



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/060600

PROPOSAL: Warehouse (Storage)

LOCATION: 3 Lockheed Place, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 05/08/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 05/08/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 05/08/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: New Commercial Warehouse used for Bulky Goods

Location: 3 Lockheed Place, Cambridge TAS 7170

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



SEARCH OF TORRENS TITLE

VOLUME 181251	FOLIO 23
EDITION 3	DATE OF ISSUE 27-Sept-2024

SEARCH DATE : 10-Apr-2026

SEARCH TIME : 11.20 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 23 on Sealed Plan [181251](#)

Derivation : Part of 292A-2R-0P Gtd. to William Wallace Fraser

Prior CT [157367/2](#)SCHEDULE 1

[N209827](#) TRANSFER to CAMBRIDGE TAS PTY LTD Registered
27-Sept-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

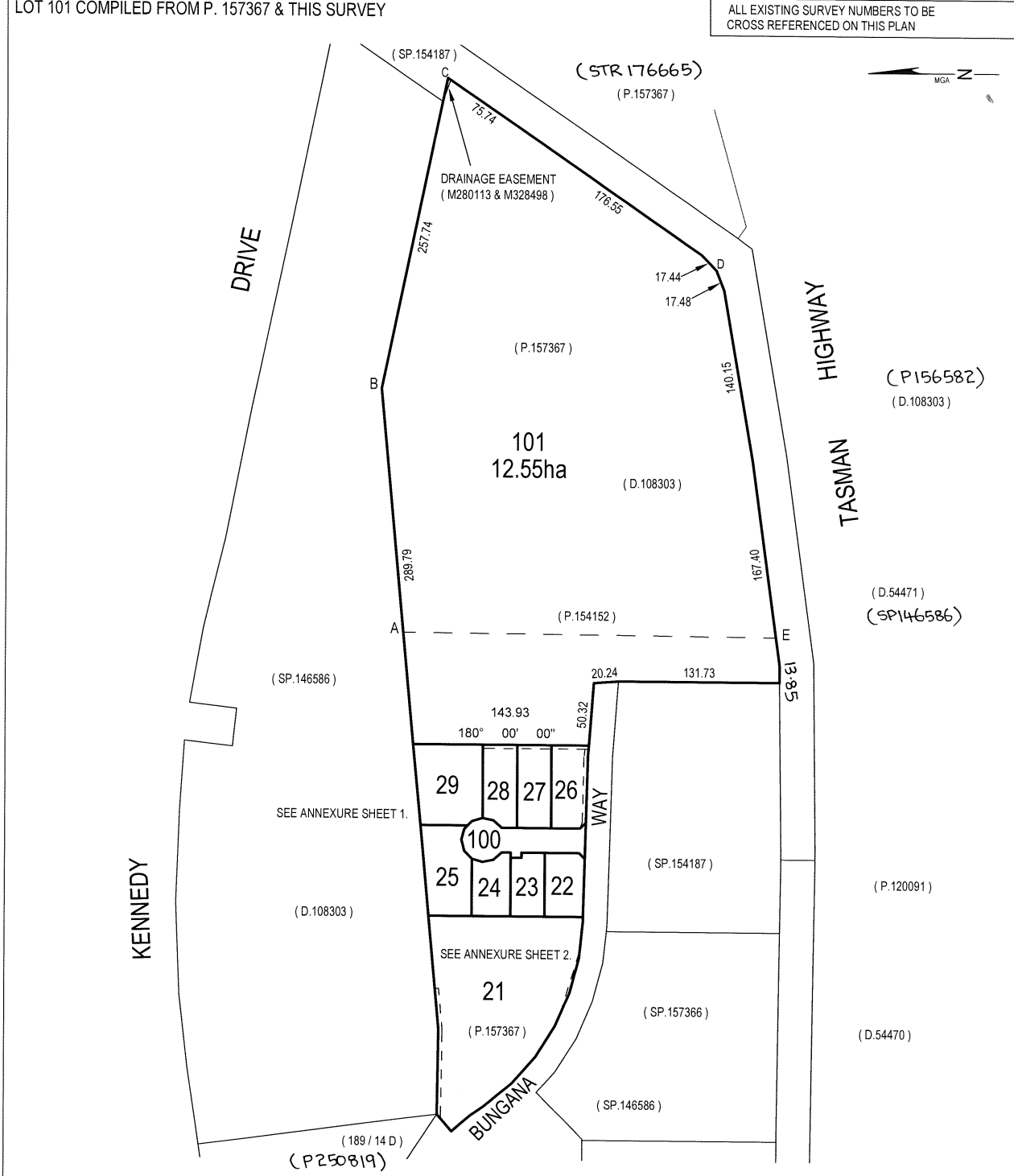
[SP181251](#) COVENANTS in Schedule of Easements[SP181251](#) FENCING COVENANT in Schedule of Easements[SP146586](#) FENCING COVENANT in Schedule of Easements[B300322](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 22-Sep-1989 at noon[C30987](#) PROCLAMATION under Section 52A of the Roads and
Jetties Act 1935 Registered 24-June-1997 at noonUNREGISTERED DEALINGS AND NOTATIONS

[N151058](#) PRIORITY NOTICE reserving priority for 90 days
TRANSFER CAMBRIDGE TAS PTY LTD to BARTECH PROPERTY
PTY LTD (ACN 693 378 004) as Trustee for BARTECH
PROPERTY UNIT TRUST
MORTGAGE BARTECH PROPERTY PTY LTD (ACN 693 378 004)
as Trustee for BARTECH PROPERTY UNIT TRUST to
NATIONAL AUSTRALIA BANK LIMITED Lodged by ABETZ
CURTIS on 24-Feb-2026 BP: [N151058](#)

OWNER: CALARDU CAMBRIDGE PTY. LIMITED FOLIO REFERENCE: C.T. 157367 - 1 & 2 GRANTEE: PART OF 292 - 2 - 0 GRANTED TO WILLIAM WALLACE FRASER	PLAN OF SURVEY BY SURVEYOR: T. W. COX of LEARY, COX & CRIPPS SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com LOCATION: CITY OF CLARENCE SCALE 1: 3000 LENGTHS IN METRES	REGISTERED NUMBER SP181251 APPROVED:  EFFECTIVE FROM: - 5 NOV 2021 Recorder of Titles
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LOT 101 COMPILED FROM P. 157367 & THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



DRIVE

HIGHWAY

KENNEDY

BLINGANA

SEE ANNEXURE SHEET 1.

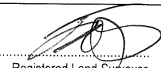
SEE ANNEXURE SHEET 2.

