



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061110

PROPOSAL: Two Multiple Dwellings

LOCATION: 14 Enchantress Street, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 05/08/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 05/08/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 05/08/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Multiple Dwellings - 2 New Class 1a Dwellings

Location:

Address 14 Enchantress Street

Suburb/Town Rokeby

Postcode 7019

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Estimated cost of development

\$000,000

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

N/A

Current Use of Site: Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 183235	FOLIO 106
EDITION 2	DATE OF ISSUE 18-Mar-2025

SEARCH DATE : 20-July-2026

SEARCH TIME : 10.34 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 106 on Sealed Plan [183235](#)

Derivation : Part of Lot 38079, 23.74ha Gtd. to The Director-General of Housing and Construction

Prior CT [182966/1](#)

SCHEDULE 1

[C278683](#) TRANSFER to ROBERT STUART HOWIE Registered
22-Mar-2001 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP183235](#) EASEMENTS in Schedule of Easements

[SP183235](#) COVENANTS in Schedule of Easements

[SP183235](#) FENCING PROVISION in Schedule of Easements

[SP170412](#), [SP175718](#), [SP178636](#) & [SP182135](#) COVENANTS in Schedule of Easements

[SP170412](#), [SP175718](#), [SP178636](#) & [SP182135](#) FENCING PROVISION in Schedule of Easements

[SP160867](#) FENCING COVENANT in Schedule of Easements

[E407873](#) MORTGAGE to Commonwealth Bank of Australia
Registered 18-Mar-2025 at noon

UNREGISTERED DEALINGS AND NOTATIONS

N234411 PRIORITY NOTICE reserving priority for 90 days
D/MORTGAGE Commonwealth Bank of Australia to Robert Stuart Howie
TRANSFER Robert Stuart Howie to Jay Mark-John Daft and Alex Michael Bresnehan
MORTGAGE Jay Mark-John Daft and Alex Michael Bresnehan to ANZ Banking Group Limited Lodged by HWL EBSWORTH on 25-May-2026 BP: N234411
E463452 MORTGAGE to Australia and New Zealand Banking Group Limited Lodged by DYE & DURHAM (ANZ) on 30-June-2026 BP: N249939

- N234408 TRANSFER to JAY MARK-JOHN DAFT and ALEX MICHAEL
BRESNEHAN as tenants in common in equal shares
Lodged by DYE & DURHAM (ANZ) on 30-June-2026 BP:
N249939
- N249939 DISCHARGE OF MORTGAGE [E407873](#) Lodged by DYE & DURHAM
(ANZ) on 30-June-2026 BP: N249939

SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 183235
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PAGE 1 OF 7 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

1. EASEMENTS

1.1 Lots 101 and 102

Lots 101 and 102 on the Plan are subject to a Right of Drainage in favour of Clarence City Council and TasWater over the land marked 'DRAINAGE EASEMENT 2.50 WIDE (SP.160867)' shown on the Plan.

1.2 Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202

- (a) Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202 are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P.128957)' shown on the Plan ("the Easement Land").
- (b) Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202 are subject to a Pipeline Easement in favour of Clarence City Council and TasWater over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P.128957)' on the Plan and as created by and more fully set forth in Sealed Plan 178636.
- (c) Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202 are subject to a Pipeline Right in favour of Clarence City Council over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P.128957)' shown on the Plan as more fully set forth in C88284.

Signed by **R S Howie:**



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Robert Stuart Howie FOLIO REF: 182966/1 SOLICITOR & REFERENCE: Curtis Browne - 190508	PLAN SEALED BY: Clarence City Council DATE: 21st June 2022 SD-2008/48 REF NO. Stage 4, 5 & 6 Council Delegate Clare Shea
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP. 183235
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1.3 Lot 123

Lot 123 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over those areas of land marked 'DRAINAGE EASEMENT 4.00 WIDE' and 'DRAINAGE EASEMENT VARIABLE WIDTH (SP.170412)' shown on the Plan.

1.4 Lot 125

- (a) Lot 125 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & DRAINAGE EASEMENT 3.00 WIDE (SP.170412)' shown on the Plan ("the Easement Land").
- (b) Lot 125 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'PIPELINE & DRAINAGE EASEMENT 3.00 WIDE (SP.170412)' shown on the Plan.

1.5 Lots 126, 127, 128 & 129

- (a) Lots 126, 127, 128 & 129 are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 3.00 WIDE' shown on the Plan ("the Easement Land").
- (b) Lots 126, 127, 128 & 129 are subject to a Right of Drainage in favour of Clarence City Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan.

1.6 Lots 129, 130, 131, 132, 134, 138, 202 and 900

Lots 129, 130, 131, 132, 134, 138, 202 and 900 are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 3.00 WIDE (SP.182135)' shown on the Plan ("the Easement Land").

1.7 Lot 130

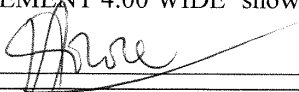
- a) Lot 130 is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 2.50 WIDE' shown on the Plan ("the Easement Land").

1.8 Lot 131

- b) Lot 130 is subject to a Right of Drainage in favour of Clarence City Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan

Lot 131 is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'DRAINAGE EASEMENT 4.00 WIDE' shown on the Plan.

Signed by **R S Howie**:



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

18/5/22
 Curtis Rankin-Bourne
 Solicitor for the Vendor

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP. 183235
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1.9 Lot 132

Lot 132 is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'DRAINAGE EASEMENT VARIABLE WIDTH' shown on the Plan.

1.10 Lot 134

Lot 134 is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 3.00 WIDE' shown on the Plan ("the Easement Land").

1.11 Lots 150 and 900

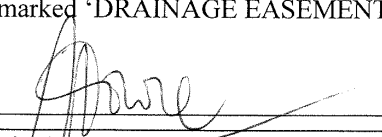
- (a) Lots 150 and 900 on the Plan are subject to a Right of Drainage in favour of Clarence City Council over the area marked 'DRAINAGE EASEMENT VARIABLE WIDTH (SP.182135)' shown on the Plan.
- (b) Lots 150 and 900 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH (SP.182135)' shown on the Plan ("the Easement Land").

1.12 Lot 152

Lot 152 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE EASEMENT 2.50 WIDE (SP.170412)' shown on the Plan ("the Easement Land").

1.13 Lot 202

- (a) Lot 202 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT "A", "B" & "C" 2.50 WIDE (SP.175718)', 'PIPELINE & SERVICES EASEMENT "C" 3.00 WIDE (SP.175718)' and 'PIPELINE & SERVICES AND DRAINAGE EASEMENT VARIABLE WIDTH (SP.175718)' shown on the Plan ("the Easement Land").
- (b) Lot 202 on the Plan is subject to an Electricity Infrastructure Easement in favour of Hydro-Electric Corporation over the land marked 'ELECTRICITY INFRASTRUCTURE EASEMENT 6.00 WIDE' on the Plan, more particularly set forth in C100545.
- (c) Lot 202 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'DRAINAGE EASEMENT 4.50 WIDE' shown on the Plan.

Signed by **R S Howie**: 

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP. 183235
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- (d) Lot 202 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of Clarence City Council over the 'PIPELINE & SERVICES AND DRAINAGE EASEMENT VARIABLE WIDTH (SP.175718)' shown on the Plan.

2. COVENANTS

- 2.1 Each lot on the Plan is subject to restrictive covenants as more fully set out in SP170412 in relation to which the Vendor (**Robert Stuart Howie**) retains the right to modify, vary, waive or extinguish each or any of the covenants set out therein.

