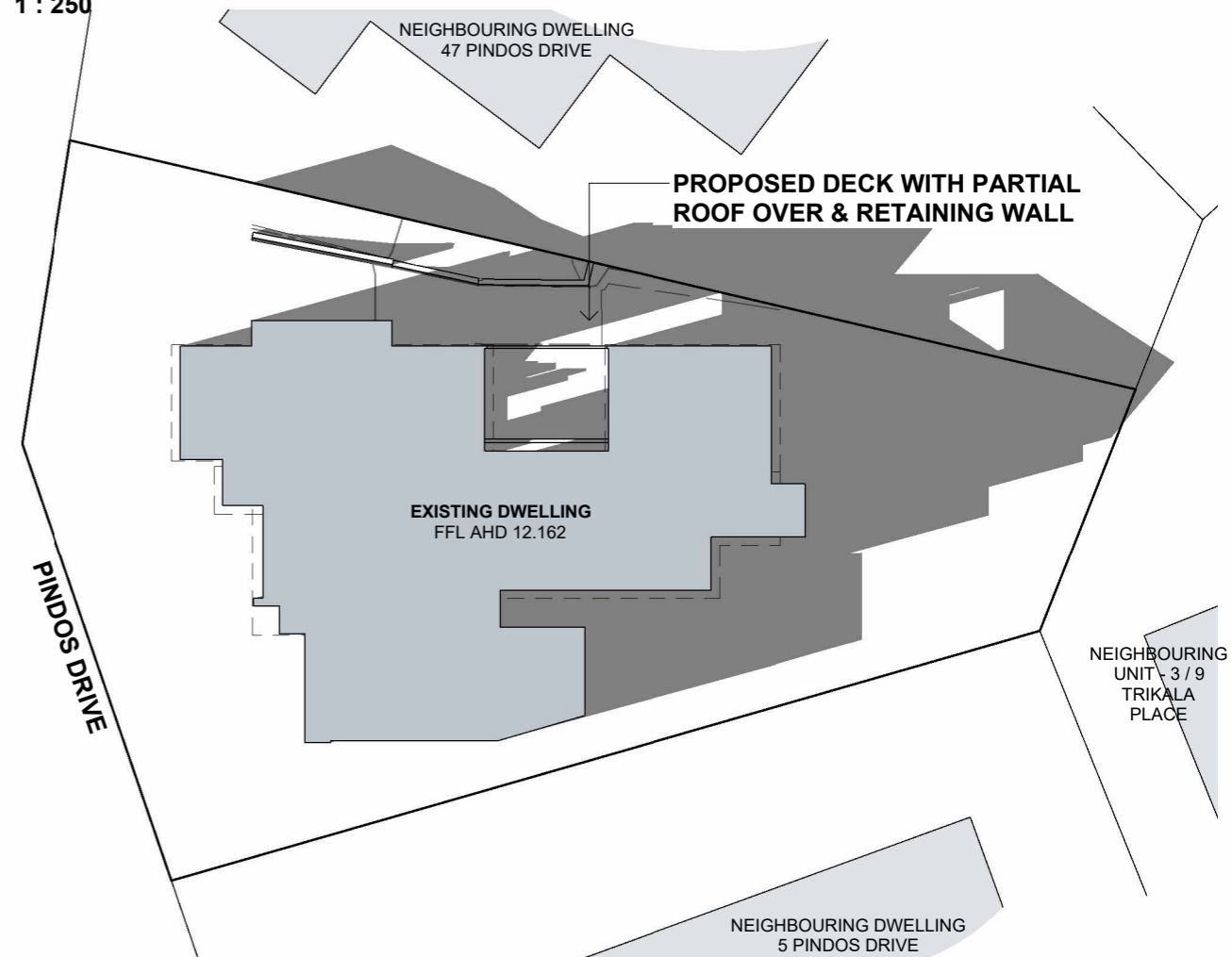
EXISTING SHADOW DIAGRAM - 9am

1 : 250



EXISTING SHADOW DIAGRAM - 12pm

1 : 250



EXISTING SHADOW DIAGRAM - 3pm