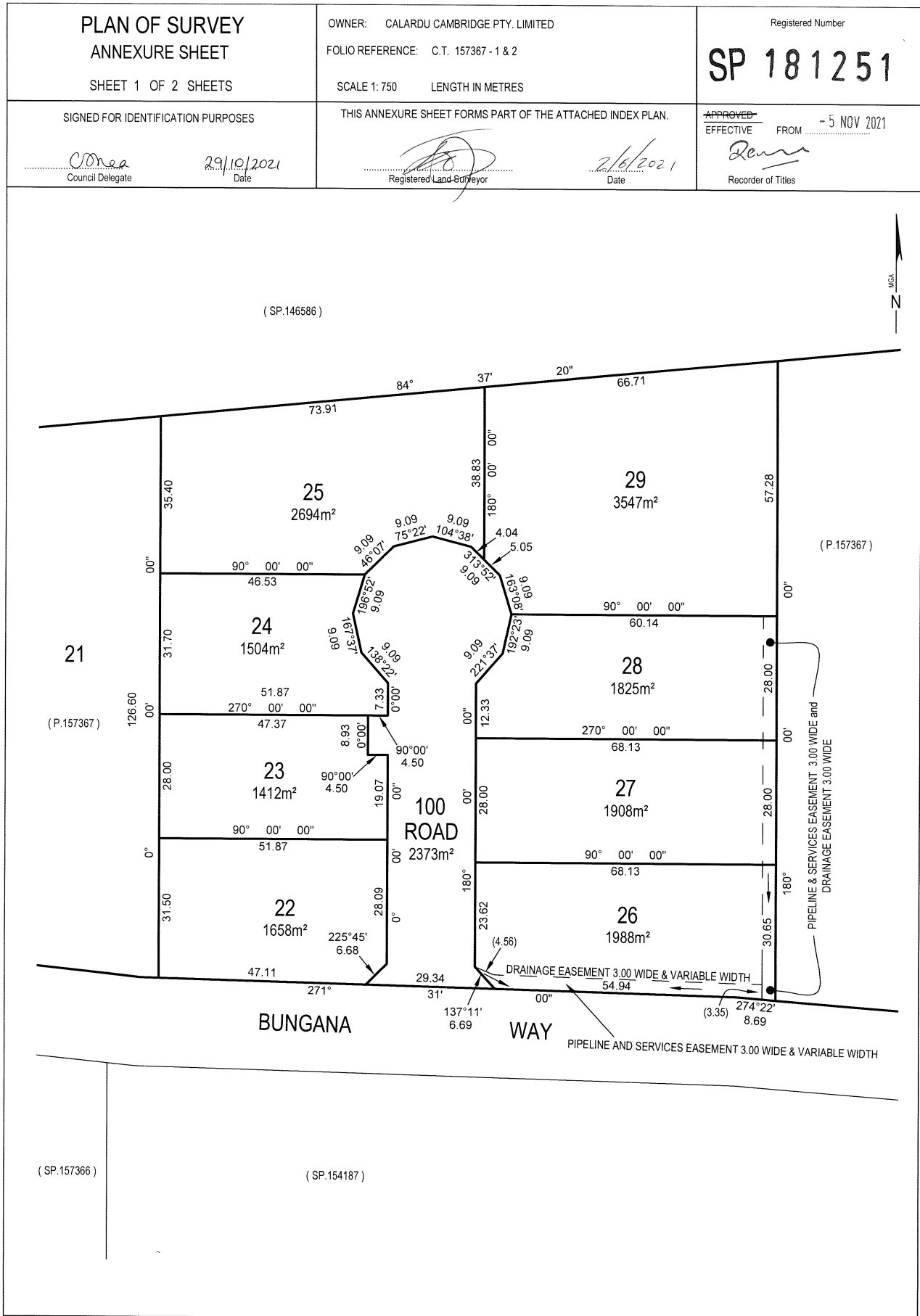
29 28 27 26

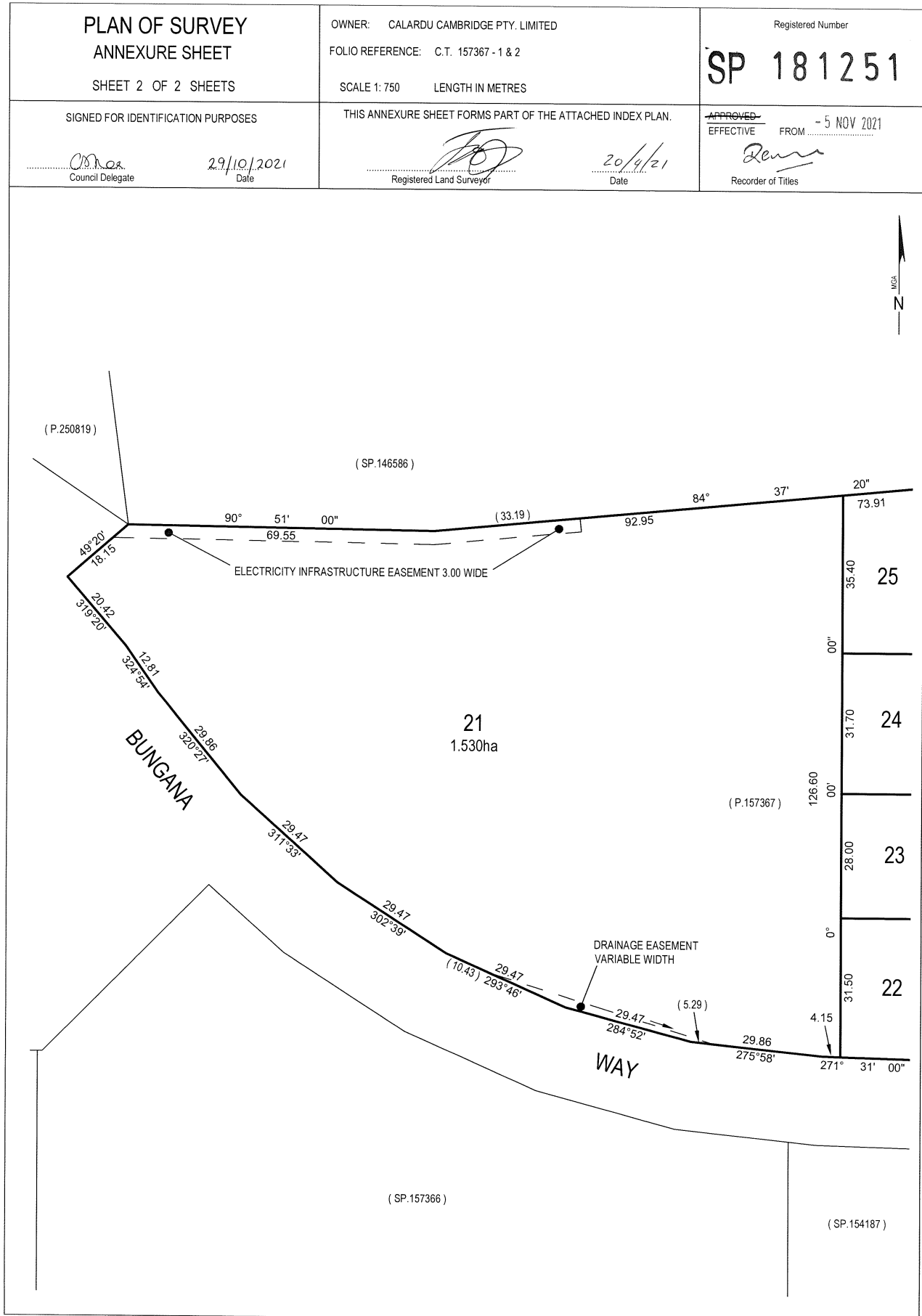
25 24 23 22

21

100

 20/4/21 Registered Land Surveyor Date	 29/10/2021 Council Delegate Date
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 181251

PAGE 1 OF 10 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

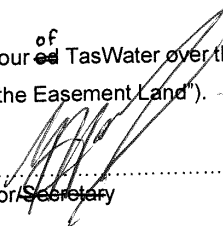
Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

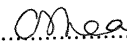
The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS CONTINUED
ON PAGE 10****EASEMENTS**

1. Lot 21 is subject to an Electricity Infrastructure Easement (as defined herein) in favour of Tasmanian Networks Pty Ltd over the strip of land marked "ELECTRICITY INFRASTRUCTURE EASEMENT 3.00 WIDE" as shown on the Plan. —
2. Lot 21 is subject to a right of drainage in favour of Clarence City Council over the land marked "DRAINAGE EASEMENT VARIABLE WIDTH" as shown on the Plan. —
3. Lot 26 is subject to a right of drainage in favour of Clarence City Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE & VARIABLE WIDTH" as shown on the Plan. —
4. Lot 26, 27 and 28 are subject to a right of drainage in favour of Clarence City Council over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE and DRAINAGE EASEMENT 3.00 WIDE" as shown on the Plan. —
5. Lots 26, 27 and 28 are subject to Pipeline Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE and DRAINAGE EASEMENT 3.00 WIDE" as shown on the Plan ("the Easement Land"). —
6. Lot 101 is subject to a right of drainage in favour of Clarence City Council over the land marked "DRAINAGE EASEMENT (M280113 & M328498)" as shown on the Plan. —
7. Lot 101 is subject to a right of drainage in gross in favour of TasWater over the land marked "DRAINAGE EASEMENT (M280113 & M328498)" as shown on the Plan. —
8. Lot 101 is subject to a Pipeline Easement (as defined herein) in gross in favour of TasWater over the land marked "DRAINAGE EASEMENT (M280113 & M328498)" as shown on the Plan ("the Easement Land"). —


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Director
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Director/Secretary

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: CALARDU CAMBRIDGE PTY LIMITED	PLAN SEALED BY: Clarence City Council
FOLIO REF: Volume 157367 Folios 1 & 2	DATE: 29th October 2021
SOLICITOR: Rae & Partners Clare Broadhurst	SD: 2009152
REFERENCE: CMB:211974	REF NO. 

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 10 PAGES	Registered Number SP 181251
SUBDIVIDER: CALARDU CAMBRIDGE PTY LIMITED FOLIO REFERENCE: VOLUME 157367 FOLIOS 1 & 2	

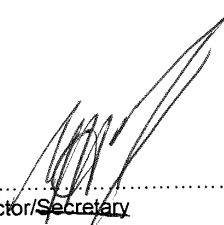
DEFINITIONS

"Electricity Infrastructure Easement" means:

FIRSTLY all the full and free right and liberty for Tasmanian Networks Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called "TasNetworks") at all times hereafter:

- a) **TO** maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including powerlines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called "electricity infrastructure") of such materials and type as TasNetworks may determine above, on or under the land respectively marked "ELECTRICITY INFRASTRUCTURE EASEMENT 3.00 WIDE" on the Plan (hereinafter called the "servient land");
- b) **TO** enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby;
- c) **TO** erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of TasNetworks these are necessary for reasons of safety;
- d) **TO** cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure;
- e) **TO** enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land;
- f) **NOTHING** herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land **PROVIDED THAT** such use does not derogate from this grant or, in the opinion of TasNetworks compromise the safe operation of TasNetworks electricity infrastructure located on, above or under the servient land.


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Director


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Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 10 PAGES	Registered Number SP 181251
SUBDIVIDER: CALARDU CAMBRIDGE PTY LIMITED FOLIO REFERENCE: VOLUME 157367 FOLIOS 1 & 2	

SECONDLY the benefit of a covenant for TasNetworks and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures, objects, or vegetation within the said easement without the prior written consent of TasNetworks to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

"Pipeline Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

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Director

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Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 10 PAGES	Registered Number SP 181251
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SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

INTERPRETATION

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING ~~PROVISION~~ COVENANT

The owner of each lot on the Plan covenants with Calardu Cambridge Pty Limited ("the Vendor") that the Vendor will not be required to fence any lot on the Plan.


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Director


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Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 10 PAGES	Registered Number SP 181251
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CROWN RIGHTS

The portion of lot 101 marked "ABCDE" on the plan is subject to the following rights of The Crown, namely:-

- (1) the right at all times of making and constructing in or on the said land within described such and so many drains sewers and waterways for sanitary or other purposes as may be deemed expedient and also the right of altering amending cleansing or repairing; and
- (2) the right always to resume such portions of the said land within described as may be required for any roads railways tramways water-races or other public utilities.

COVENANTS

The owner of lots 22-29 on the plan covenant with Calardu Cambridge Pty Limited and the owners for the time being of every other lot on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of everyother lot on the plan to observe the following stipulations-

1. General:

- 1.1 Not to use the lot for retail sale of electrical products, retail sale of furniture, bedding and mattresses, retail sale of white goods, retail sale of computers and computer equipment, retail sale of flooring coverings, or for any uses which cause excessive noise or smells to escape the buildings constructed on the lot.
- 1.2 Not to undertake any development on the lot until such development is approved by the Cambridge Park Development Review Committee pursuant to the Planning and Design Guidelines Cambridge Park.

2. Architecture:

- 2.1 Not to construct a building which does not achieve a high standard of design and without first seeking the advice of architects or similarly skilled designers.
- 2.2 Not to construct buildings which do not demonstrate excellence in design and attention to construction quality.
- 2.3 Not to construct building facades which are not of a simple contemporary architectural style and not to construct any building facades for which the dominant façade element is a roller door or precast concrete panels.
- 2.4 Not to construct any building which does not possess architectural features at ground level giving an entrance element to the building and addressing the primary street frontage.
- 2.5 Not to carry out development on such lot, if the lot is a corner lot or lot with two street frontages which does not address both street frontages and the reserve interface (where relevant) in terms of facade treatment and articulation of elevations to ensure that an appropriate design response is presented.
- 2.6 Not to construct any walls that are exposed blank walls on the boundary of the lot, and all exposed basement walls, that are not finished to a high standard, that is, to the same standard as the rest of the building, and which minimise the potential for graffiti or other vandalism, and not to construct any walls that do not reduce the scale of the visual impact by architectural treatment and/or use of colour.
- 2.7 Not to construct any outbuildings and/or ancillary installations that are not compatible with the design theme established by the primary buildings of the surrounding lots.
- 2.8 Not to store on the lot any plant and equipment which is not concealed or, in the case of freestanding structures, appropriately screened from view, including water tanks and related pumping stations, mechanical plant and equipment on rooftops.

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Director

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Director/Secretary

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SP

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- 2.9 Not to erect any exterior elements such as plumbing, heating and ventilation systems which are not integrated into the building.
- 2.10 Not to place roller doors within the front elevation of the lot unless combined with associated concrete panels and not being the dominant facade.

3. Building materials and finishes:

- 3.1 Not to construct any building which is not constructed in concrete, glass, steel or other materials suited to the type of building and its use.
- 3.2 Not to construct any office buildings which are not constructed primarily of glass with appropriate use of concrete and steel elements.
- 3.3 Not to construct any building without external walls should be painted or finished with a quality textured coating except where off form concrete is integral to the overall design and appearance of buildings.
- 3.4 Not to construct any building with a dominant building material of timber.
- 3.5 Not to construct any building of tilt-up slab concrete buildings unless the building has a trowel finish or coloured render in non-reflective earthy tones.
- 3.6 Not to construct a building which has parts having any frontage to a road which are constructed of anything other than concrete and glass unless such building is appropriately designed and finished so it makes a positive contribution to the streetscape.
- 3.7 Not to construct roller doors facing the street which are not powder coated.
- 3.8 Not to construct down pipes, exposed gutters and other such features, where part of the facade, which are not powder coated, stainless steel or similar.

4. Paving and fencing:

- 4.1 Not to construct any areas used for parking, loading or manoeuvring vehicles which are not paved and sealed with a suitable stabilised and drained surface (concrete with an attractive paved, tiled or textured appearance would be an appropriate material).
- 4.2 Not to use brick or concrete paver type materials which do not allow natural infiltration of water.
- 4.3 Not to construct paving which does not comply with access and fire standards under the Building Code of Australia.
- 4.4 Not to carry out site works including paving unless done in conjunction with landscaping works prior to the occupation of the development on the lot.
- 4.5 Not to fence along the front boundary of the lot and not to construct any fencing forward of the front landscape setback, which is not constructed from coloured steel pickets, and which is of a greater height than 1.8 metres unless otherwise approved by the Vendor.
- 4.6 Not to construct any fence and/or gate for which the design is not integral to the design of buildings proposed for the site.
- 4.7 Not to construct any side and rear boundary fences of materials other than plastic coated (black) cyclone wire.
- 4.8 Not to use any area for storage or outbuildings without erecting and maintaining screen fencing of a minimum height of 2.5 metres around that area.
- 4.9 Not to erect any fencing which is not originally specified in the plans submitted for building on the lot.
- 4.10 Not to erect any signage upon any fencing.

5. External Lighting:

- 5.1 Not to construct any premises which do not provide external lighting to ensure adequate site security.
- 5.2 Not to construct any premises with car parking areas which do not provide suitable lighting to provide safety and security.
- 5.3 Not to locate any lighting which is not directed and baffled to limit light spill beyond the site boundaries particularly where the site is close to residential properties.
- 5.4 Not to use lighting which does not reflect the contemporary nature of the surroundings.

