



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061389

PROPOSAL: Dwelling & Outbuilding

LOCATION: 2A Napoleon Street, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01/07/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01/07/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01/07/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Proposed dwelling and shed

Location: 2A Napoleon Street, Richmond TAS 7025

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Date: 14/05/20026



SEARCH OF TORRENS TITLE

VOLUME 180490	FOLIO 1
EDITION 3	DATE OF ISSUE 28-Mar-2024

SEARCH DATE : 14-May-2026
SEARCH TIME : 03.50 pm

DESCRIPTION OF LAND

City of CLARENCE
Lot 1 on Sealed Plan [180490](#)
Derivation : Part of 0A-1R-18.3/4P Gtd. to Patrick Walsh
Prior CT [232470/1](#)

SCHEDULE 1

[N179888](#) TRANSFER to ADRIAN GEORGE PORT and KERRIE JANE PORT
Registered 28-Mar-2024 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP180490](#) FENCING COVENANT in Schedule of Easements

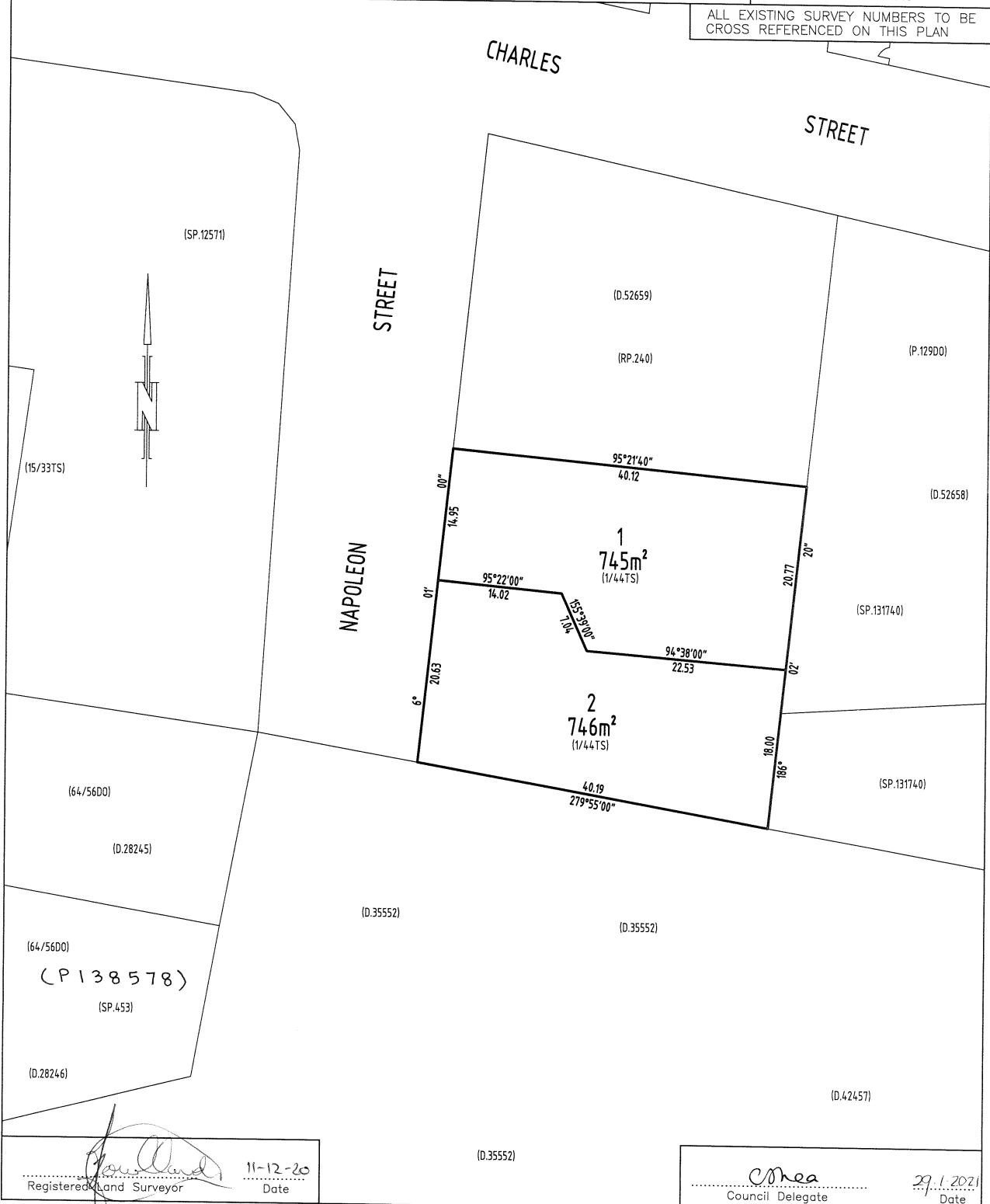
UNREGISTERED DEALINGS AND NOTATIONS

[N182430](#) PRIORITY NOTICE reserving priority for 90 days
TRANSFER ADRIAN GEORGE PORT and KERRIE JANE PORT to
CRAIG OSMUND OATES and AMANDA JANE OATES
MORTGAGE CRAIG OSMUND OATES and AMANDA JANE OATES to
COMMONWEALTH BANK OF AUSTRALIA Lodged by TAS
CONVEYANCING PTY LTD on 08-Apr-2026 BP: N182430

2 FEB 21

<p>OWNER: FGHL (TAS) PTY LTD</p> <p>FOLIO REFERENCE: CT.232470-1</p> <p>WHOLE OF GRANTEE: OA-1-18¼ GRANTED TO PATRICK WALSH</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p> <p>CITY OF CLARENCE (TOWN OF RICHMOND)</p> <p>SCALE 1:400 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP180490</p> <p>APPROVED EFFECTIVE FROM 11 FEB 2021</p> <p><i>Glenn</i> Recorder of Titles</p>