2.2 Additional covenants

The owner of each and every lot on the Plan (other than Lots 201 and 202) covenant with the Vendor (Robert Stuart Howie) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every other lot shown on the plan to observe the following stipulations: -

- Not to erect or place or permit to be erected or placed upon the lot a dwelling having a total floor area of less than 130m² exclusive of any vehicle accommodation, external landings, patios and outbuildings.

Provided that the Vendor (Robert Stuart Howie) shall have the right to modify, vary, waive or extinguish each and every covenant set forth above.

3. FENCING PROVISION

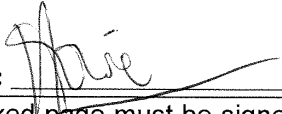
In respect of each lot on the Plan the Vendor **Robert Stuart Howie** shall not be required to fence.

4. INTERPRETATION

"Pipeline and Services Easement" means:

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- 4.1 enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- 4.2 investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;

Signed by **R S Howie**: 

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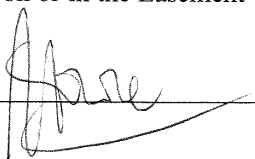
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP. 18 3235
SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 182966/1	

- 4.3 install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- 4.4 remove and replace the Infrastructure;
- 4.5 run and pass sewage, water and electricity through and along the Infrastructure;
- 4.6 do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- 4.7 if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- 4.8 use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;

Signed by **R S Howie**:



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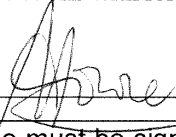
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP. 183235
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- (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
- (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media
- (e) (excluding telemetry and monitoring devices);
- (f) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;

Signed by **R S Howie**: 

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 183235
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- (g) anything reasonably required to support, protect or cover any of the Infrastructure;
- (h) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (i) where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water and Sewerage Corporation Pty Limited ABN 47162 220 653, trading TasWater, established under the provisions of the water and Sewerage Corporations Act 2008 (Tas).

“Pipeline Easement” means the full and free right of every person (Dominant Owner) who is entitled to an estate or interest in possession indicated as the dominant tenement or any part of it, with which that right will be capable of enjoyment in common with the owner of the servient tenement to lay, use and maintain forever water mains and pipes of such size and number as shall from time to time be required in the strip of land shown on the plan and marked “pipeline Easement” (Servient Land) and for the Dominant Owner and their employees, agents and contractors from time to time and at all times to enter into and upon the Servient Land or any part of it bringing upon the Servient Land such material, machinery and other things as it considered fit and proper to inspect the condition of the mains and pipes and to repair, alter, amend and cleanse PROVIDED HOWEVER that any damage occasioned in doing so will be made good.

5. EXECUTION

Signed by **Robert Stuart Howie**

Witness Signature.....

Witness Name (in full) **Curtis Franklin Browne**.....

Legal Practitioner

Witness Address..... **Simmons Wolfhagen**.....

Level 4, 99 Bathurst Street

Witness Occupation..... **Hobart TAS 7000**.....

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OWNER: R.S.HOWIE FOLIO REFERENCE: CT.182966/1 GRANTEE: PART OF LOT 38079 (23.74ha) GRANTED TO THE DIRECTOR-GENERAL OF HOUSING AND CONSTRUCTION	PLAN OF SURVEY BY SURVEYOR: N. D. LEARY of LEARY, COX & CRIPPS SURVEYORS Unit G04/40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@ccsurvey.com LOCATION: CITY OF CLARENCE SCALE 1:3000 LENGTHS IN METRES	REGISTERED NUMBER SP183235 APPROVED EFFECTIVE FROM - 7 JUL 2022 <i>Ren</i> Recorder of Titles
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INDEX SHEET PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 202 has been compiled from SP.182966 and this survey

LOT 202 TOTAL AREA - ~~6.049~~ ^{6.709} ha

ND Leary
Registered Land Surveyor 19-5-22

Mea
Council Delegate 21/06/2022
Clare Shea Date

PLAN OF SURVEY
ANNEXURE SHEET
SHEET 1 OF 2 SHEETS

OWNER: R.S. HOWIE
FOLIO REFERENCE: CT.182966/1
SCALE 1: 750 LENGTH IN METRES

Registered Number
SP 183235

SIGNED FOR IDENTIFICATION PURPOSES

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.

APPROVED
EFFECTIVE FROM - 7 JUL 2022

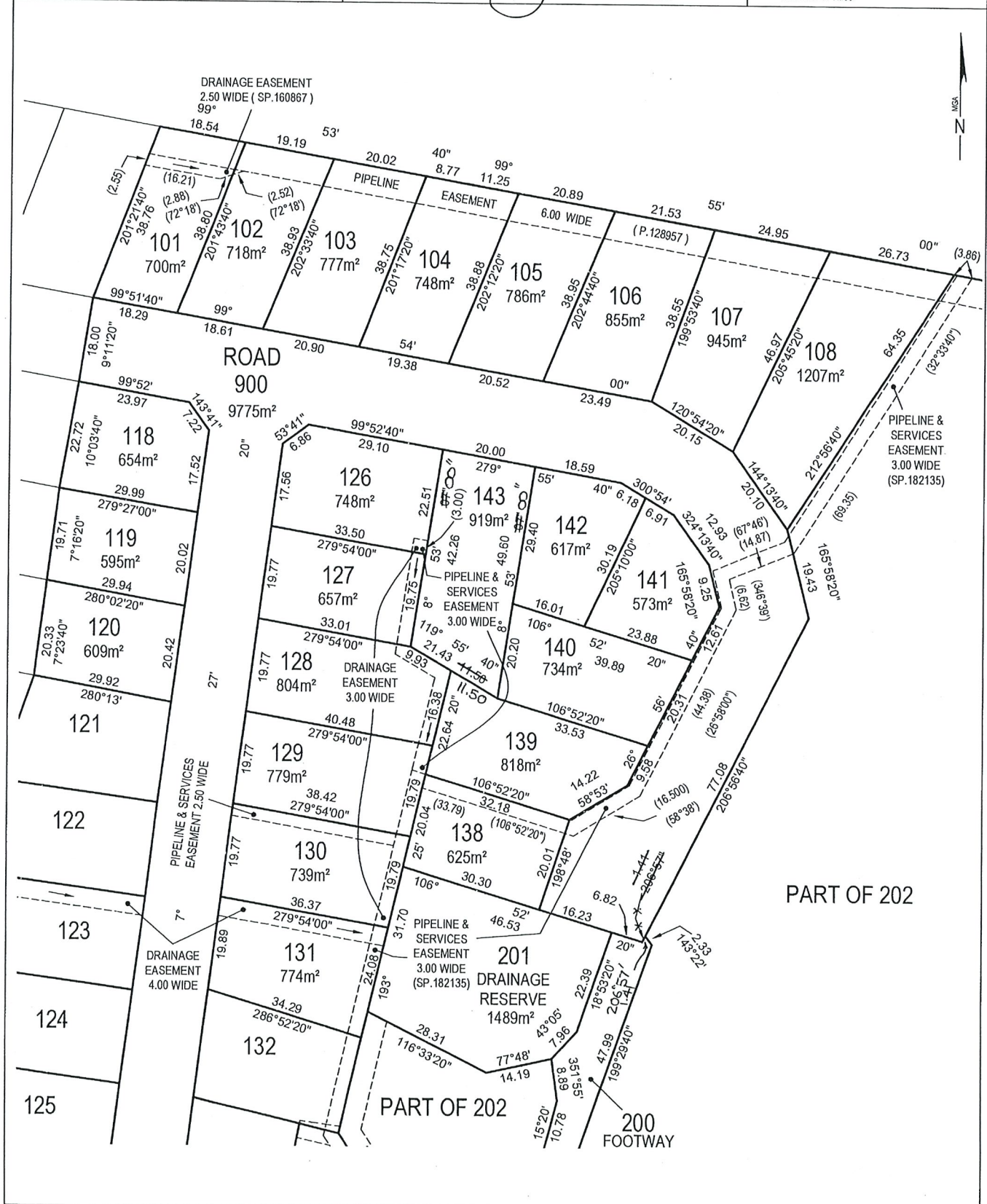
C. M. A.
Council Delegate

21/06/2022
Date

[Signature]
Registered Land Surveyor

19-5-22
Date

[Signature]
Recorder of Titles



PLAN OF SURVEY
ANNEXURE SHEET

SHEET 2 OF 2 SHEETS

OWNER: R.S. HOWIE

FOLIO REFERENCE: CT.182966/1

SCALE 1: 750 LENGTH IN METRES

Registered Number

SP. 183235

SIGNED FOR IDENTIFICATION PURPOSES

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.