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Director

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Director/Secretary

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6. Car Parking and Loading:

- 6.1 Not to construct any building which does not provide sufficient on-site car parking for staff, disabled and visitors as determined by the Clarence Interim Planning Scheme and associated documents and guidelines as amended from time to time including any subsequent planning schemes replacing the Clarence Interim Planning Scheme.
- 6.2 Not to construct any car parking spaces without first seeking advice on the appropriate number of spaces from Clarence City Council.
- 6.3 Not to construct car parking areas without landscaping which accords with the amenity of a business park and not to construct car parking in front of buildings without adequate screening from view from a road with appropriate landscaping treatment.
- 6.4 Not to set aside large areas for car parking without landscape islands to allow the planting of shade trees and shrubs.
- 6.5 Not to construct car parking bays and associated driveways and vehicular turning areas unless constructed and sealed with an all-weather pavement surface and adequate drainage.
- 6.6 Not to use car parking spaces unless the direction of traffic movement has been permanently marked out on the pavement surface and where it is proposed that a building or site be used for multiple occupation, all parking bays are to be permanently identified by corresponding consecutive numbers.
- 6.7 Not to construct any car spaces and access aisles which do not comply with the requirements of the Clarence Interim Planning Scheme and associated documents and guidelines as amended from time to time including any subsequent planning schemes replacing the Clarence Interim Planning Scheme.
- 6.8 Not to construct car parking spaces that are not separated from any associated loading/unloading area if the building on the lot is an office building.
- 6.9 Not to construct buildings without providing facilities for the collection and re-use of stormwater run-off for the watering of landscape areas.
- 6.10 Not to construct road and car parking surfaces which are not graded to allow run-off into garden beds.
- 6.11 Not to construct loading and servicing areas which are designed so that these activities operate outside the boundaries of the lot or within the street.
- 6.12 Not to construct loading and servicing areas unless designed as an integral part of the development on each lot and for loading bays be entirely contained within buildings or where it is not possible to internalise loading and servicing areas, not to construct external loading and servicing areas which are not fully screened from view with screening consistent with buildings to be constructed on the lot.
- 6.13 Where the lot size restricts the location of external loading and servicing areas to an area in view from a road, not to use such area in a manner which does not maintain the area in a neat and orderly condition at all times.
- 6.14 Not to construct loading bays for which the dimensions do not comply with the provisions of the Clarence Interim Planning Scheme and associated documents and guidelines as amended from time to time including any subsequent planning schemes replacing the Clarence Interim Planning Scheme.
- 6.15 Not to erect buildings without an appropriate turning area to ensure that any vehicle can leave the lot in a forward direction.
- 6.16 Not to construct any building for which provision has not been made for all loading and unloading of goods and manoeuvring of vehicles to take place in the internal docks areas and adjoining goods handling area and for which these areas are not identified / marked and are not maintained free of obstruction, for the sole use of delivery vehicles.
- 6.17 Not to construct loading and unloading bays, service areas and associated driveways and vehicular turning areas which are not constructed and sealed with an all-weather pavement surface and are to be adequately drained.
- 6.18 Not to construct loading and unloading areas unless they are graded to enable water run-off onto nearby garden beds.

7. Landscaping:

- 7.1 Not to erect any building on the lot unless accompanied with a landscape plan which has been:
 - (i) prepared by suitably qualified landscape architect or otherwise experienced designers;
 - (ii) which meets any requirements of Clarence City Council, and
 - (iii) which:
 - (a) Establishes a "green" theme for the surrounding lots, complementary to a simple, bold and appropriately scaled theme;
 - (b) Contribute to the creation of an attractive business environment;

Director

Director/Secretary

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- (c) Visually reduces the bulk of new development and enhance the appearance of new buildings;
 - (d) Provides summer shade and windbreaks to areas used by pedestrians or occupied by car parking;
 - (e) Minimises surface run-off;
 - (f) Is practical to implement and maintain.
- 7.2 Not to carry out landscaping to the front landscape setback which does not include earth mounding and use a range of tree and plant species to complement the theme for the estate.
- 7.3 Not to construct landscaping areas which do not contain an automatic irrigation system.
- 7.4 Not to carry out landscaping works in which that stormwater retention devices be included within the design to capture stormwater run-off from the roof of the buildings and re-used to water gardens and landscaping areas.
- 7.5 Not to construct a building which has a setback from the side or rear boundaries which does not provide an appropriate landscape strip which is suitably designed to allow a range of plants and trees to grow.
- 7.6 Not to erect any electrical substation structure which is not identified in the Landscape Plan and visually screened by the landscaping. Landscaping is not to inhibit access required by the supply agency.
- 7.7 Not to create any Landscape Plan which does not provide for acoustic/visual screening by mass planting, low earth mounding and retaining walls as appropriate.
- 7.8 Not to allow any plant or equipment to be situated above the roof of a building unless it is suitably screened by vegetation.
- 7.9 Not to plant any tree below a minimum of 1.8 metres high pot size at the time of planting, any shrub less than 250mm pot size at the time of planting, nor any ground cover less than 100mm pot size at the time of planting, and not to plant any tree of a species other than:

Scientific name	Common name
Acer species	Maple
Acmena smithii	Weeping Lilly Pilly
Agonis flexuosa	Willow Myrtle Alder Tree
cordata	
Alnus acuminata	Evergreen Alder
Angophora costata	Smoot Barked Apple
Betula pendula	Silver Birch
Fagus sylvatica	European Beech
Fraxinus excelsior 'Aurea'	Golden Ash
Fraxinus angustifolia	Claret Ash
'Raywood'	
Fortunella Margarita	Nagami Cumquat
Gleditsia triacanthos	Honey Locust
'Sunburst'	Golden Shower Tree
Laburnumx watererii	
Lagerstroemia indica	Crepe Myrtle
Liquidambar styraciflua	Sweet Gum
Malus ioensis	Flowering Apple
Magnolia grandiflora	Magnolia
Melia azedarach	Mahogany
Nyssa sylvatica	Black Gum
Olea europea	Olive Tree
Prunus x blireana	Flowering Plum
Prunus cerasifera	Cherry Plum
Pistacia chinensis	Chinese Pistachio
Pyrus calleryana	Ornamental Pear

.....
 Director

.....
 Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

05

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 9 OF 10 PAGES	Registered Number SP 181251
SUBDIVIDER: CALARDU CAMBRIDGE PTY LIMITED FOLIO REFERENCE: VOLUME 157367 FOLIOS 1 & 2	

Quercus palustris	Pin Oak
Robinia pseudoacacia	Locust tree
Schinus areira	Peppercorn Tree
Sorbus aria 'Lutescens'	Rowan Tree
Ulmus parvifolia 'Todd'	Chinese Elm
Ulmus procera	English Elm
Waterhousea floribunda	Weeping Myrtle
Acacia melanoxylon	Blackwood
Acacia baileyana	Cootamundra Wattle
Acacia howitti	Sticky Wattle
Allocasuarina littoralis	Black She-Oak
Allocasuarina verticillata	She-Oak
Banksia marginata	Silver Banksia
Banksia ericifolia	Heath Leaved Banksia
Banksia serrata	Saw Banksia
Callistemon viminalis	Weeping Bottle Brush
Callitris rhomboidea	Oyster Bay Pine
Eucalyptus morrisbii	Morrisby Gum
Eucalyptus leucoxylon	Yellow Gum
Eucalyptus pulchella	White Peppermint
Eucalyptus nicholii	Narrow Leaved
Fagus sylvatica	Peppermint
Fraxinus excelsior 'Aurea'	European Beech
Fraxinus angustifolia	Golden Ash
'Raywood'	Claret Ash
Liriodendron tulipiflora	Tulip Tree
Magnolia grandiflora	Magnolia
Platanus x acerifolia	London Plane
Platanus orientalis	Oriental Plane
Robinia pseudoacacia	Locust
Sorbus aria 'Lutescens'	Rowan Tree
Tilia cordata	Small Leaved Lime
Ulmus parvifolia 'Todd'	Chinese Elm
Acacia mearnsii	Black Wattle
Acacia dealbata	Silver Wattle
Acacia melanoxylon	Blackwood
Allocasuarina verticillata	Drooping She-Oak
Allocasuarina littoralis	Black She-Oak
Banksia marginata	Silver Banksia
Banksia ericifolia	Heath Leaved Banksia
Bursaria spinosa	Sweet Bursaria
Eucalyptus viminalis	White Gum
Eucalyptus ovata	Swamp Gum
Eucalyptus obliqua	Stringybark
Eucalyptus globulus	Blue Gum
Eucalyptus amygdalina	Black Peppermint
Eucalyptus pulchella	White Peppermint
Eucalyptus risdonii	Risdon Peppermint
Eucalyptus morrisbyi	Morrisby's Gum
Eucalyptus tenuiramis	Silver Peppermint
Exocarpos cupressiformis	Native Cherry

.....
 Director

.....
 Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

CP

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 10 OF 10 PAGES	Registered Number SP 181251
SUBDIVIDER: CALARDU CAMBRIDGE PTY LIMITED FOLIO REFERENCE: VOLUME 157367 FOLIOS 1 & 2	

- 8. Signage:**
- 8.1 Not to construct signage which does not comply with the provisions of the Clarence Interim Planning Scheme 2015 and any subsequent amendments.
 - 8.2 Not to construct buildings on the lot without appropriate directional signage to assist with the movement of pedestrian and vehicular traffic in order to identify site entries and exits, staff and visitor car parking, goods delivery and pick-up, and the location of reception/office areas where relevant.
 - 8.3 Not to erect directional signage which is of an inconsistent type and style with other signage used by other lots on the plan.
 - 8.4 Not to erect business signs which do not form an integrated part of the building façade, architectural design, and scale of the building or which create visual clutter such as that created by too many or inappropriate sign types.
 - 8.5 Where signage is used within the front setback, not to use signage which is not of a corporate style, and of a scale and size appropriate to the frontage of the site, and which is not more horizontal than vertical in nature.
 - 8.6 Not to use more than one business identification sign within the front setback area of the lot.
 - 8.7 Not to erect pylon type signage.
 - 8.8 Not to erect any illuminated sign unless that illumination is concealed or integral with the sign by neon, or internally lit box or by sensitively designed spot-lighting.
 - 8.9 Not to use any lighting or illumination which is hazardous or a nuisance to pedestrians, vehicular traffic or nearby residents.
 - 8.10 Not to hang or use permanent window signs (those in place for a period longer than one month).
 - 8.11 Not to erect a third-party advertising sign.
 - 8.12 Not to use more than one promotional sign at one time relating to buildings being offered for sale or lease.
- 9. Site Amenity:**
- 9.1 Not to store any waste materials and refuse unless in areas specifically designated for this purpose and which are not visible from the street and where possible contained within a building.
 - 9.2 Not to create storage areas for waste materials and refuse unless these are an integral part of the design of buildings.
 - 9.3 Not to create refuse storage areas which are external to buildings unless these are screened and designed to prevent the proliferation of litter within and beyond the other lots of the plan.
 - 9.4 Not to create any other point of access to the lot during and after construction apart from the crossover.
 - 9.5 Not to carry out any construction without first erecting temporary fencing to protect existing landscaping on the nature strip and within the front section of the lot, and such fencing must extend the full width of the boundary, including corner lots.