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



Timothy Leigh Gowlland
Registered Land Surveyor 11-12-20 Date

Glenn
Council Delegate 29.1.2021 Date

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 180490

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.


The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.


COVENANTS

Fencing Covenant

The Owner of each Lot on the Plan hereby Covenant with the Vendors, FGHL (TAS) PTY LTD, that the Vendors shall not be required to fence.

EXECUTED by **FGHL (TAS) Pty Ltd**
ACN 638 909 494 in accordance
with section 127 of the *Corporations*
Act 2001 (Cth)


.....
Director


.....
Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: FGHL (Tas) Pty Ltd FOLIO REF: 232470/1 SOLICITOR & REFERENCE: Butler McIntyre & Butler JS 202996	PLAN SEALED BY: <i>Clarence City Council</i> DATE: <i>29 January 2021</i> REF NO. <i>SD-2020/008996</i>
..... Council Delegate <i>Clare Shea</i>	
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

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ORAMATIS

DEVELOPMENT APPLICATION

2A Napoleon St Richmond 7025

Napoleon St Proposed House

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	SITE PLAN	A - WIP
DA03	GROUND FLOOR PLAN	
DA04	FIRST FLOOR PLAN	A - WIP
DA05	ELEVATION	
DA06	ELEVATION	
DA07	SHED ELEVATION	



1 LOCATION PLAN/SATELLITE IMAGERY
1:1000

GENERAL NOTES

GENERAL
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 180490/1

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N2

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: N#

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: N/A

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS
GROUND FLOOR SITE COVERAGE: 213.3m²
SITE AREA : 744.97m²
SITE COVERAGE: 28.63%