APPROVED
EFFECTIVE FROM - 7 JUL 2022

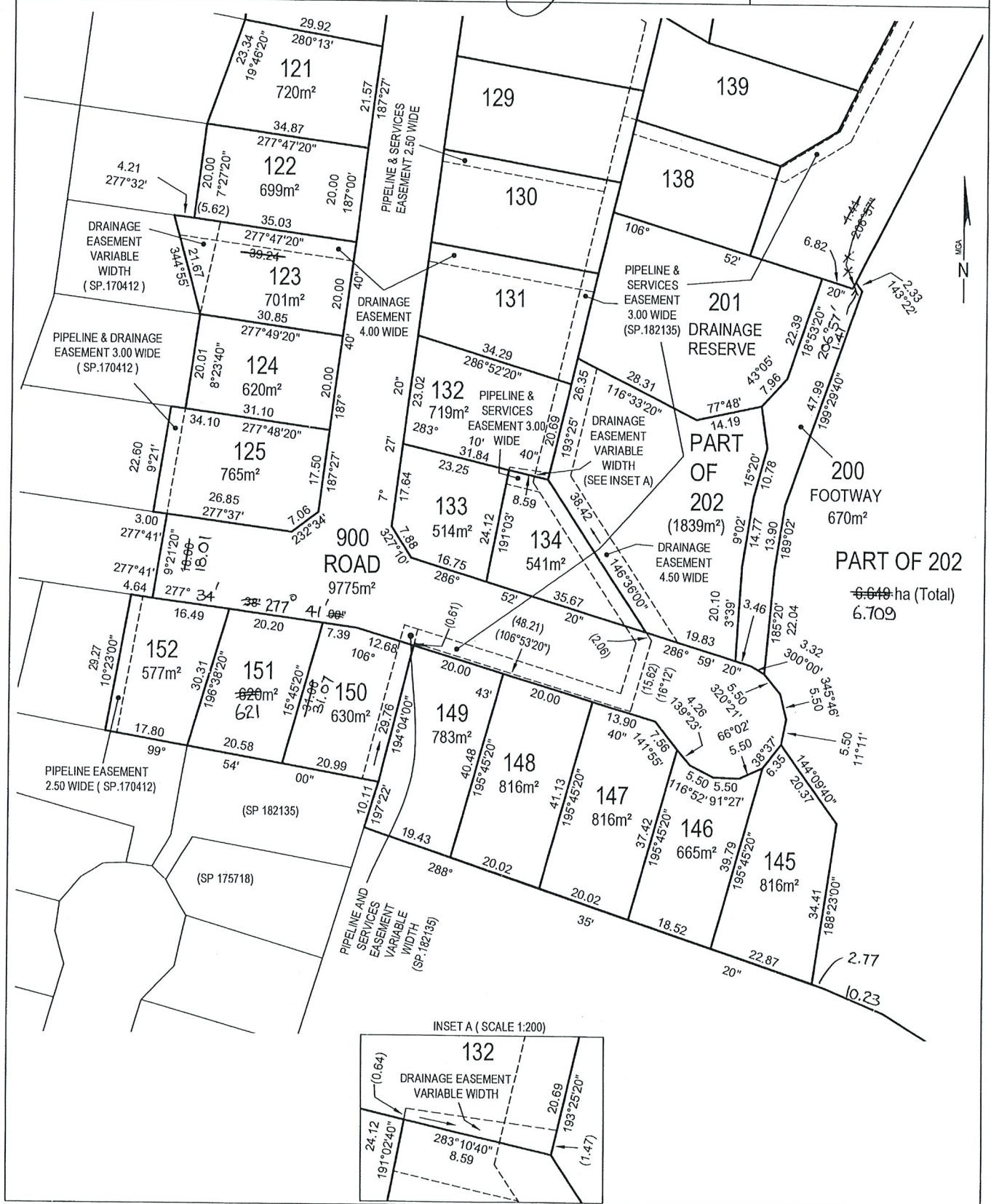
C. Mac
Council Delegate

21/06/2022
Date

J. Gray
Registered Land Surveyor

19-5-22
Date

Ren
Recorder of Titles



P I N N Δ C L E

PINNACLE

Changes List			
Issue	Description of change	Date	Designer
Ch - 01	RFI amendments, roof shape changed to Skillion	27.05.2026	JD
Ch - 02	TasWater Lines located by UDM	06.07.2026	JD
Ch - 03	Tanksupdated to 5000L per dwelling	09.07.2026	JD



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

14 Enchantress Street, Rokeby TAS 7019

Owner(s) or Clients	Jay Daft & Alex Bresnehan	Title Reference	183235/106
Building Classification	1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	855m ²
Total Floor Area (Combined)	280.16m ² Deck 34.64m ²	Design Wind Speed	N2
Alpine Area	N/A	Soil Classification	E
Other Hazards	Safeguarding of Airports	Climate Zone	7
		Corrosion Environment	High
		Bushfire Attack Level (BAL)	Low

ID	Sheet Name	Issue
A0.01	Site Plan	DA - 02
A1.01	U1 - Floor Plan	DA - 02
A1.02	U1 - Elevations	DA - 02
A1.03	U1 - Elevations	DA - 02
A1.04	U1 - Roof Plan	DA - 02
A1.05	U1 - Electrical Plan	DA - 02
A2.01	U2 - Floor Plan	DA - 02
A2.02	U2 - Elevations	DA - 02
A2.03	U2 - Elevations	DA - 02
A2.04	U2 - Roof Plan	DA - 02
A2.05	U2 - Electrical Plan	DA - 02
C.01	Civil Plan	DA - 02

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

- Surface water must be diverted away from a Class 1 building as follows:
- (a)Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
 - (i)25mm over the first 1m from the building
 - (A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
 - (B)for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 - (ii)50 mm over the first 1 m from the building in any other case.
 - (b)Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces mustbe not less than
 - (i)100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or
 - (iii)150 mm in any other case.
 - (c)The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

- Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-
- (a) be graded with a uniform fall of not less than 1:300; and
 - (b) discharge into an external silt pit or sump with-
 - (i)the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

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Site Plan

Revision: DA - 02
Approved by: JD

Scale: 1:200 @ A3
Pg. No: A0.01

Proposal: Multiple Dwellings
Client: Jay Daft & Alex Bresnehan
Address: 14 Enchantress Street, Rokeby TAS 7019

Date: 01/05/2026
Drawn by: JD
Job No: 028-2026
Engineer: Verto
Building Surveyor: TBA