EXECUTED by CALARDU CAMBRIDGE PTY LIMITED ACN 118 685 822 as registered proprietor of the property comprised in Folio of the Register Volume 157367 Folios 1 & 2 in accordance with Section 127 of the Corporations Act in the presence of:

.....
 Director
 Print full name: **GERALD HARVEY**

.....
 Director/Secretary
 Print full name: **CHRIS MENTIS**

ADDITIONAL EASEMENTS

1. Lot 26 is subject to a Pipeline Easement (as defined herein) in gross in favour of TasWater over the land marked "**DRAINAGE EASEMENT 3.00 WIDE & VARIABLE WIDTH**" as shown on the Plan ("the Easement Land").
PIPELINE & SERVICES

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

50

PROPOSED WAREHOUSE & OFFICE

3 LOCKHEED PLACE,

CAMBRIDGE

CAMBRIDGE TAS PTY LTD

PD26001

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE LANDSCAPING PLAN
03	LOCALITY PLAN
04	GROUND FLOOR PLAN
05	FIRST FLOOR PLAN
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	PERSPECTIVES



GENERAL PROJECT INFORMATION
TITLE REFERENCE: 181251/23
SITE AREA: 1,412 m2
DESIGN WIND SPEED: TBC
SOIL CLASSIFICATION: TBC
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: MEDIUM
BAL RATING: N/A
BUILDING CLASS: 5&7b
OTHER KNOWN HAZARDS: RESTRICTIVE COVENANTS

NOTE: IT IS THE CLIENTS RESPONSIBILITY
TO ENSURE COMPLIANCE WITH THE TITLE
COVENANTS.

NOT FOR CONSTRUCTION

REV. DATE DESCRIPTION

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your build, your way

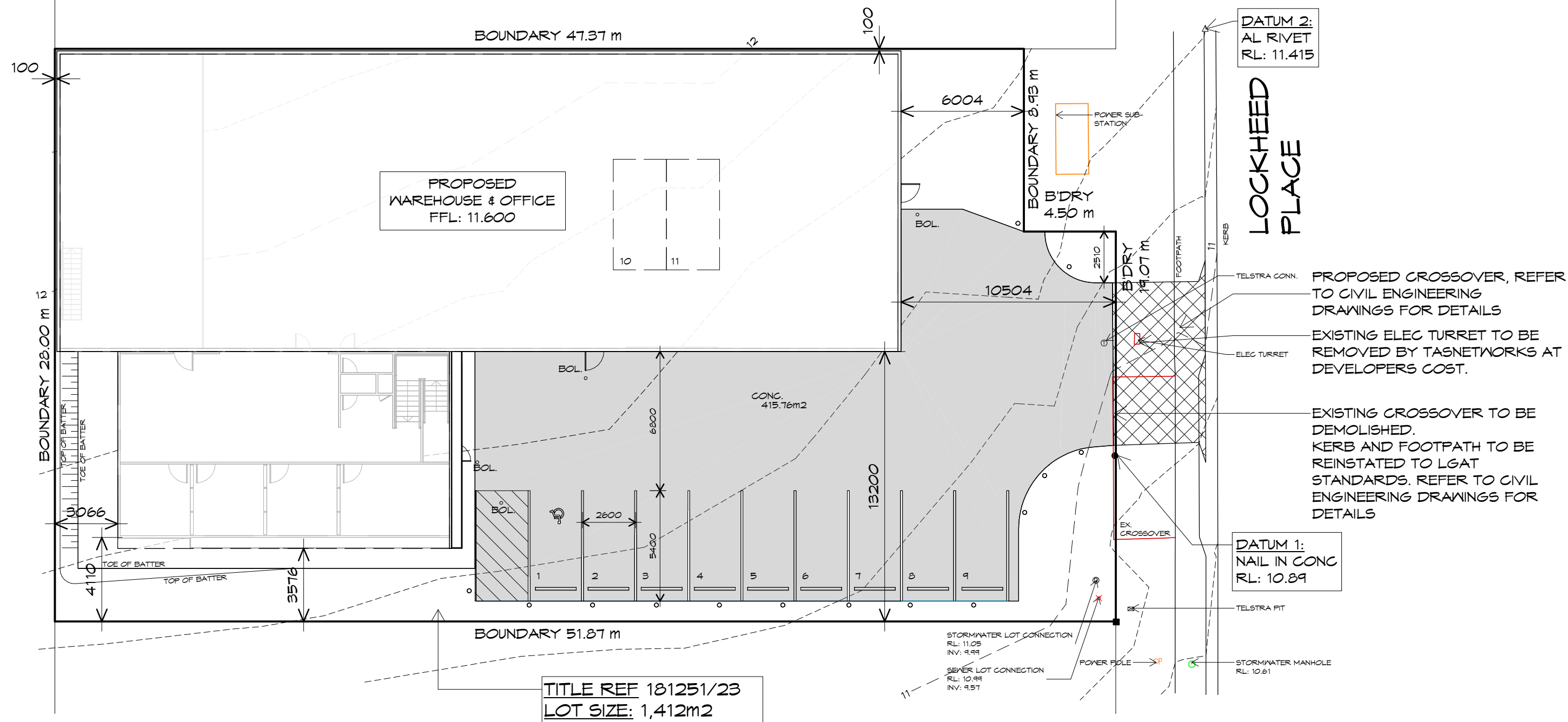
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p() + 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au
Accredited Building Practitioner:

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

MARCH 2026
PLANNING

WAREHOUSE AREA	594.70	m2	(64.01	SQUARES)
GROUND FLOOR OFFICE AREA	150.39	m2	(16.19	SQUARES)
MEZZANINE FLOOR AREA	104.80	m2	(11.28	SQUARES)
FIRST FLOOR OFFICE AREA	151.30	m2	(16.29	SQUARES)
TOTAL AREA	1001.18		107.77	



NOTE: IT IS THE CLIENTS RESPONSIBILITY TO ENSURE COMPLIANCE WITH THE TITLE COVENANTS.

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES WHICH WERE NOT LOCATED DURING THE FIELD SURVEY.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY, AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SHOULD NOT BE USED FOR BUILDING TO BOUNDARY OR TO PRESCRIBED SET-BACKS, WITHOUT FURTHER SURVEY.

PRIOR TO ANY DEMOLITION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION ON THIS SITE, A FULL SITE INSPECTION SHOULD BE COMPLETED BY THE RELEVANT ENGINEERS.

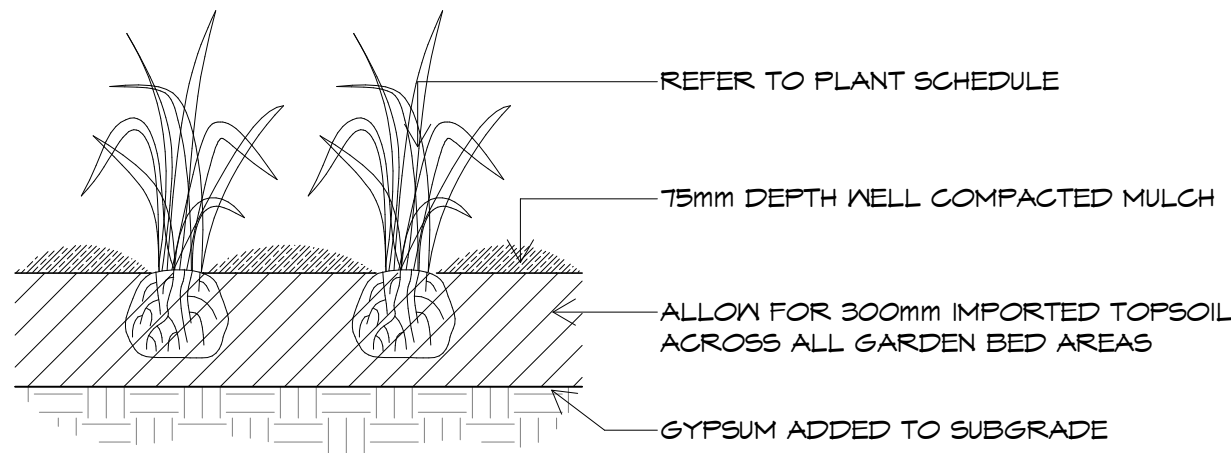
ALL SURVEY DATA IS 3D. THE LEVEL (Z-VALUE) OF ANY SPECIFIC FEATURE CAN BE INTERROGATED WITH A SUITABLE CAD PACKAGE. SPOT HEIGHTS OF ALL FEATURES, INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL SPACE BUT ARE NOT DISPLAYED ON THE PDF. SPOT HEIGHTS ARE ORGANISED INTO APPROPRIATE LAYERS, AND CAN BE DISPLAYED AS REQUIRED.

DATUM - VERTICAL : AHD PER SPM11189 WITH REPUTED AHD
LEVEL OF 10.422 FROM SURCOM ON 17/12/2025

AT THE TIME OF THIS SURVEY, CT.181251/23 WAS OWNED BY
CAMBRIDGE TAS PTY LTD
DATE OF SURVEY : 17/12/2025

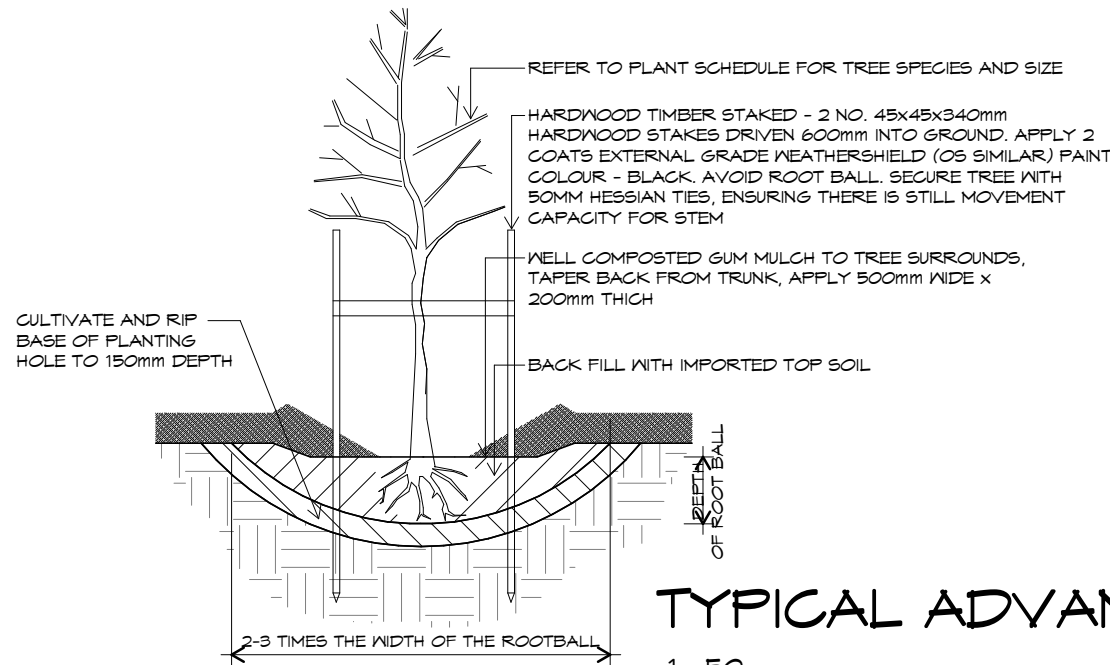
SITE LANDSCAPING PLAN

1 : 200



TYPICAL GARDEN BED DETAIL

1 : 20



TYPICAL ADVANCED TREE DETAIL

1 : 50

NOT FOR CONSTRUCTION

REV. DATE DESCRIPTION

Client name:
CAMBRIDGE TAS PTY LTD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED WAREHOUSE & OFFICE
3 LOCKHEED PLACE,
CAMBRIDGE

Drawing:
SITE LANDSCAPING PLAN

Prime Design

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 18.05.2026 Drafted by: D.D.H./M.R. Approved by: Approver

Project/Drawing no: PD26001 - 02 Scale @A2 : As indicated Revision: 04

Accredited building practitioner: Frank Geskus - No CC246A
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LEGEND

- PROPOSED TREE - Ns, Bm
- PROPOSED SHRUB - Ru, Wn
- PROPOSED GROUNDCOVER/GRASS - Jr, LF, Ln, Mp, Ga
- LAWN
- MULCH OR SIMILAR
- CONCRETE DRIVEWAY
- FN BLACK CHAINWIRE FENCE - 1.8m HIGH + 3 STRANDS OF BARBED WIRE ON TOP = 2.2m TOTAL
- X SECURITY LIGHTS
- SB LANDSCAPING SOLAR POWERED BOLLARD LIGHTS
- KB KERB
- GP SURFACE DRAINAGE GRATED PIT, REFER HYD DRAWINGS FOR DETAILS
- WS CONCRETE WHEELSTOPS