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GENERAL NOTES

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REV ID	DESCRIPTION	DATE

PROJECT

Proposed House
2A Napoleon St Richmond 7025

CLIENT
Craig Oates

REVISION

DATE
4/06/2026

PROJECT ID
2623

DATE

4/06/2026

CHECKED BY
A. HILL

SCALE

AS SHOWN @ A3

DRAWN BY
A. PETERSON

PAGE

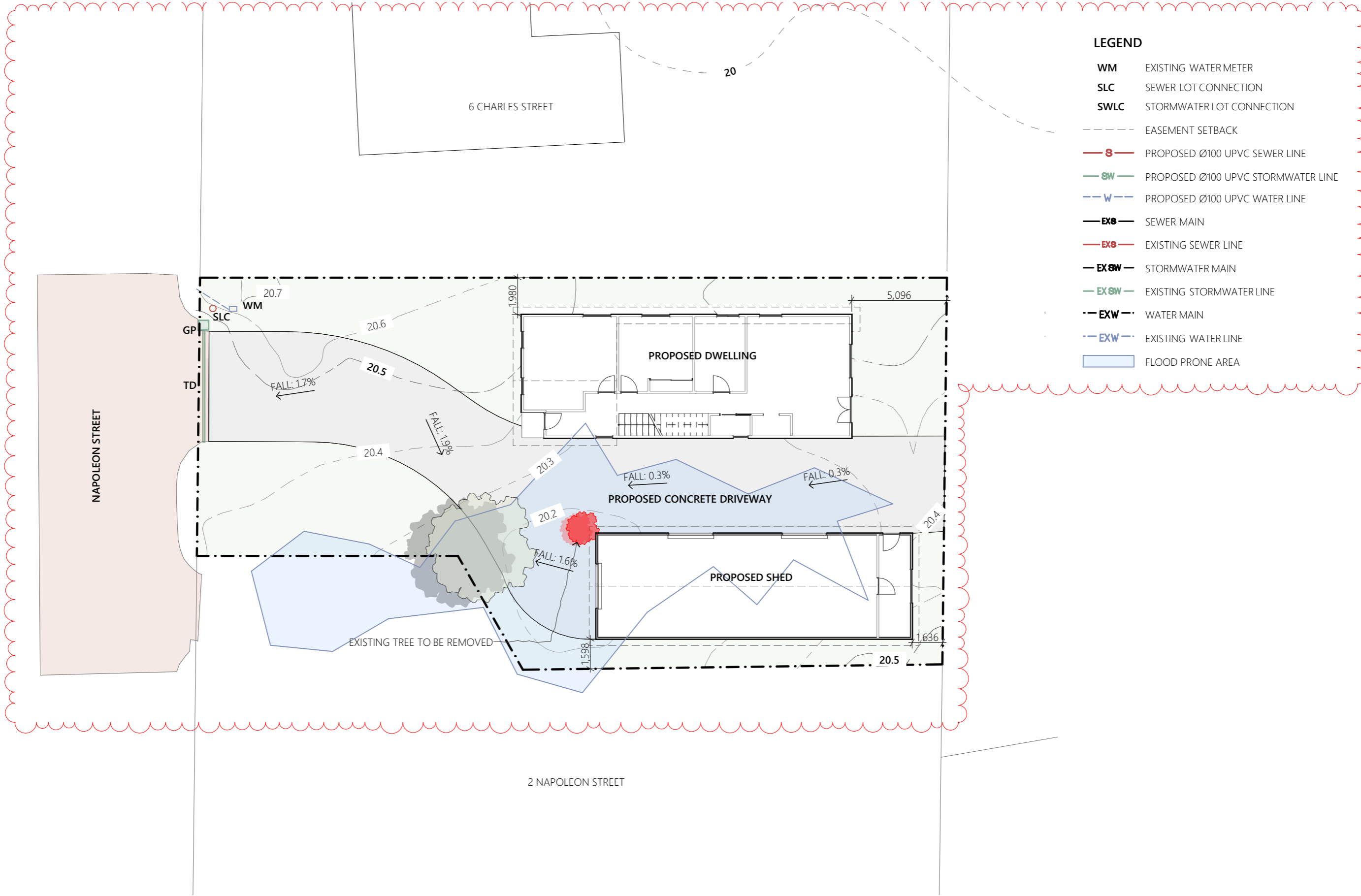
DA01

DRAWING

NOTES & SITE LOCATION PLAN

NORTH





- LEGEND**
- WM** EXISTING WATER METER
 - SLC** SEWER LOT CONNECTION
 - SWLC** STORMWATER LOT CONNECTION
 - - - - - EASEMENT SETBACK
 - S** PROPOSED Ø100 UPVC SEWER LINE
 - SW** PROPOSED Ø100 UPVC STORMWATER LINE
 - W** PROPOSED Ø100 UPVC WATER LINE
 - EXS** SEWER MAIN
 - EXS** EXISTING SEWER LINE
 - EXSW** STORMWATER MAIN
 - EXSW** EXISTING STORMWATER LINE
 - EXW** WATER MAIN
 - EXW** EXISTING WATER LINE
 - FLOOD PRONE AREA

1 SITE PLAN
1:200

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REV ID	DESCRIPTION	DATE
A - WIP	PLN - RFI 1	Work in Progress