1 : 250

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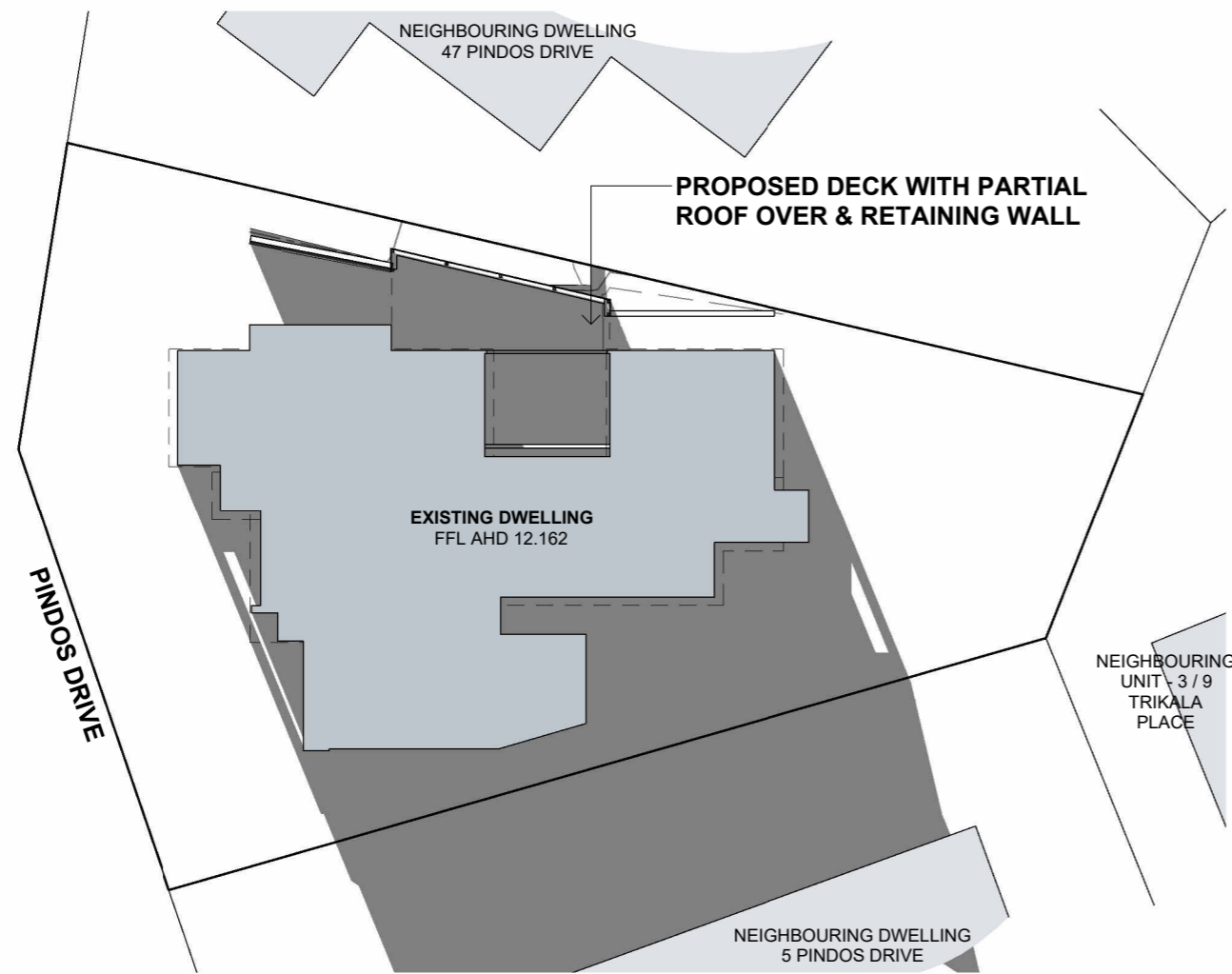
PROJECT:
**P-26010
PROPOSED ALTERATIONS
& ADDITIONS**