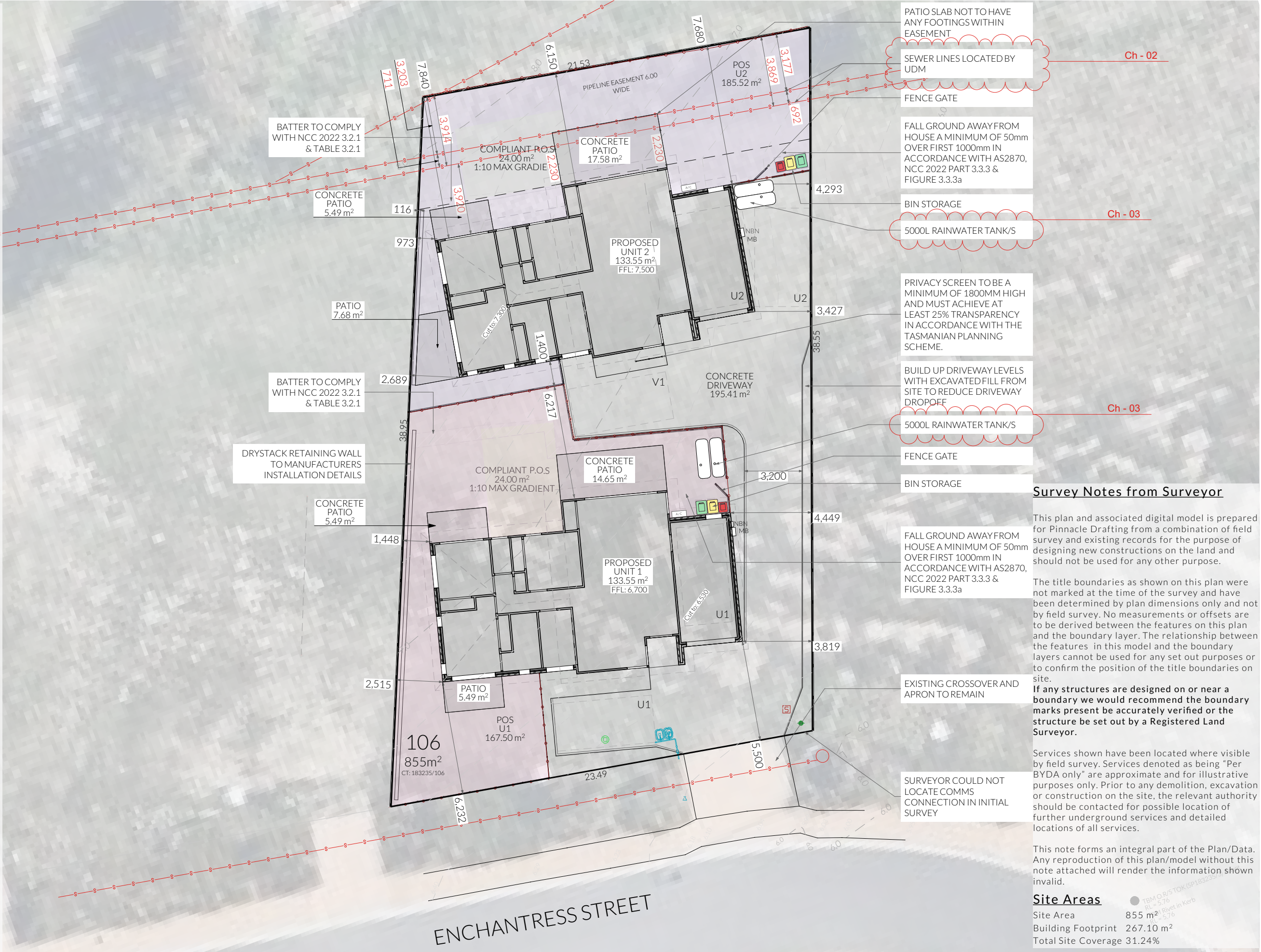
Issue	Date	Designer
Ch - 02	06.07.2026	JD
Ch - 03	09.07.2026	JD
NOTE: Refer to cover page for further details on changes.		



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ENCHANTRESS STREET



Survey Notes from Surveyor

This plan and associated digital model is prepared for Pinnacle Drafting from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site. If any structures are designed on or near a boundary we would recommend the boundary marks present be accurately verified or the structure be set out by a Registered Land Surveyor.

Services shown have been located where visible by field survey. Services denoted as being "Per BYDA only" are approximate and for illustrative purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

Site Areas

Site Area 855 m²
Building Footprint 267.10 m²
Total Site Coverage 31.24%

TBM D.R./STOK (SP183235)
RL = 5.76
1100 rivet in Kerb
RL = 5.76

A

P

Access Panel

AJ

Articulation Joint

SA

Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700
For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

(a) in a *habitable room* excluding a kitchen - 2.4 m; and

(b) in a kitchen - 2.1 m; and

(c) in a corridor, passageway or the like - 2.1 m; and

(d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

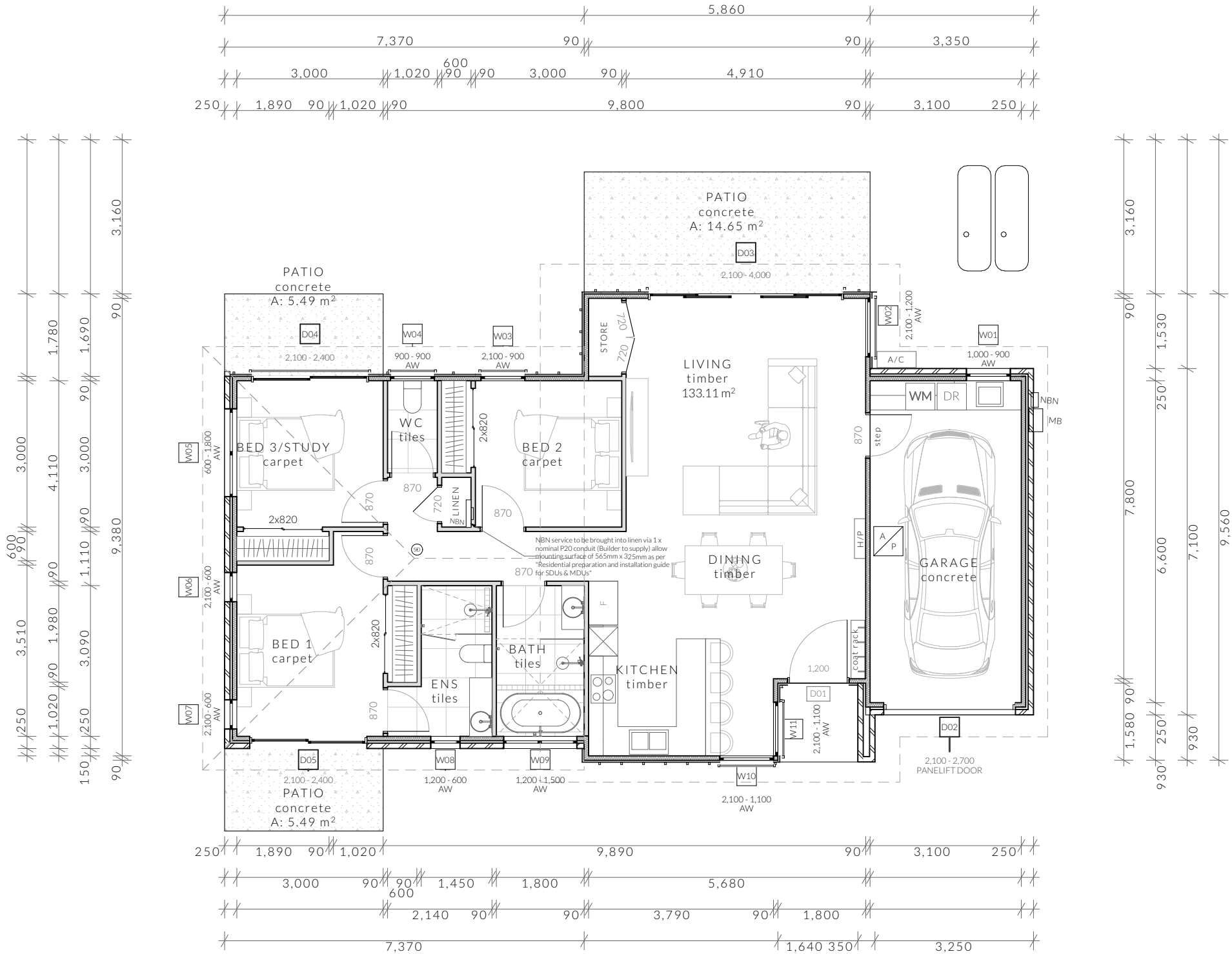
(e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