PROJECT
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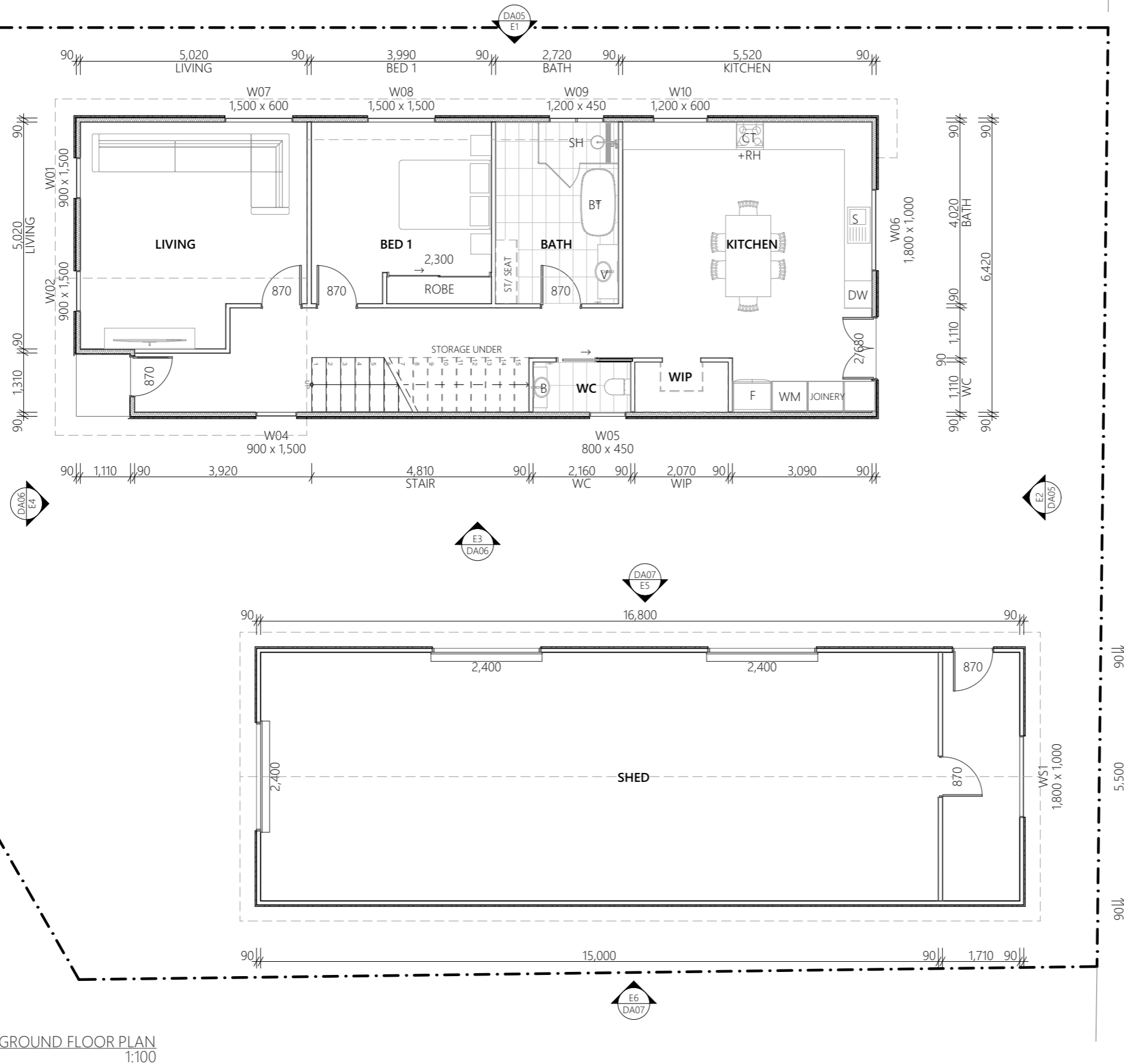
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NOTE
 ALL DIMENSIONS ARE TO THE WALL FRAME
AJ MAX. SPACING @ 4000-6000mm
 NOTE: SOIL CLASS N#

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- T** TOILET SUITE
- V** VANITY
- WM** WASHING MACHINE