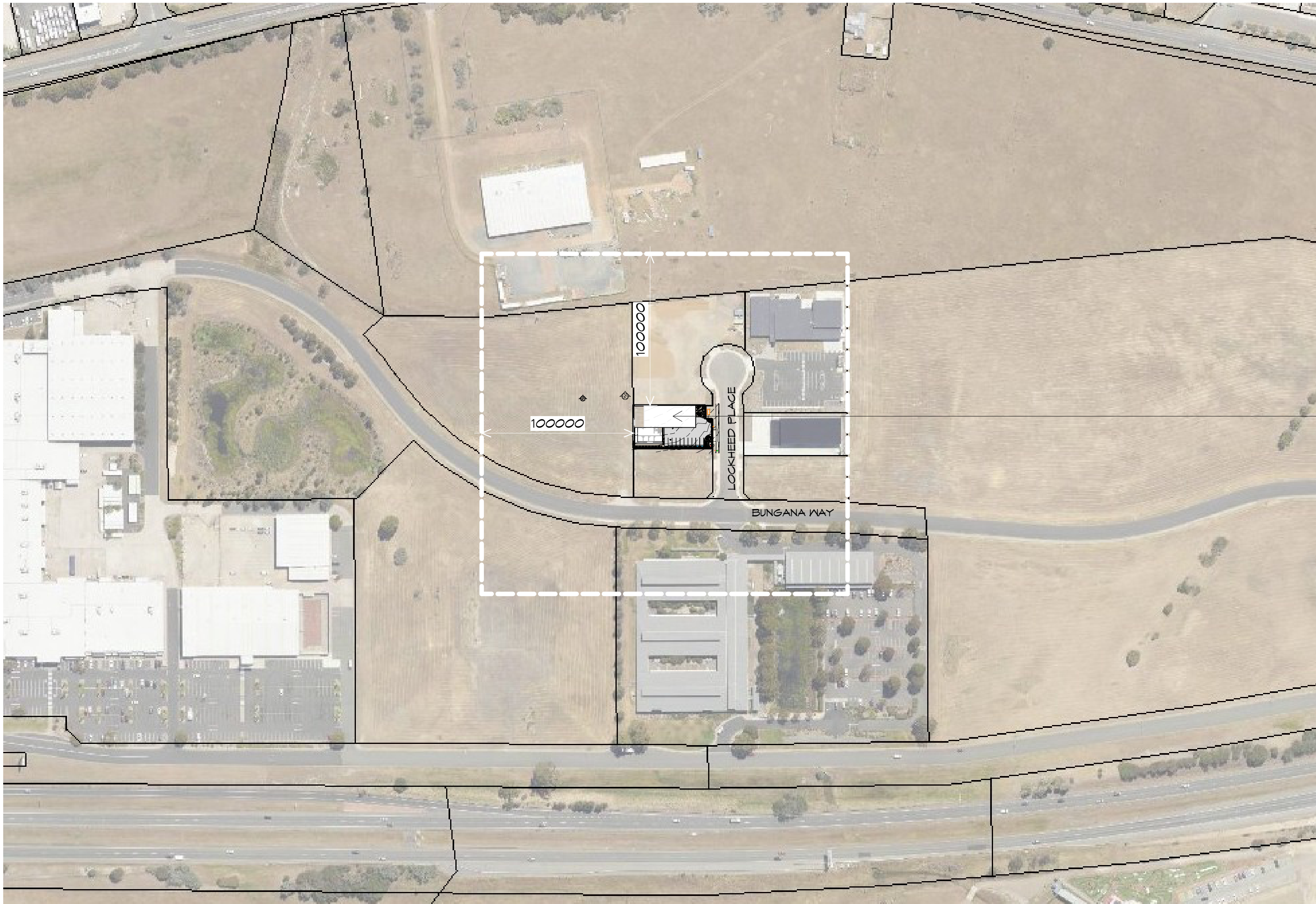
SITE COVERAGE
BUILDING FOOTPRINT 755 /SITE AREA 1412 = 0.534
TOTAL SITE COVERAGE 53.47%

IMPERVIOUS SURFACES
NON-IMPERVIOUS SURFACES 262/SITE AREA 1412= 0.185
TOTAL SITE FREE FROM IMPERVIOUS SURFACES 18.5%

NOTE:
EXTERNAL LIGHTING TO COMPLY WITH AS1158.2:2022 AND DARK SKY PRINCIPLES, DETAILS TO BE PROVIDED IN THE BUILDING APPROVAL DOCUMENTATION. ALL EXTERNAL LIGHTING TO BE CONTROLLED FOR OBTRUSIVE AND SPILL LIGHTING TO AS4282:2019

PLANTING SCHEDULE

ABB.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	POT SIZE	DENSITY	COUNT
Ga	CHRYSOCEPHALUM APICULATUM	COMMON EVERLASTING	600mm x 1000mm	75mm FORESTRY ROUNDS	1 per 1m2	
GRASSES / GROUNDCOVERS						
Jr	JUNIPERUS REPANDA'	COMMON JUNIPER	300mm x 800mm	140mm	1 per 1m2	
LF	LOMANDRA 'FROSTY TOPS'	FROSTY TOP	600mm x 600mm	140mm	3 per 1m2	
Ln	LOMANDRA 'TANKIKA'	TANKIKA	600mm x 600mm	140mm	3 per 1m2	
Mp	MYOPORIUM PARVIFOLIUM	CREEPING BOOBIALLA	300mm x 800mm	140mm	1 per 1m2	
SHRUBS						
Ru	RAPHIOLEPSIS UMBELLATA		1000mm x 1000mm	140mm	1 per 1m2	
Wn	WESTRINGIA 'NARINGA'	COASTAL ROSEMARY NARINGA	1000mm x 1000mm	140mm	1 per 1m2	
TREES						
Fn	FURUS NIVALIS 'SNOW PEAR'	SNOW PEAR	1000mm x 4000mm	300mm	-	
Ep	EUCALYPTUS PAUCIFLORA 'LITTLE SNOWMAN'	DWARF SNOWSUM	1000mm x 4000mm	250mm	-	



PROPOSED WAREHOUSE AND OFFICES
3 LOCKHEED PLACE, CAMBRIDGE

LOCALITY PLAN
1 : 2000

THIS SITE IS ZONED PARTICULAR PURPOSE AND DOES NOT FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY,
THEREFORE DOES NOT REQUIRE A BUSHFIRE ASSESSMENT.

NOT FOR CONSTRUCTION

REV.	DATE	DESCRIPTION
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Client name:
CAMBRIDGE TAS PTY LTD

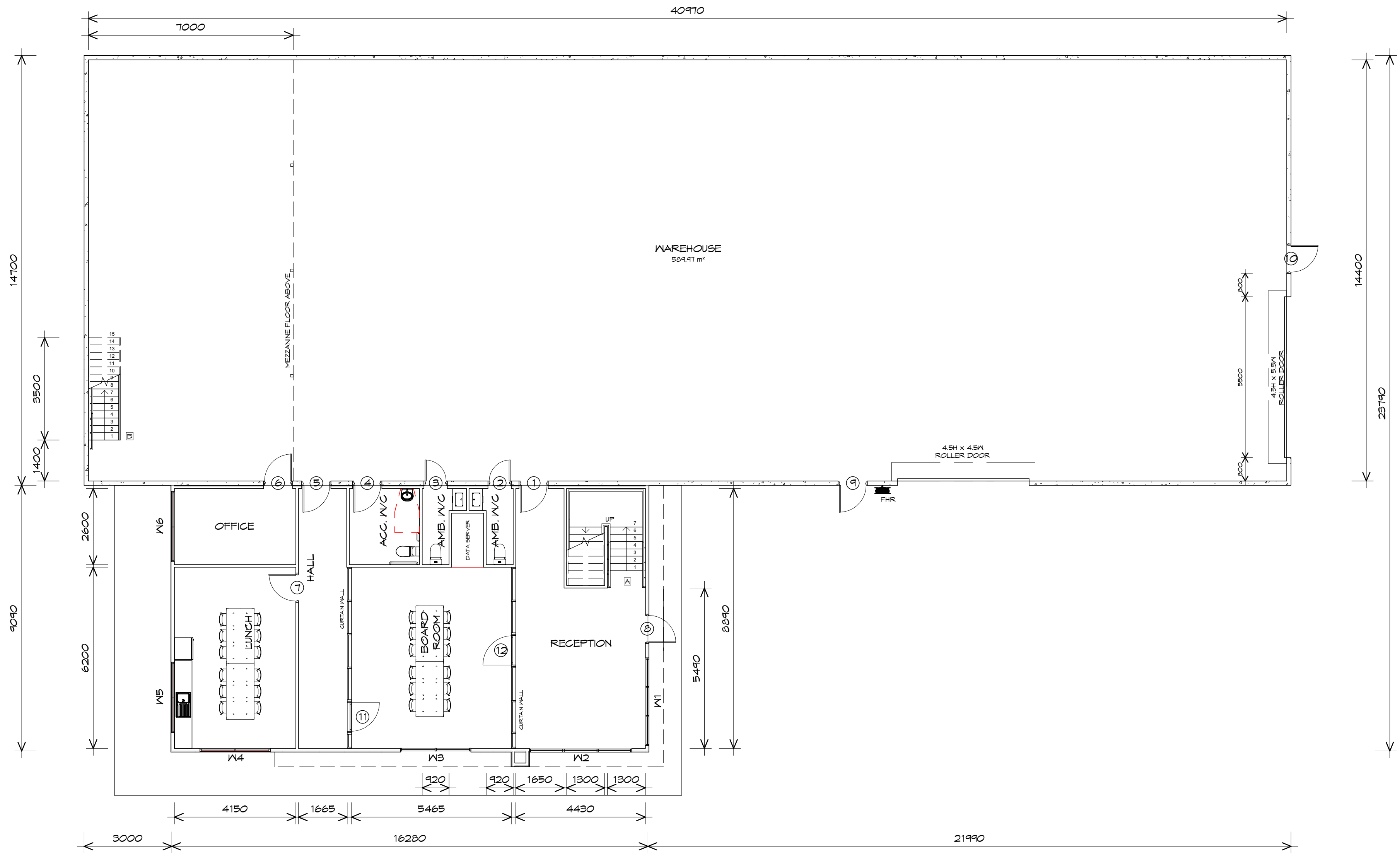
PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED WAREHOUSE & OFFICE
3 LOCKHEED PLACE,
CAMBRIDGE

Drawing:
LOCALITY PLAN

Date:	Drafted by:	Approved by:
18.05.2026	D.D.H./M.R.	Approver

Project/Drawing no:	Scale @A2 :	Revision:
PD26001 - 03	1 : 2000	04



GROUND FLOOR PLAN

1 : 100

WAREHOUSE AREA	594.70	m2	(64.01	SQUARES)
GROUND FLOOR OFFICE AREA	150.39	m2	(16.19	SQUARES)
MEZZANINE FLOOR AREA	104.80	m2	(11.28	SQUARES)
FIRST FLOOR OFFICE AREA	151.30	m2	(16.29	SQUARES)
TOTAL AREA	1001.18		107.77	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING, UNLESS OTHERWISE STATED. OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GENERAL NOTES

- CONTINUOUS ACCESSIBLE PATHS OF TRAVEL TO BE 1000mm MINIMUM CLEAR UNOBSTRUCTED WIDTH TO COMPLY WITH AS1428.1
- DOOR OPENINGS TO MAINTAIN 850mm CLEAR MIN.
- LOOSE FURNITURE & JOINERY TO CLIENTS SPECS. U.N.O.
- ALL WORKSTATION LOCATIONS TO BE POSITIONED ON-SITE PRIOR TO INSTALLATION OF CABLING FOR CLIENTS APPROVAL.