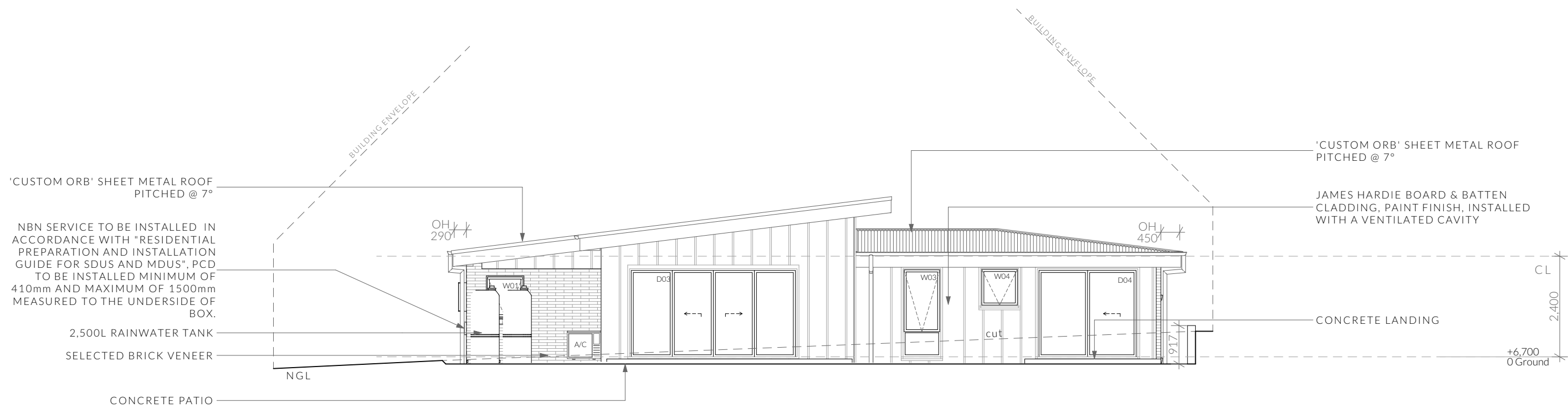
Floor Areas

Total Floor Area 133.11m²
Patios 25.63m²

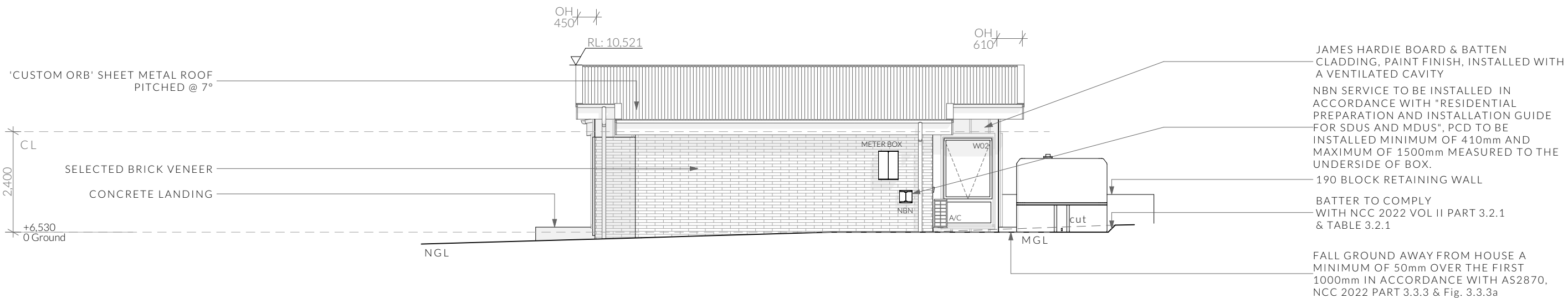


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U1 - North Elevation



U1 - East Elevation

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

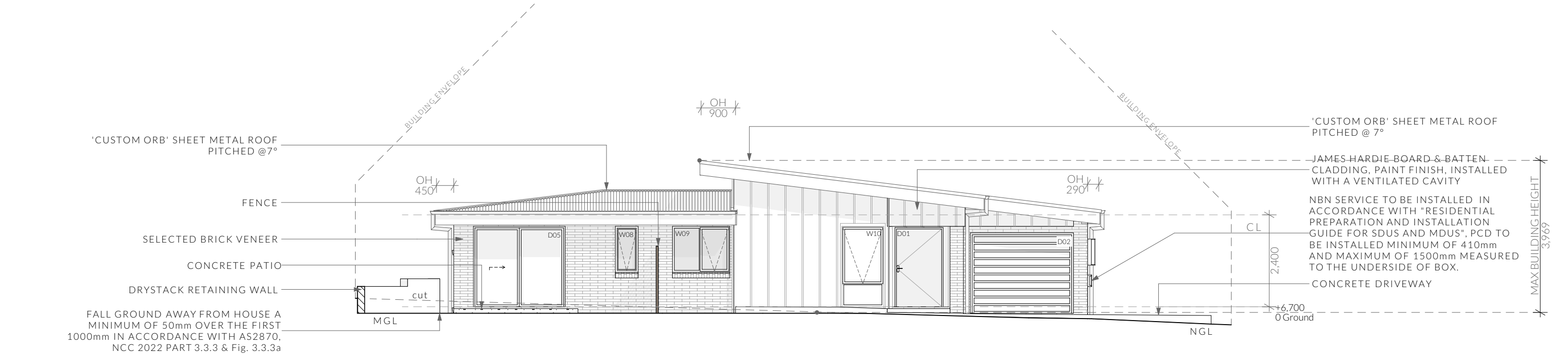
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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U1 - South Elevation

1:100



U1 - West Elevation

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

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All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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	7/3 Abernant Way, Cambridge 7170	Revision: DA - 02	Client: Jay Daft & Alex Bresnehan	1:100 @ A3	Drawn by: JD	Engineer: Verto										
03 6248 4218	Approved by: JD	Address: 14 Enchantress Street, Rokeby TAS	Pg. No: A1.03	Job No: 028-2026	Building Surveyor: TBA											
admin@pinnacledrafting.com.au		7019														
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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
 - (i)immediately above the primary insulation layer; or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