**3 PINDOS DRIVE,
TRANMERE, TAS 7018**

SHEET:
**EXISTING SHADOW
DIAGRAMS - 21-06**

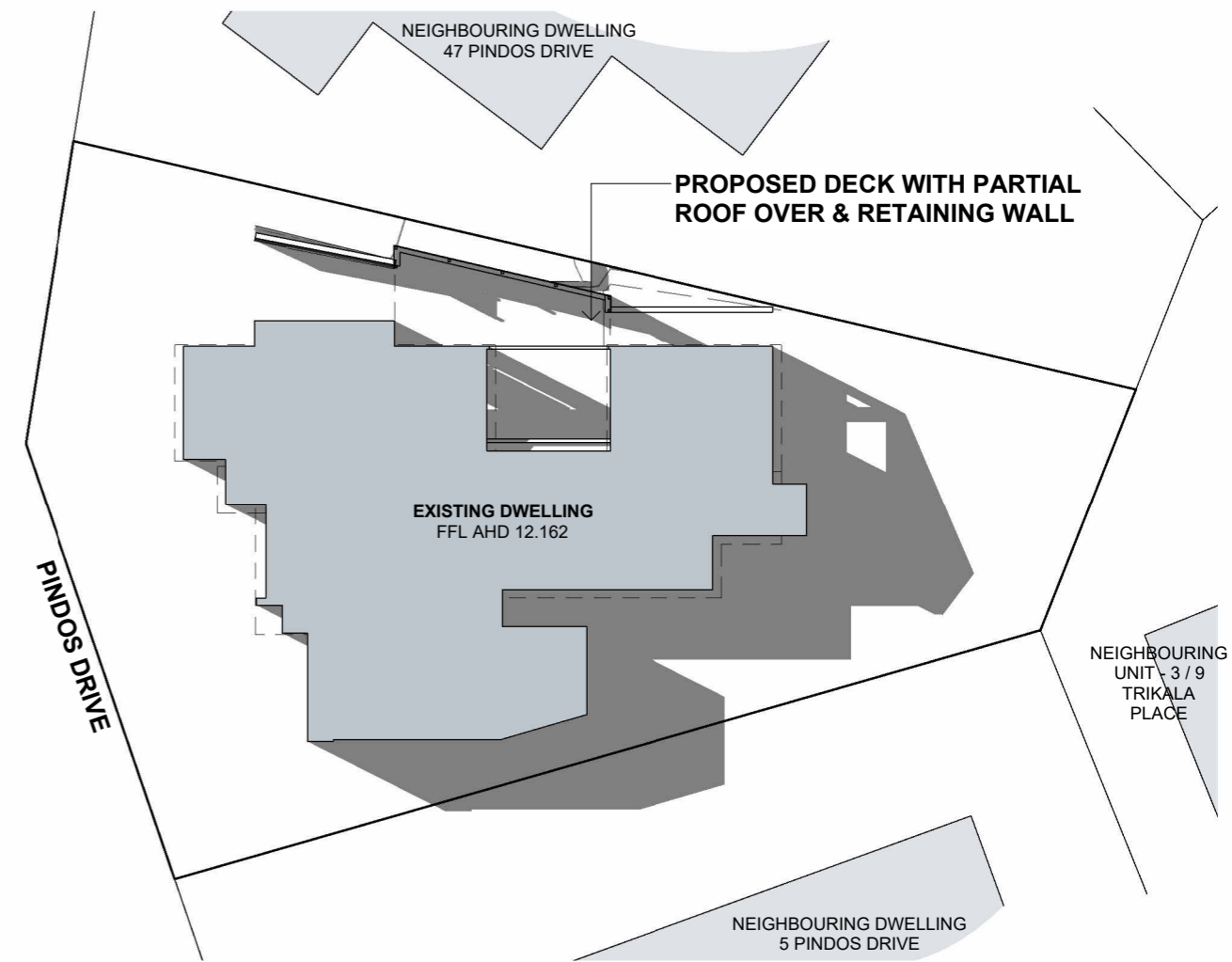
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12-06-2026 010 OF 011