NOT FOR CONSTRUCTION

REV. DATE DESCRIPTION

Client name:
CAMBRIDGE TAS PTY LTD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED WAREHOUSE & OFFICE
3 LOCKHEED PLACE,
CAMBRIDGE

Drawing:
GROUND FLOOR PLAN

STAIRS

STAIR	NO RISERS	RISER HT	TREAD DEPTH
A	16	178	250
B	15	190	250

NON SLIP TO COMPLY NCC 2022

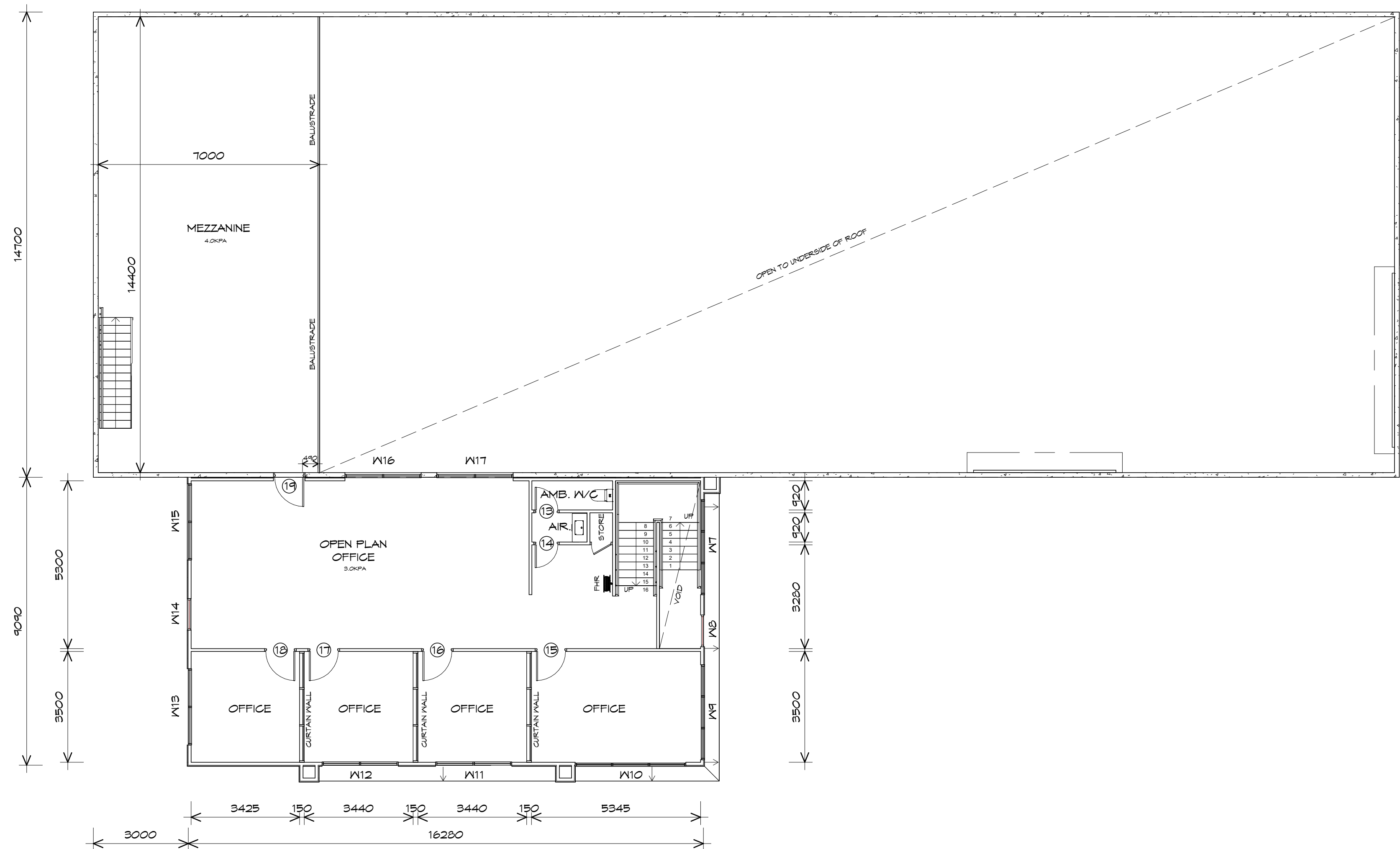
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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 18.05.2026
Drafted by: D.D.H./M.R.
Approved by: Approver

Project/Drawing no: PD26001 - 04
Scale @A2 : 1 : 100
Revision: 04

Accredited building practitioner: Frank Gekus - No CC246A
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FIRST FLOOR PLAN

1 : 100

WAREHOUSE AREA	594.70	m2	(64.01	SQUARES)
GROUND FLOOR OFFICE AREA	150.39	m2	(16.19	SQUARES)
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STAIRS

STAIR	No RISERS	RISER HT	TREAD DEPTH
A	16	178	250
B	15	190	250

NON SLIP TO COMPLY NCC 2022

NOT FOR CONSTRUCTION

REV. DATE DESCRIPTION

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CAMBRIDGE TAS PTY LTD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED WAREHOUSE & OFFICE
3 LOCKHEED PLACE,
CAMBRIDGE

Drawing:
FIRST FLOOR PLAN

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ASSOCIATION OF AUSTRALIA

Date: 18.05.2026
Drafted by: D.D.H./M.R.
Approved by: Approver

Project/Drawing no: PD26001 - 05
Scale @A2 : 1 : 100
Revision: 04

Accredited building practitioner: Frank Geskus - No CC246A
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GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	INTERNAL TIMBER DOOR	
2	720	INTERNAL TIMBER DOOR	
3	720	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	920	EXTERNAL SOLID DOOR	
6	920	INTERNAL TIMBER DOOR	
7	920	INTERNAL TIMBER DOOR	
8	920	GLAZED EXTERNAL DOOR	
9	920	EXTERNAL SOLID DOOR	
10	920	EXTERNAL SOLID DOOR	
11	980	FRAMED GLASS DOOR	
12	1000	FRAMED GLASS DOOR	

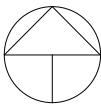
GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2100	3000	FIXED WINDOW	3-PANEL, COMMERCIAL
W2	2100	3500	FIXED WINDOW	3-PANEL, COMMERCIAL
W3	2100	2410	FIXED WINDOW	2-PANEL, COMMERCIAL
W4	1200	2410	AWNING WINDOW	
W5	1200	2410	AWNING WINDOW	
W6	1200	2410	AWNING WINDOW	

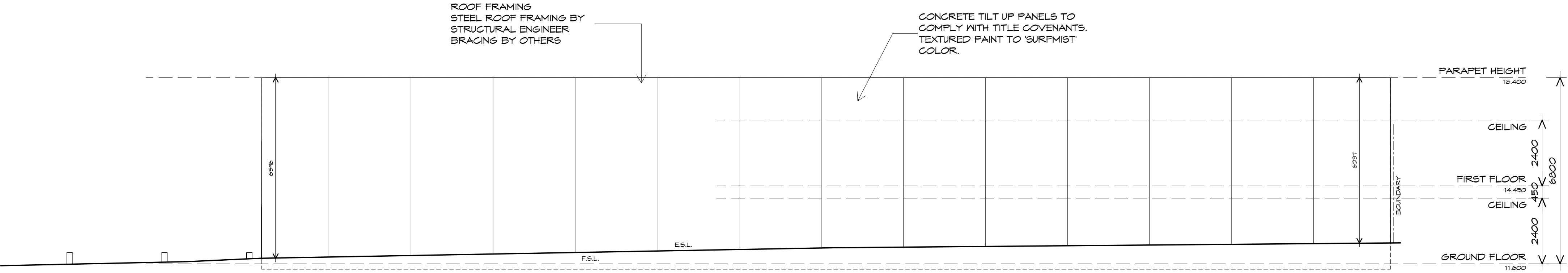
ALUMINIUM WINDOWS ??? GLAZING COMPLETE
WITH FLY SCREENS TO SUIT ??? BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

NOTE:
ALL DOORS WITH LOCKS TO BE KEYED
TO BUILDING OWNERS SPEC & MASTER
KEY SYSTEM.

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
13	720	INTERNAL TIMBER DOOR	
14	720	INTERNAL TIMBER DOOR	
15	920	INTERNAL TIMBER DOOR	
16	920	INTERNAL TIMBER DOOR	
17	920	INTERNAL TIMBER DOOR	
18	920	INTERNAL TIMBER DOOR	
19	920	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W7	2100	3000	FIXED WINDOW	
W8	2100	1000	FIXED WINDOW	
W9	2100	3000	FIXED WINDOW	
W10	2100	3500	FIXED WINDOW	
W11	2100	2410	FIXED WINDOW	
W12	2100	2410	FIXED WINDOW	
W13	2100	2410	FIXED WINDOW	
W14	2100	1000	FIXED WINDOW	
W15	2100	2410	FIXED WINDOW	
W16	1500	2410		
W17	1500	2410		

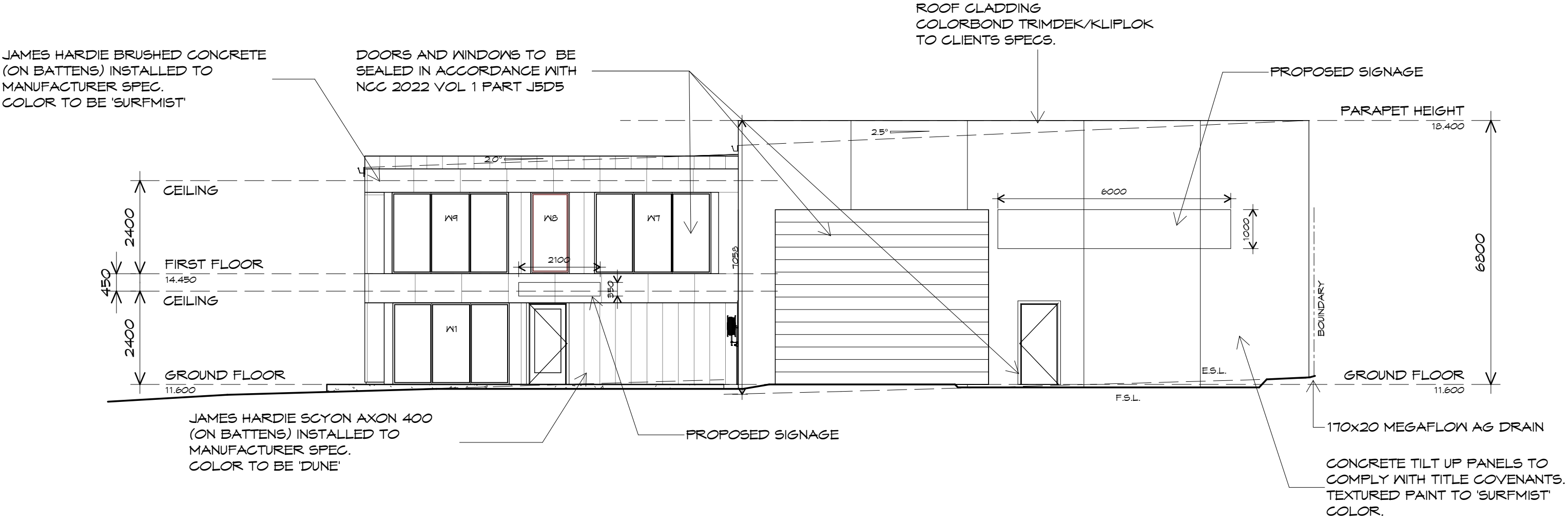




NORTHERN ELEVATION
1 : 100



FIGURE - PROPOSED BUILDING FASCIA SIGNAGE (TYPICAL)
ALUMINIUM C/W VINYL STICKER - NON ILLUMINATED
REFER TO ELEVATIONS FOR INDIVIDUAL SIZING