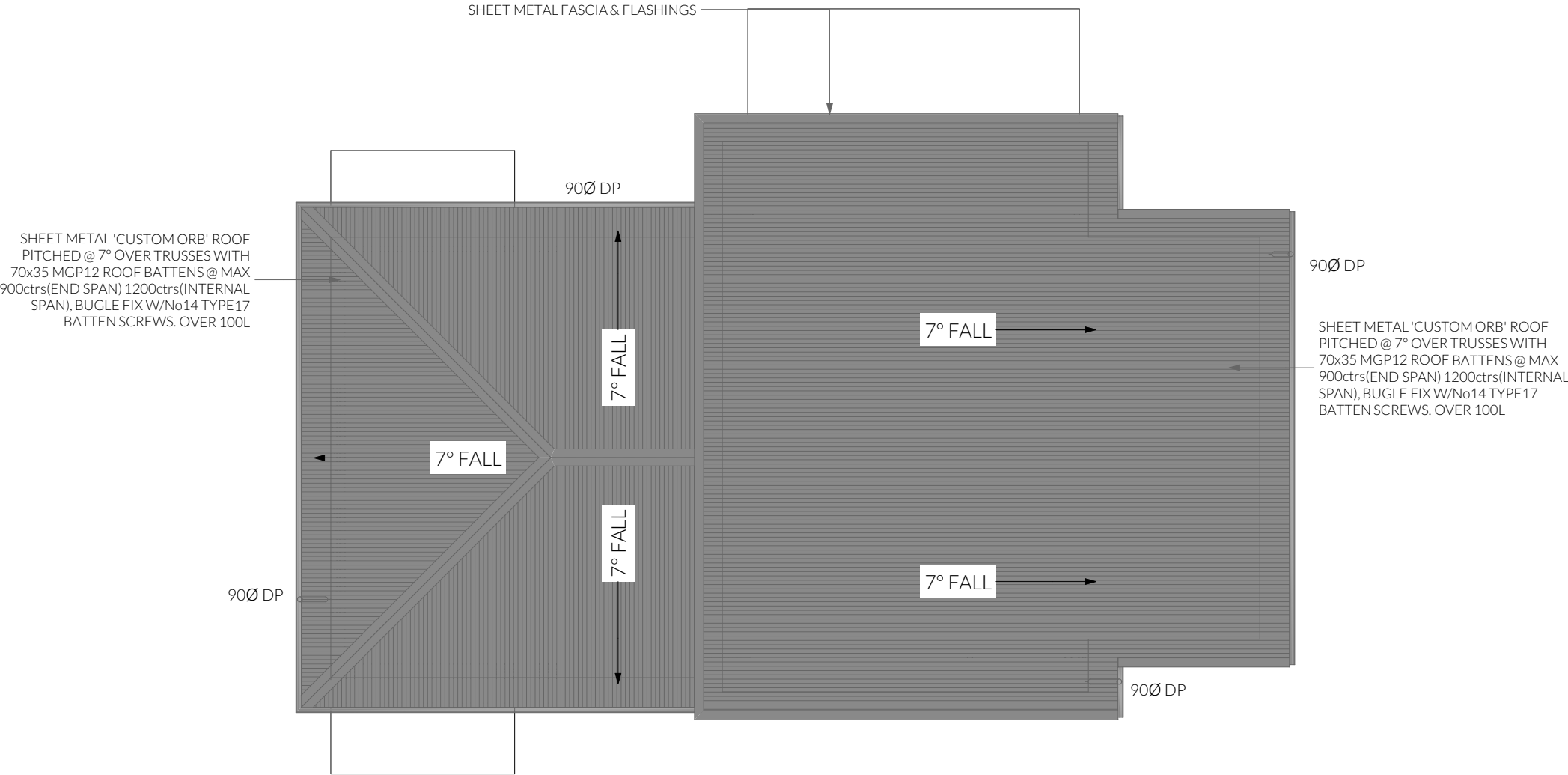
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

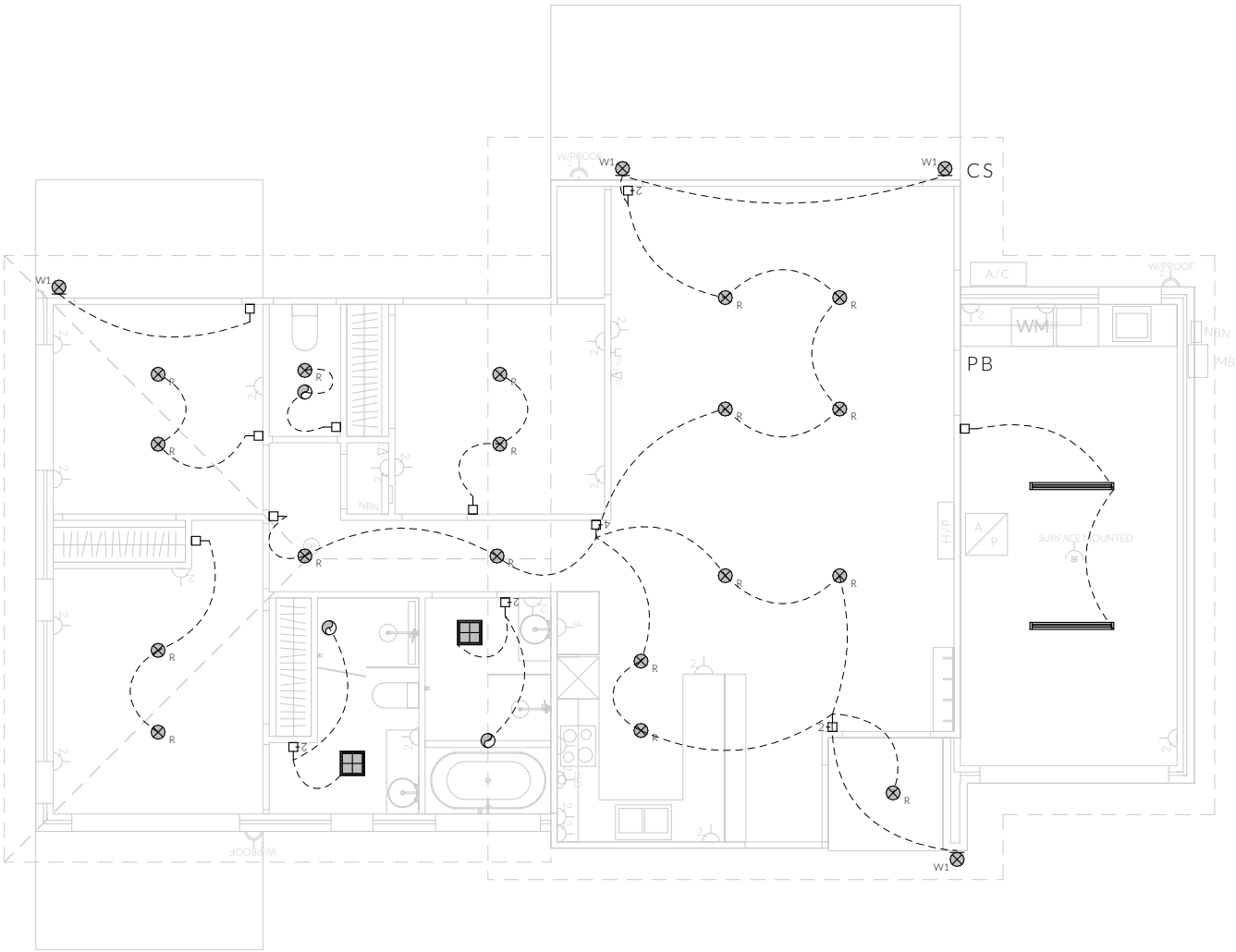
Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling
(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	