AREA SCHEDULE	
	Area (m2)
FIRST FLOOR	70.26
GROUND FLOOR	115.15
PORCH	1.67
SHED	96.45

1
 GROUND FLOOR PLAN
 1:100

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PAGE
 DA03

DRAWING
 GROUND FLOOR PLAN

NORTH

MATERIAL & FINISHES

ROOF

- CO** CUSTOM ORB ROOF SHEET
COLOUR: *WINDSPRAY TBC*
- G1** COLORBOND QUAD GUTTER TYP.
COLOUR: *DOVER WHITE TBC*
- D1** DOWNPIPES
COLOUR: *TO MATCH WALL*

WALL

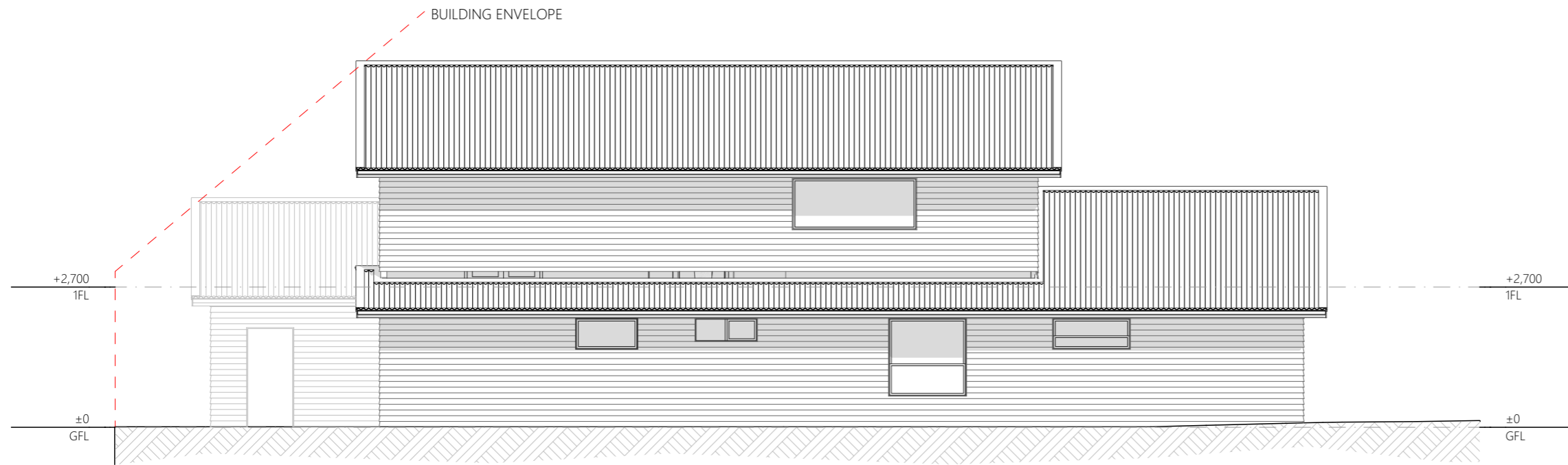
- CL-1** BALTIC PINE WEATHERBOARD
COLOUR: *SOUTHERLY TBC*
- CL-2** SHIPLAP HARDWOOD PANEL
FINISH: *2 COATS PRE OILED TBC*