EASTERN ELEVATION
1 : 100



NOT FOR CONSTRUCTION

REV.	DATE	DESCRIPTION

Client name:
CAMBRIDGE TAS PTY LTD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED WAREHOUSE & OFFICE
3 LOCKHEED PLACE,
CAMBRIDGE

Drawing:
ELEVATIONS

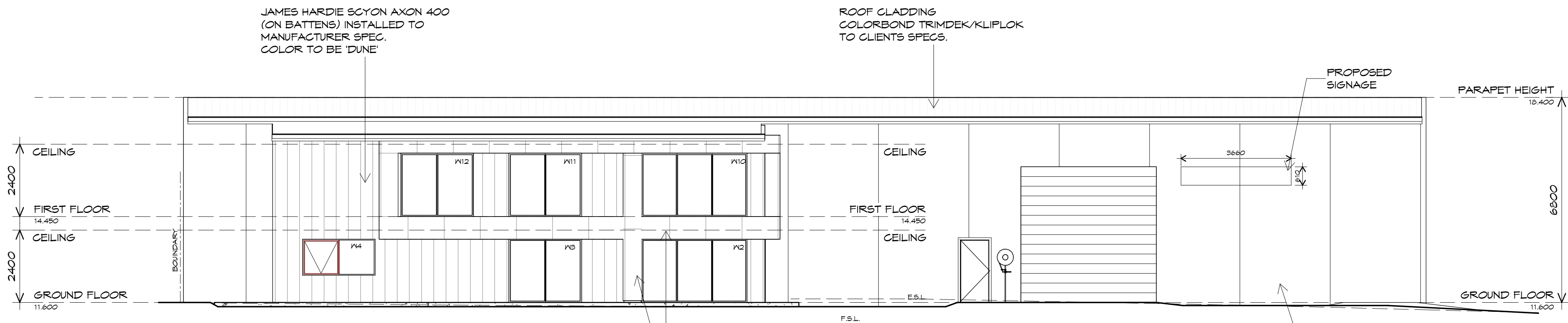


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Date:	Drafted by:	Approved by:
18.05.2026	D.D.H./M.R.	Approver

Project/Drawing no:	Scale @A2 :	Revision:
PD26001 - 07	1 : 100	04

Accredited building practitioner: Frank Gekus - No CC246A
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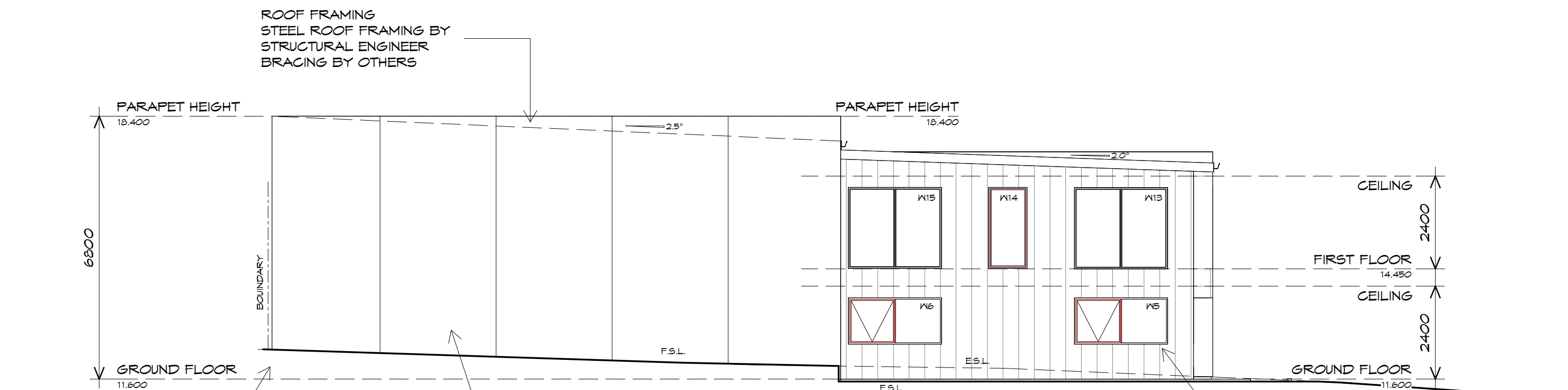


SOUTHERN ELEVATION

1 : 100

JAMES HARDIE BRUSHED CONCRETE (ON BATTENS) INSTALLED TO MANUFACTURER SPEC. COLOR TO BE 'SURFMIST'

CONCRETE TILT UP PANELS TO COMPLY WITH TITLE COVENANTS. TEXTURED PAINT TO 'SURFMIST' COLOR.



WESTERN ELEVATION

1 : 100

CONCRETE TILT UP PANELS TO COMPLY WITH TITLE COVENANTS. TEXTURED PAINT TO 'SURFMIST' COLOR.

JAMES HARDIE SCYON AXON 400 (ON BATTENS) INSTALLED TO MANUFACTURER SPEC. COLOR TO BE 'DUNE'



ROOF PLAN
1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
AS3500.3
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH AS3500.3
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO COMPLY WITH
NCC 2022 VOL 1 F3 D2 & A.S. 1562.1

NOT FOR CONSTRUCTION

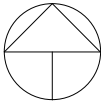
REV.	DATE	DESCRIPTION
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Client name:
CAMBRIDGE TAS PTY LTD

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED WAREHOUSE & OFFICE
3 LOCKHEED PLACE,
CAMBRIDGE

Drawing:
ROOF PLAN



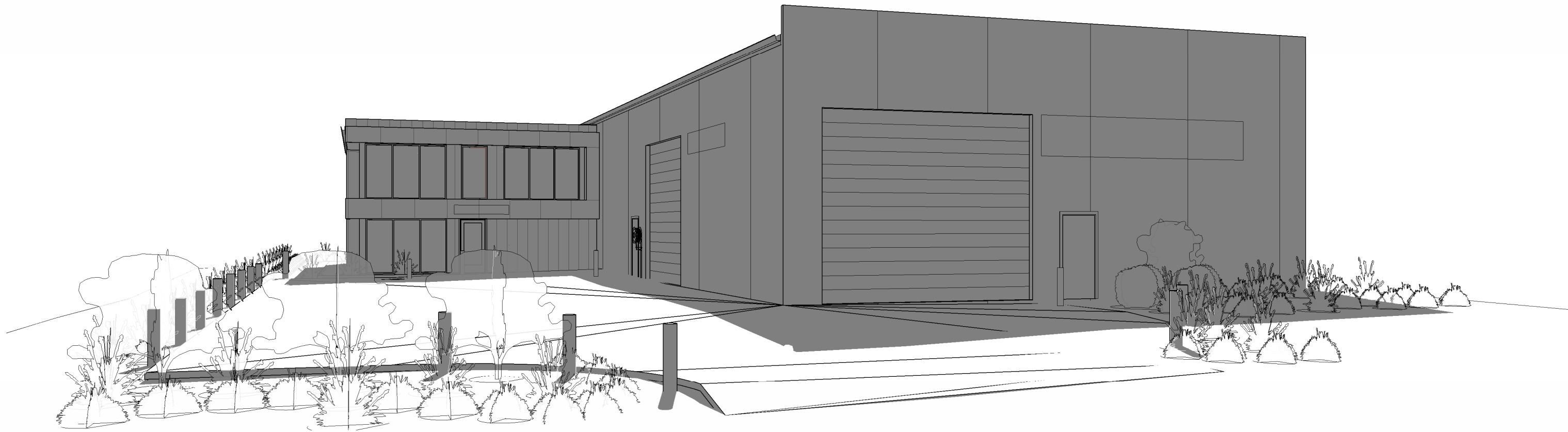
Date:	Drafted by:	Approved by:
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18.05.2026	D.D.H./M.R.	Approver
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Project/Drawing no:	Scale @A2 :	Revision:
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Traffic Impact Statement



New Warehouse and Office
3 Lockheed Place, Cambridge



Hubble Traffic

June 2026

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Version	Date	Reason for Issue
Draft	June 2026	Draft issued for client feedback
Final	June 2026	Final Issued

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1. Introduction

SJM Property Developments engaged Hubble Traffic to prepare an independent Traffic Impact Statement to assess the parking implications of a proposed warehouse and office development at 3 Lockheed Place, Cambridge.

A development application has been lodged with the Clarence City Council (Council). As part of their assessment, Council has requested additional information to specifically address Clause C2.5.1 – Car Parking Numbers of the Tasmanian Planning Scheme. This statement provides a direct response to that request.

This report has been prepared in accordance with the requirements of Austroads Guide to Traffic Management Part 12: Traffic Impacts of Developments (2019) and refers to the following relevant documents:

- Tasmanian Planning Scheme (Clarence)
- The LIST – Land Information System Tasmania (LIST)

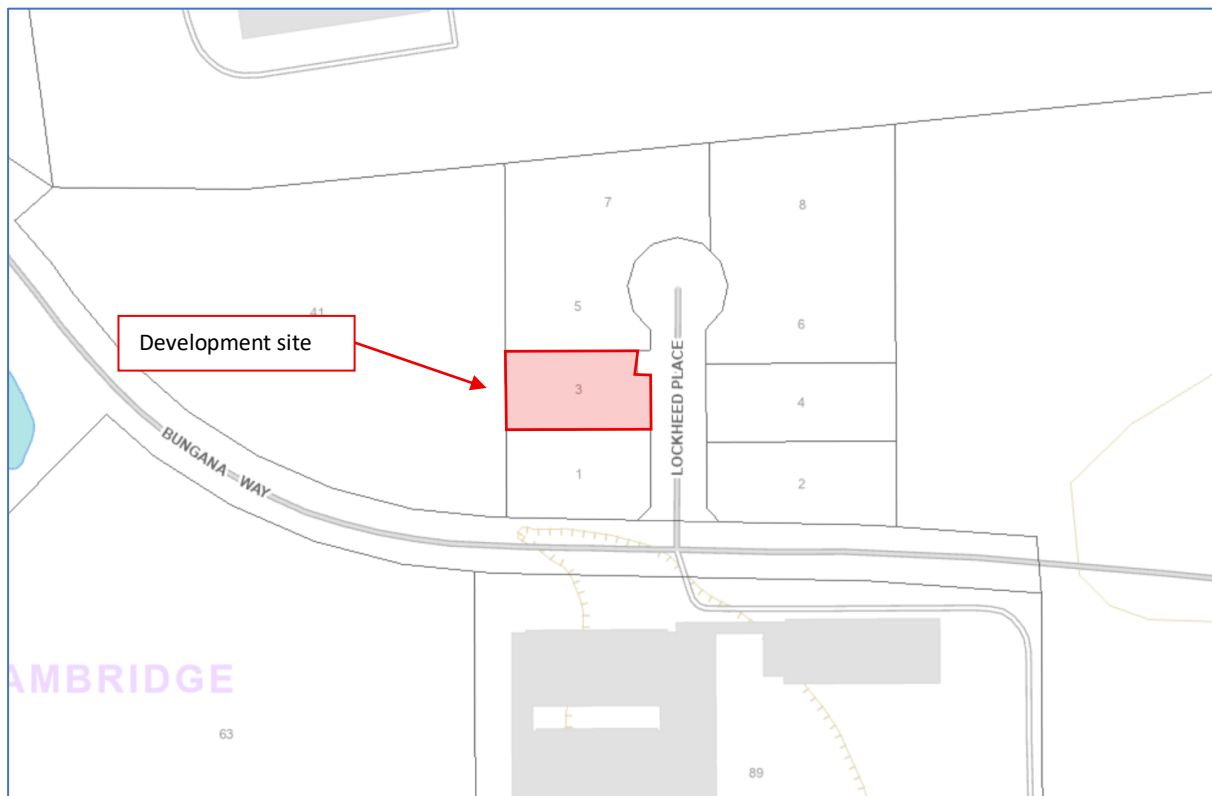
2. Site description

The development site, located at 3 Lockheed Place, Cambridge, comprises an undeveloped parcel of land with an existing concrete crossover to Lockheed Place.