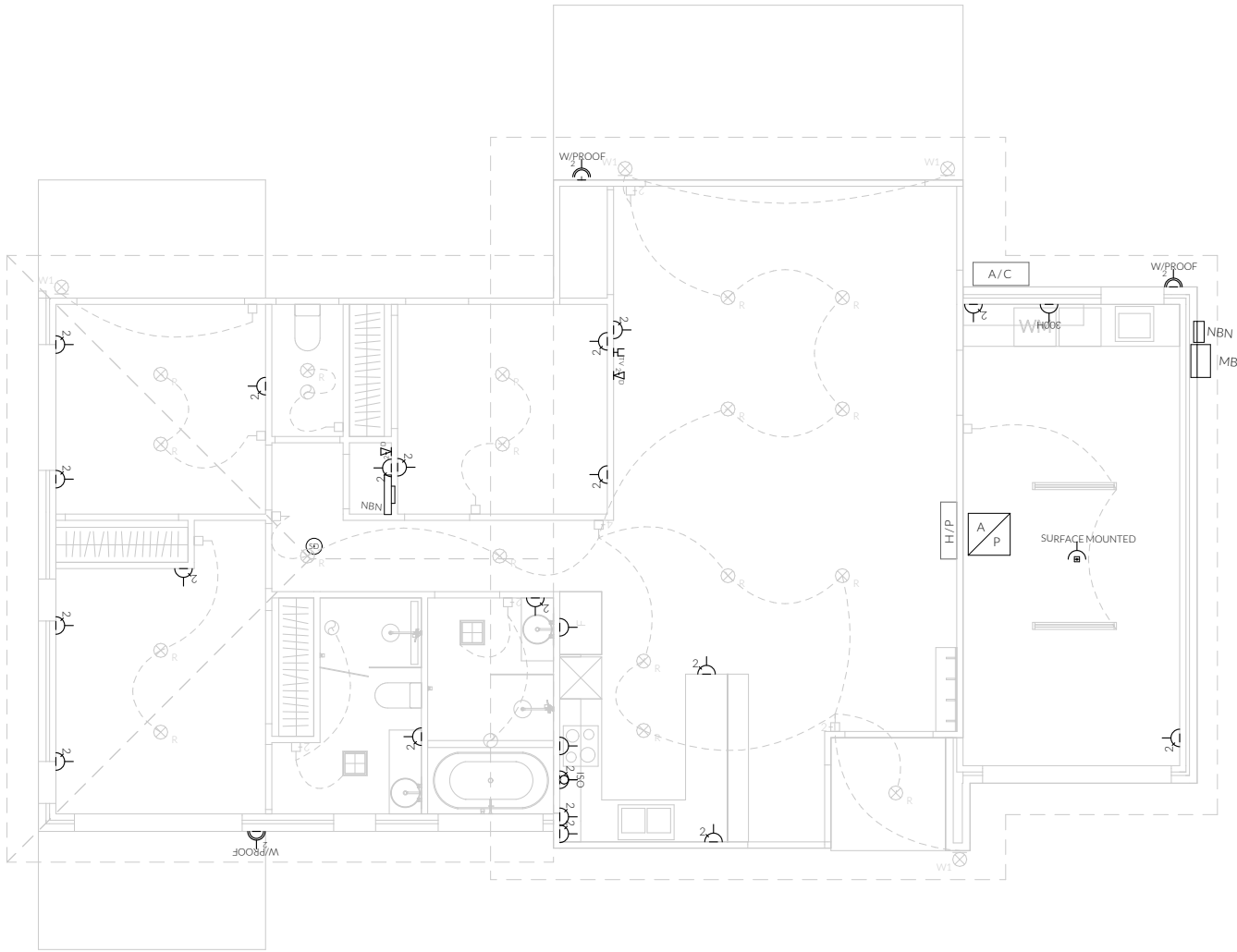


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	Issue	Date	Designer															
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Electrical Plan - Light/ Reflected Ceiling



Electrical Plan - Power

ELECTRICAL LEGEND - UNIT 1

Symbol	Description	Allowance	Quantity
	DATA- CAT 6 (RJ45) - 2 GANG		2
	DATA- TV CONNECTION		1
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
	FAN - CEILING - EXHAUST		3
	GPO - (1) SINGLE		3
	GPO - (1) SINGLE (SURFACE MOUNTED)		1
	GPO - (2) DOUBLE		19
	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
	GPO - WEATHER PROOF DOUBLE		3
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	18
	LIGHT - CEILING - LED BATTEN	20W	2
	LIGHT - WALL MOUNTED - TYPE 1	10W	4
	SWITCH - LIGHT 1 GANG		7
	SWITCH - LIGHT 2 GANG		4
	SWITCH - LIGHT 4 GANG		1

Smoke Alarms Part 9.5 of NCC 2022

- Smoke alarms must-
- (a) be located in-
 - (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and
 - (b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
 - (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

- In a Class 1a building, smoke alarms must be located in-
- (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
 - (b) each other storey not containing bedrooms.

- Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
- (a) Where a smoke alarm is located on the ceiling it must be-
 - (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 - (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
 - (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

- Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 - (a) 25 L/s for a bathroom or sanitary compartment; and
 - (b) 40 L/s for a kitchen or laundry.
 - Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
 - Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
 - An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 - (a) be interlocked with the room's light switch; and
 - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

- Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:
- 5W/m² in class 1a dwellings
 - 4W/m² to veranda, balcony or the like
 - 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Notes

U.N.O ceilings are to be plasterboard.

--o-----o Dimmable Circuit

--T-----T Timer Circuit(as fan note)

PB - Plasterboard

CS - Cement Sheet Eaves

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

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Licence: CC6073Y

U1- Electrical Plan

Revision:
Approved by:

DA - 02
JD

Scale:

@ A3

Pg. No:

A1.05

Proposal: Multiple Dwellings

Client: Jay Daft & Alex Bresnehan

Address: 14 Enchantress Street, Rokeby TAS
7019

Date: 01/05/2026

Drawn by: JD

Job No: 028-2026

Engineer: Verto

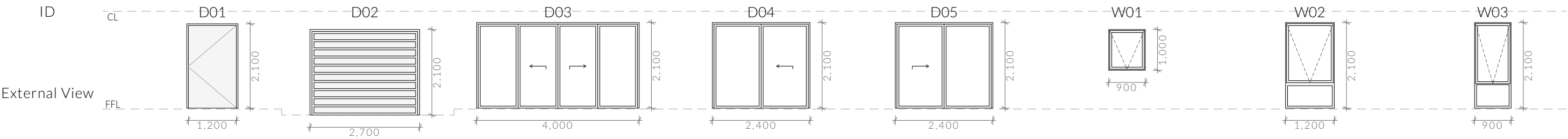
Building Surveyor: TBA

Issue Date Designer

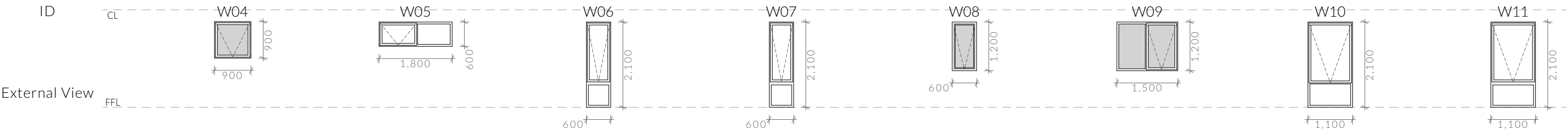
NOTE: Refer to cover page for further details on changes.