COLUMN

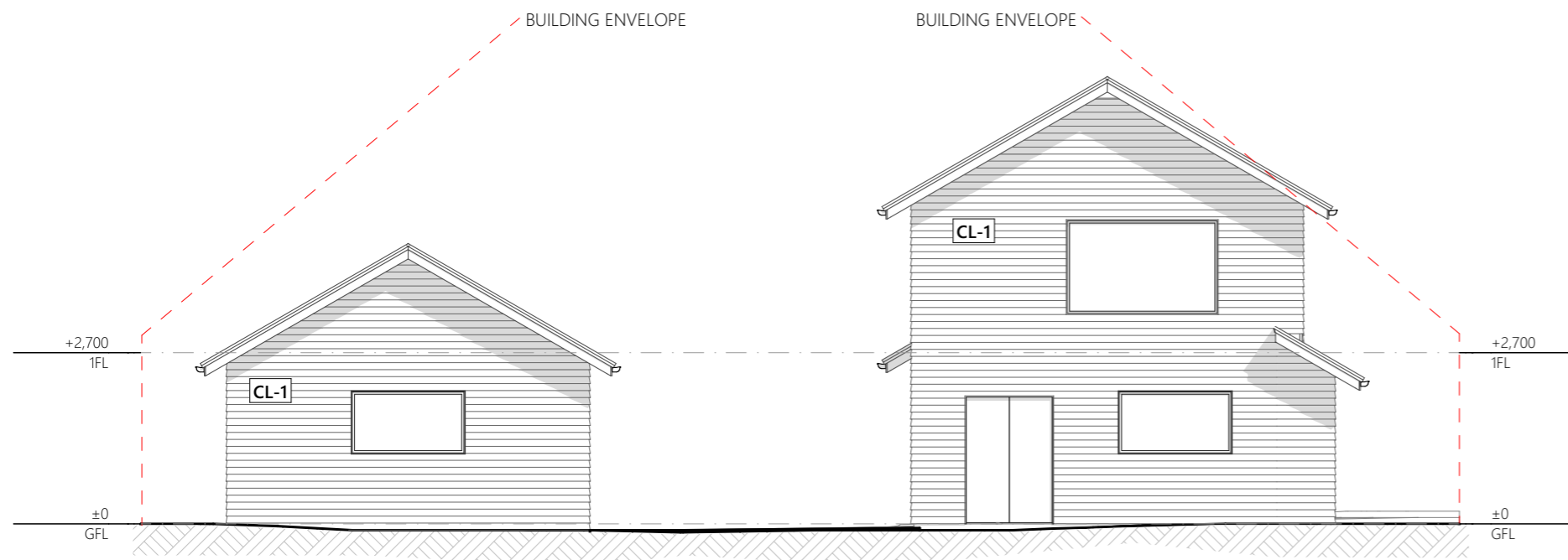
- C1** TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS



E1 NORTH ELEVATION
1:100



E2 EAST ELEVATION
1:100



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SCALE

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A. PETERSON

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DA05

DRAWING

ELEVATION

NORTH

MATERIAL & FINISHES

ROOF

- CO** CUSTOM ORB ROOF SHEET
COLOUR: WINDSPRAY **TBC**
- G1** COLORBOND QUAD GUTTER TYP.
COLOUR: DOVER WHITE **TBC**
- D1** DOWNPIPES
COLOUR: TO MATCH WALL

WALL

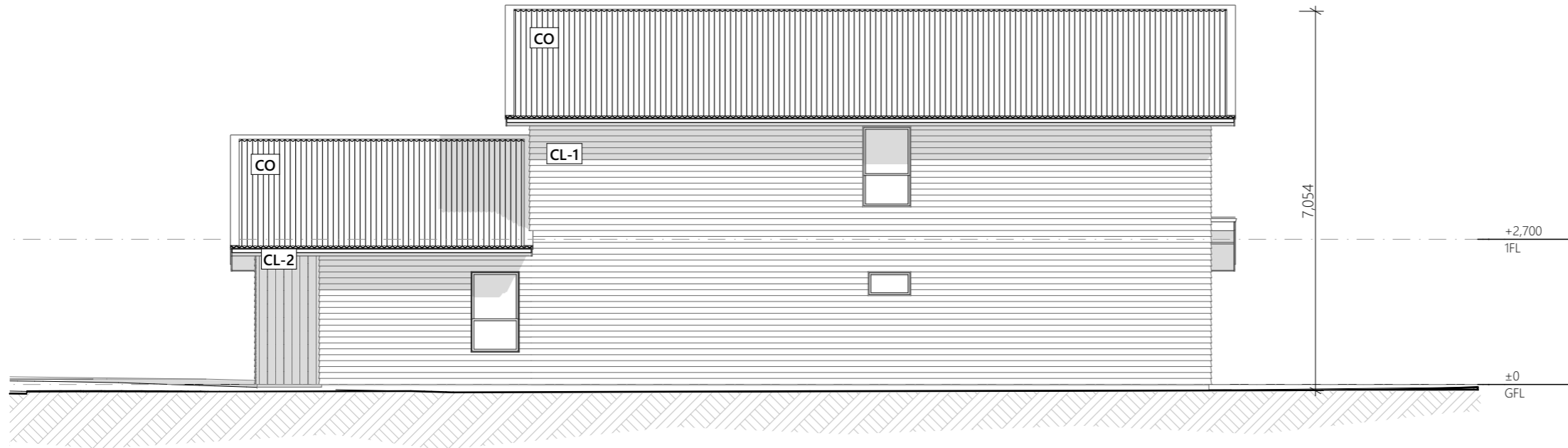
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COLUMN