Document Set ID: 5946202
Version: 1, Version Date: 16/06/2026



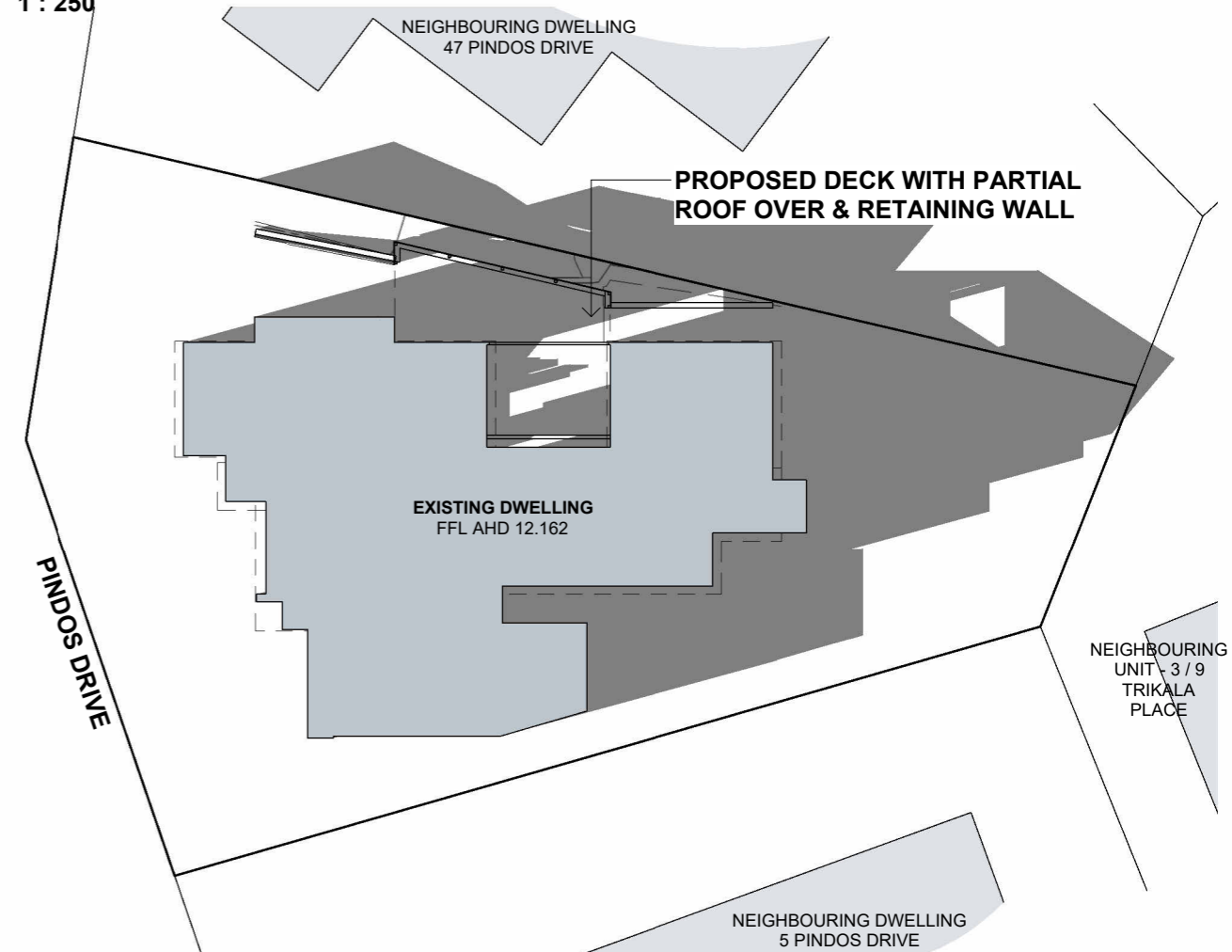
PROPOSED SHADOW DIAGRAM - 9am

1 : 250



PROPOSED SHADOW DIAGRAM - 12pm

1 : 250



PROPOSED SHADOW DIAGRAM - 3pm

1 : 250

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SHEET:
**PROPOSED SHADOW
DIAGRAMS - 21-06**

1 : 250
11 OF 011

Document Set ID: 5946202
Version: 1, Version Date: 16/06/2026