According to the Land Information System Tasmania (LIST), the site is situated within a Particular Purpose Zone and forms part of an established light industrial area, where surrounding industrial and commercial uses define the character and function of the precinct.

Under the Clarence Local Provisions Schedule, the land is zoned Particular Purpose Zone – Cambridge Commercial. This zoning is intended to accommodate bulky goods retailing, campus style office development, and other out-of-centre commercial activities.

Diagram 2.0 – Extract from LIST Database



The development will be supported by 11 on-site car parking spaces, including two spaces located within the warehouse. The existing concrete crossover to Lockheed Place will be relocated further north to maximise the efficiency of the on-site parking layout.

The site plan for Lockheed Place shows a large rectangular lot with a boundary of 47.91 m. The proposed warehouse and office building has a footprint of 11,600 sqm. The lot is divided into several sections, including a central area labeled 'CONC 415mm2' and a smaller area labeled 'BCL'. The plan also shows existing structures, including a 'POWER BUS STATION' and a 'TELETRA CONN.'. The lot is bounded by a 'BOUNDARY 20.00 m' on the left and a 'BOUNDARY 51.91 m' on the bottom. The plan includes various engineering details, such as 'STORMWATER LOT CONNECTION' and 'POWER CABLE'. The title block indicates the title is 'REF 181251/23' and the lot size is '1,412m2'.

PROPOSED WAREHOUSE & OFFICE
FFL: 11,600

LOCKHEED PLACE

DATUM 2: AL RIVET
RL: 11,415

DATUM 1: NAIL IN CONC
RL: 10.89

TITLE REF 181251/23
LOT SIZE: 1,412m2

4. Parking assessment as per the Planning Scheme

Table C2.1 of the Planning Scheme specifies the number of on-site car parking spaces required based on the type of land use. The proposed development comprises two use classes. The Bulky Goods Sales use, excluding motor vehicle, boat or caravan sales and retail plant nursery, requires one parking space per 50 m² of floor area. The Office use requires one parking space per 40 m² of floor area.

Based on the proposed floor areas of the warehouse and office area, the development is required to provide a total of 20 on-site car parking spaces to satisfy the planning provisions.

It is not practical for the site to accommodate the full parking requirement without compromising the functional operation of the business, or the provision of suitable landscaping. As a result, the development will provide 11 on-site parking spaces, which is considered sufficient to meet the anticipated operational demand. As the proposal does not comply with the Acceptable Solution, it must be assessed against Performance Criterion P1.1 of Clause C2.5.1.

Table 4.0 – Planning scheme parking requirements

Activity	Use	Planning scheme requirements	Floor area	Number of parking spaces
Warehouse	Bulky Goods Sales	One space per 50 m ² of floor area	700m ²	14
Office	Business and Professional Services	One space per 40 m ² of floor area	238m ²	6
Total				20

5. Predicted actual car parking demand

The Planning Scheme parking rates are generic in nature, do not account for the operational characteristics of specialised wholesale and assembly-based businesses. For this proposal, a first-principles assessment provides a more accurate indication of actual parking demand, based on employee numbers, delivery activity and the expected frequency of customer or visitors.

The operator has advised that the business will typically employ up to nine staff on site at any one time, comprising six warehouse employees and three office staff. On the conservative assumption that all employees travel by private vehicle, the daily employee parking demand is estimated at nine spaces.

Delivery activity is limited, with two inbound deliveries per day and an average of one outbound delivery per week. The largest vehicle anticipated is a medium rigid vehicle, and the warehouse layout allows all loading and unloading to occur internally. Delivery vehicles do not remain on site and therefore do not generate any additional parking demand. They operate solely within the internal loading areas and do not occupy the on-site parking spaces.

The business model is wholesale-based, with all sales and distribution occurring off-site. Customer or visitor activity is therefore infrequent. To ensure a conservative assessment, an allowance of one visitor or customer vehicle has been included.

Based on these operational characteristics, the predicted parking demand is nine spaces under typical conditions, increasing to a maximum of ten spaces when a visitor is present. The provision of 11 on-site parking spaces therefore exceeds the expected operational requirement and provides a modest buffer for occasional fluctuations in activity, and minimise parking overflow. This demonstrates that the proposed parking supply is sufficient to meet the reasonable needs of the use, consistent with the intent of Performance Criteria P1.1 of Clause C2.5.1.

6. Lockheed Place

Lockheed Place operates under the urban default speed limit of 50 km/h and functions as a local access road within the surrounding industrial network. The road extends approximately 100 metres north from Bungana Way before terminating in a cul-de-sac, providing no through traffic. It features a straight horizontal alignment and a gentle uphill grade from Bungana Way.

The road has been constructed to a typical urban standard, with a bitumen sealed surface, concrete kerb and channel, footpaths on both sides, and street lighting. The carriageway has an average width of approximately 11 metres, consistent with standard requirements for a local industrial road.

This width allows for on-street parking on both sides while maintaining two-way traffic flow. Applying a parallel parking length of 6.7 metres, in accordance with Table C2.3 of the Planning Scheme, Lockheed Place can accommodate ten on-street parking spaces, excluding the cul-de-sac. These spaces are illustrated in the diagram below and account for the proposed relocation of the site crossover slightly further to the north.

Diagram 6.0 – Extract of Lockheed Place from Landchecker



7. Current on-street parking demand

7.1 Existing developments

Lockheed Place was constructed to serve eight lots; however, two pairs of lots have been combined (Lots 6 and 8, and Lots 5 and 7), resulting in six developable sites capable of generating traffic and on-street parking demand. Of these six sites, four are currently developed and generating traffic, while one lot remains undeveloped (excluding the subject site).

The two combined lots accommodate the largest land parcels within Lockheed Place and therefore represent the highest-intensity generators of traffic and parking demand. In contrast, the remaining undeveloped lot is relatively small and will generate materially lower activity once developed. The development on the combined Lots 5 and 7 comprises three warehouse tenancies, with two currently operating and one unoccupied. Recent site inspections confirm that the on-site parking supply for these tenancies is not fully utilised, with spare capacity available to accommodate the unoccupied warehouse once it becomes operational.

The development on the combined Lots 6 and 8 includes a substantial on-site parking module.

7.2 On-street parking demand

In quantifying the demand for on-street parking generated by the existing developments, patrolled parking surveys were undertaken on Friday 29 May at 10:30 am and 12:30 pm, and again on Wednesday 17 June at 2:00 pm. Two vehicles were observed during the Wednesday survey, one vehicle during the first May survey, and no vehicles during the second May survey.

These observations confirm that on-street parking demand along Lockheed Place is extremely low, with substantial spare kerbside capacity available during typical weekday operating periods. This outcome is expected, as the two largest lots, being the primary generators of activity, provide extensive on-site parking, with recent inspections confirm that this supply is not fully utilised.

Given that the majority of the street is already developed and operating, and that the largest and most intensive sites are accommodated on substantial land parcels with their own on-site parking, there is little evidence of overflow parking demand. The survey results are therefore considered representative of the bulk parking demand likely to occur along the street, with ample capacity available to accommodate any occasional short-term visitor parking if required.

The three following photographs demonstrates the on-street parking demand during the recent patrolled parking surveys.

Photograph 7.2A – Lockheed Place, 29 May 2026 at 10:30 am



Photograph 7.2B – Lockheed Place, 29 May 2026 at 12:30 pm



Photograph 7.2C – Lockheed Place 17 June 2026 at 2pm



8. Impact of parking demand from development

Based on the information provided by the operator, the development is not expected to adversely affect other businesses within the area. The site will accommodate its own parking demand, with 11 on-site spaces provided compared with an estimated typical daily requirement of nine.

Although the business is not anticipated to attract customers or visitors on a regular basis, the parking layout allows for up to two spare spaces to remain available during normal operations. Should a visitor attend the site during peak staff occupancy, they may also utilise the on-street parking supply on Lockheed Place, which has been observed to be largely unoccupied. The combination of adequate on-site provision and very low existing on-street parking demand ensures that the proposal will not place pressure on parking resources within the street.

The development will not alter traffic circulation or street conditions, and the wholesale-assembly business model inherently generates low levels of visitor activity, further limiting any potential impact on on-street parking demand.

9. Planning scheme

9.1 C2.5.1 Car parking numbers

The development is expected to generate a typical daily parking demand of nine vehicles, increasing to a maximum of ten when a visitor is present. The provision of 11 on-site spaces therefore exceeds the anticipated requirement and provides a modest operational buffer. The lot is relatively small, and the available area makes it difficult to increase parking supply without compromising the functional needs of the business or reducing the efficiency of the building layout. Additional parking is not necessary to meet operational demand and would represent an inefficient use of the limited developable land.

Parking surveys confirm that on-street demand along Lockheed Place is extremely low, with substantial spare kerbside capacity available during weekday operating periods. Existing businesses accommodate their parking needs on site without generating overflow demand, and the wholesale-assembly business model generates very low levels of customer visitation, ensuring minimal reliance on-street parking.

Collectively, these factors demonstrate that the proposed parking provision is sufficient to meet the reasonable needs of the development and will not adversely affect parking availability within the surrounding area, thereby satisfying Performance Criterion P1.1.

Performance criteria	Assessment
The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:	
a) the availability of off-street public car parking spaces within reasonable walking distance to the site;	None.
b) the ability of multiple users to share spaces because of: (i) Variations in car parking demand over time; or (ii) Efficiencies gained by consolidation of car parking spaces;	Parking on the site will be shared between employees associated with both the warehouse and office components. Based on the estimated demand, up to two spaces are expected to remain available under typical operating conditions, enabling a visitor or customer vehicle to be accommodated on site if required.
c) the availability and frequency of public transport within reasonable walking distance of the site;	Public bus stops are located on Bungana Way on both sides of the junction with Lockheed Place, within approximately 100 metres of the development site. According to the State Growth website, services operate at an hourly frequency, providing an alternative mode of transport.
d) the availability and frequency of other transport alternatives;	The development site is located within the Cambridge light industrial precinct, separated from any residential catchments, and there are no practical alternative transport options available for employees or visitors.

e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;	Above ground sub-station.
f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;	Lockheed Place has been constructed to a typical urban standard, with an average road width of approximately 11 metres, consistent with a local industrial road. This width accommodates on-street parking on both sides while maintaining two-way traffic flow. Overall, the road can accommodate up to ten on-street parking spaces, excluding the cul-de-sac.
g) the effect on streetscape; and	None.
h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.	Under typical operating conditions, the development is estimated to generate a parking demand of nine vehicles. The provision of 11 on-site car parking spaces will accommodate this demand without generating any reliance on parking external to the site. While the business is not expected to attract customers or visitors on a regular basis, sufficient on-site capacity is available to accommodate any that do attend. On-street parking on Lockheed Place is also available and has been observed to have substantial spare capacity.

10. Conclusion

The assessment confirms that the provision of 11 on-site car parking spaces is sufficient to accommodate the reasonable parking demand generated by the development without resulting in overflow parking onto Lockheed Place.

The development is expected to generate a typical daily parking demand of nine vehicles, primarily associated with employees, and the business model does not attract customers or visitors on a regular basis. Up to two on-site spaces are expected to remain available during normal operations, providing capacity for any occasional visitor.

In addition, on-street parking along Lockheed Place has been observed to have very low utilisation, ensuring that any infrequent visitor parking can be readily absorbed without affecting other businesses. The combination of adequate on-site provision, low visitor demand, and substantial spare on-street parking capacity demonstrates that the proposal will not place pressure on parking resources within the street.

Based on the operational information and the observed parking conditions, the proposed parking supply meets the reasonable needs of the use and satisfies Performance Criterion P1.1 of Clause C2.5.1.