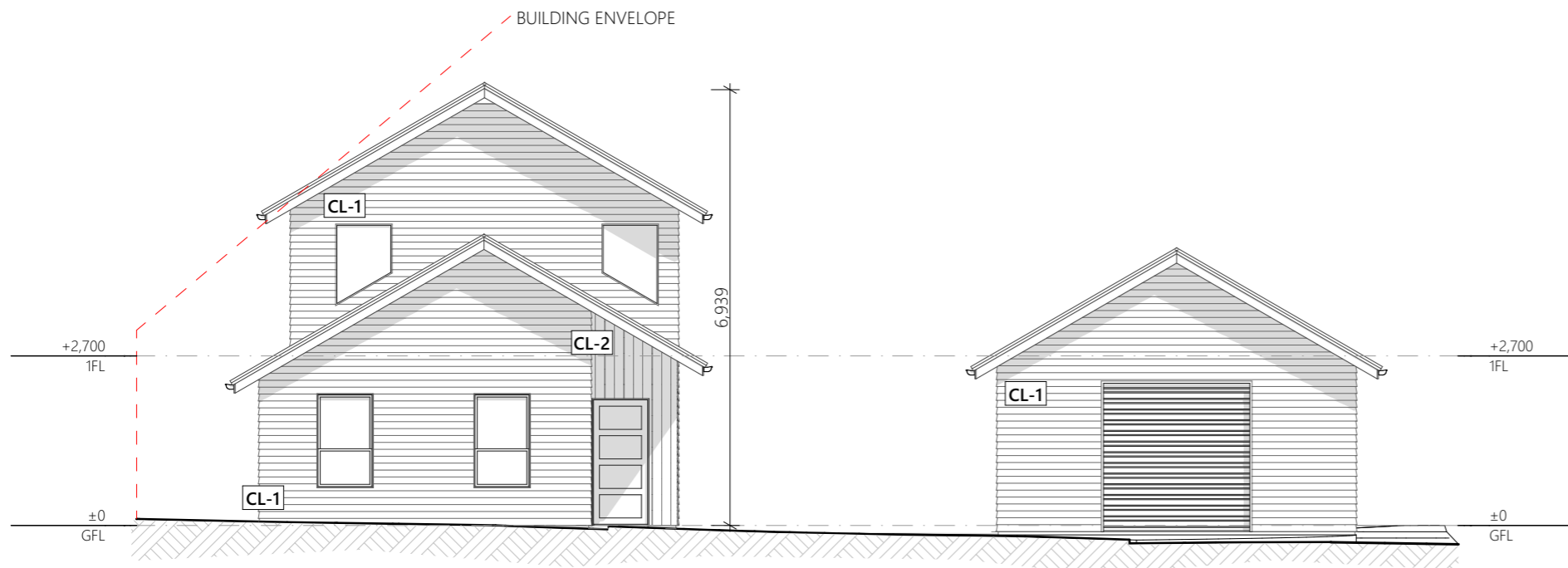
- C1** TIMBER CLADDED COLUMN
FINISH: 2 COATS PRE OILED

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E3 SOUTH ELEVATION
1:100



E4 WEST ELEVATION
1:100

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PAGE NORTH

DA06
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ELEVATION

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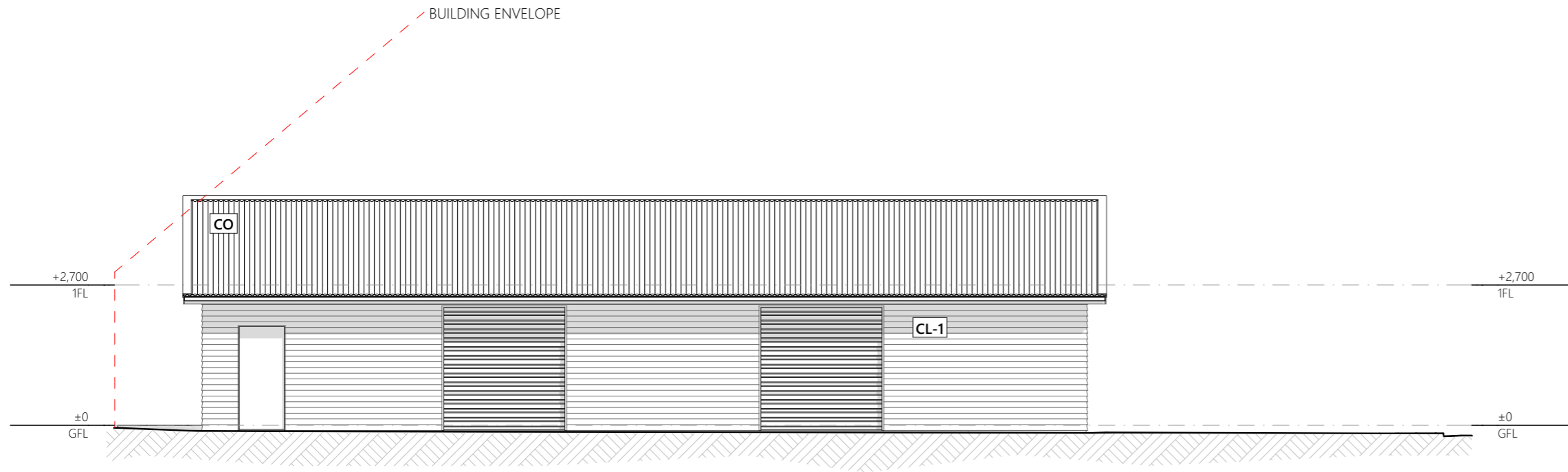
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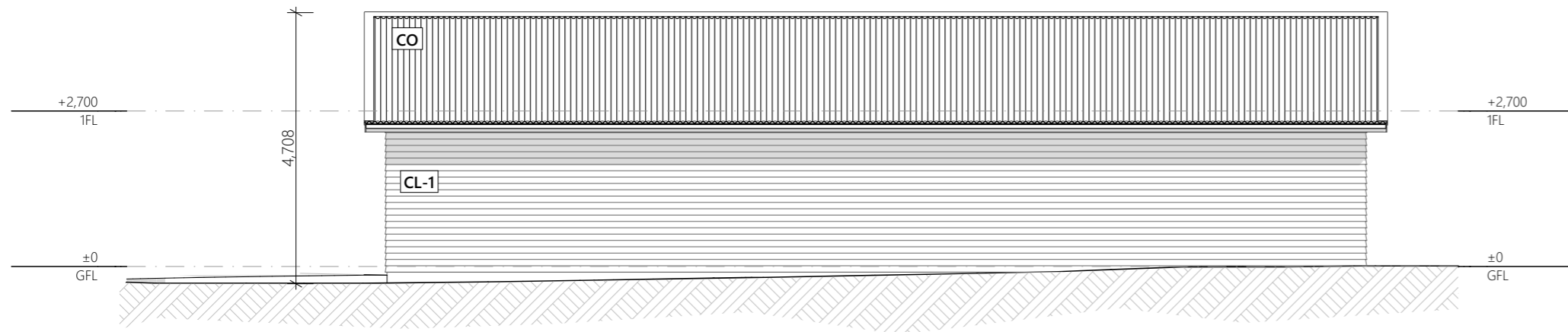
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E5
SHED NORTH ELEVATION
1:100



E6
SHED SOUTH ELEVATION
1:100

MATERIAL & FINISHES

ROOF

- CO** CUSTOM ORB ROOF SHEET
COLOUR: *WINDSPRAY TBC*
- G1** COLORBOND QUAD GUTTER TYP.
COLOUR: *DOVER WHITE TBC*
- D1** DOWNPIPES
COLOUR: *TO MATCH WALL*

WALL

- CL-1** BALTIC PINE WEATHERBOARD
COLOUR: *SOUTHERLY TBC*
- CL-2** SHIPLAP HARDWOOD PANEL
FINISH: *2 COATS PRE OILED TBC*

COLUMN

- C1** TIMBER CLADDED COLUMN
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DA07

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NORTH