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Notes



Notes

Glazing - 52mm Double Glazed (clear)
All windows & doors to be glazed with the minimum following values:

Window Type	U-Value	SHGC
Awning	4.1	0.57
Fixed	3.2	0.67

Values based on products from Clark Windows. Where Argon Gas is specified the U-Value is reduced by 0.1 across all products.

NOT FOR CONSTRUCTION

PINNACLE	PINNACLE DRAFTING & DESIGN	U1 - Door & Window Schedule	Scale:	Proposal: Multiple Dwellings	Date:	01/05/2026	<table><tr><th>Issue</th><th>Date</th><th>Designer</th></tr><tr><td></td><td></td><td></td></tr><tr><td colspan="3">NOTE: Refer to cover page for further details on changes.</td></tr></table>	Issue	Date	Designer				NOTE: Refer to cover page for further details on changes.		
	Issue		Date	Designer												
	NOTE: Refer to cover page for further details on changes.															
	7/3 Abernant Way, Cambridge 7170		@ A3	Client: Jay Daft & Alex Bresnehan	Drawn by: JD											
03 6248 4218			Job No: 028-2026													
admin@pinnacledrafting.com.au	Pg. No:	Address: 14 Enchantress Street, Rokeby TAS	Engineer: Verto													
www.pinnacledrafting.com.au	A1.06	7019	Building Surveyor: TBA													
Licence: CC6073Y	Revision:															
	Approved by: JD															

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A

P

Access Panel

AJ

Articulation Joint

SA

Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:
Riser: Min 115mm - Max 190mm
Going: Min 240mm - Max 355mm
Slope (2R+G): Max 550 - Min 700
For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

(a)in a *habitable room* excluding a kitchen - 2.4 m; and

(b)in a kitchen - 2.1 m; and

(c)in a corridor, passageway or the like - 2.1 m; and

(d)in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and

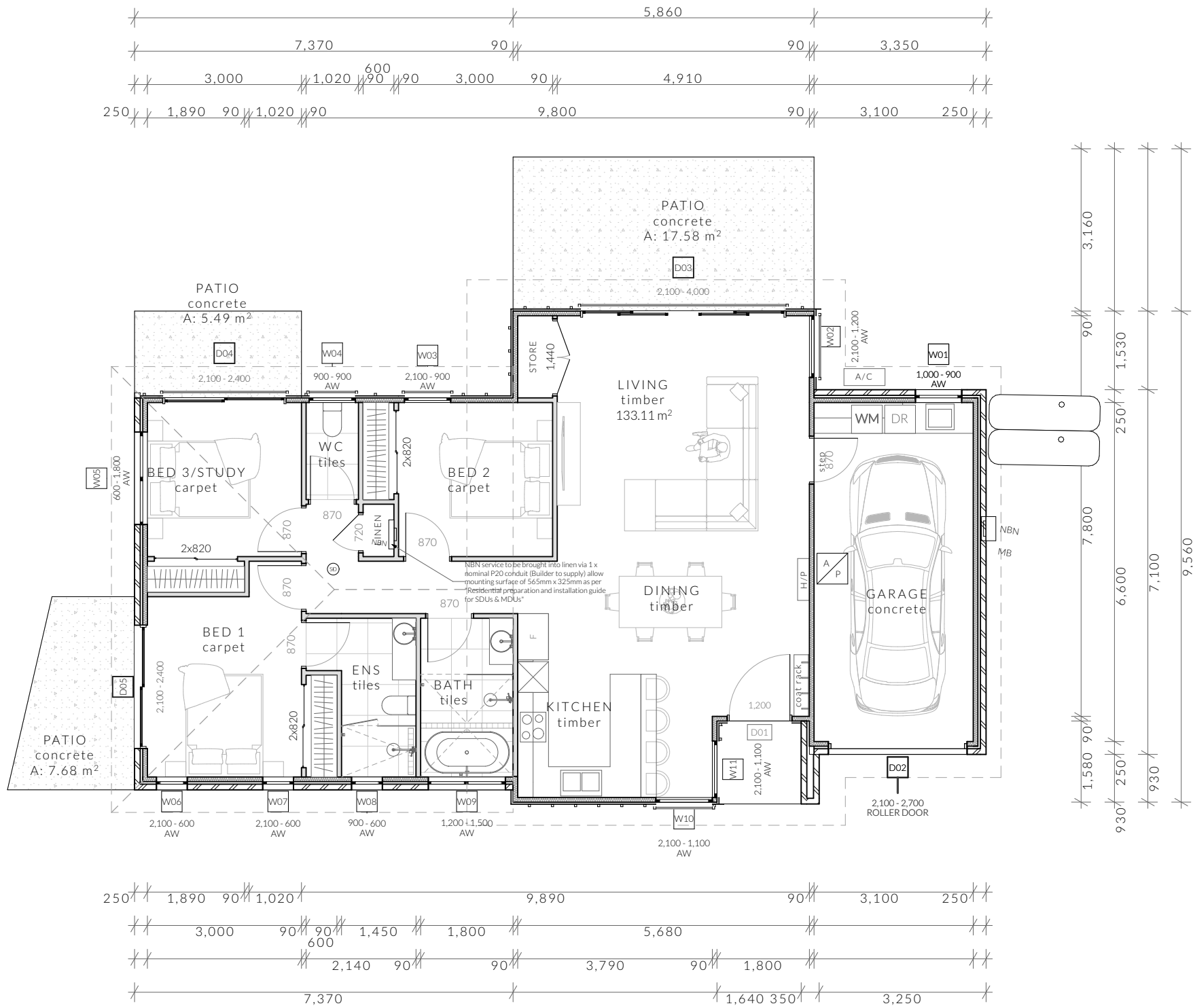
(e)in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items

(f)in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

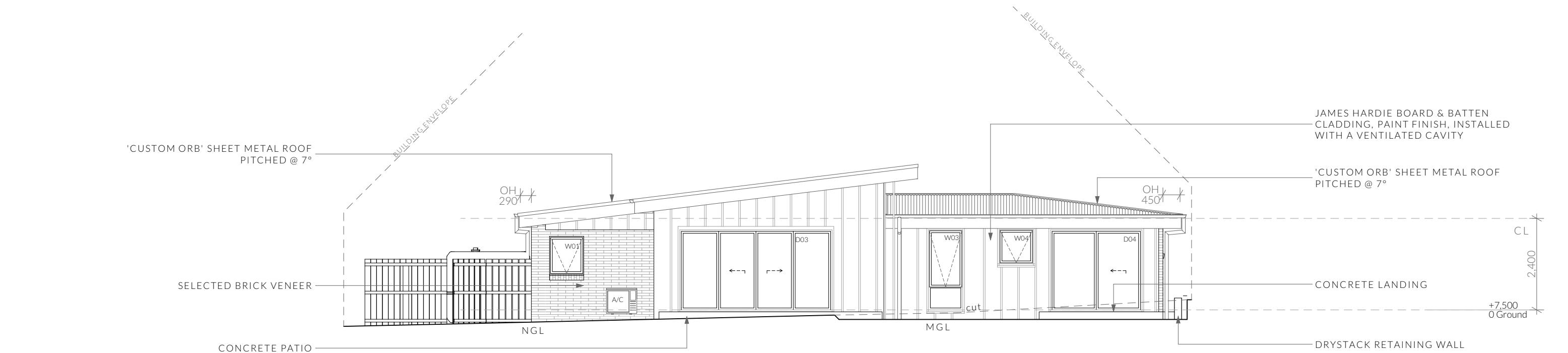
If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

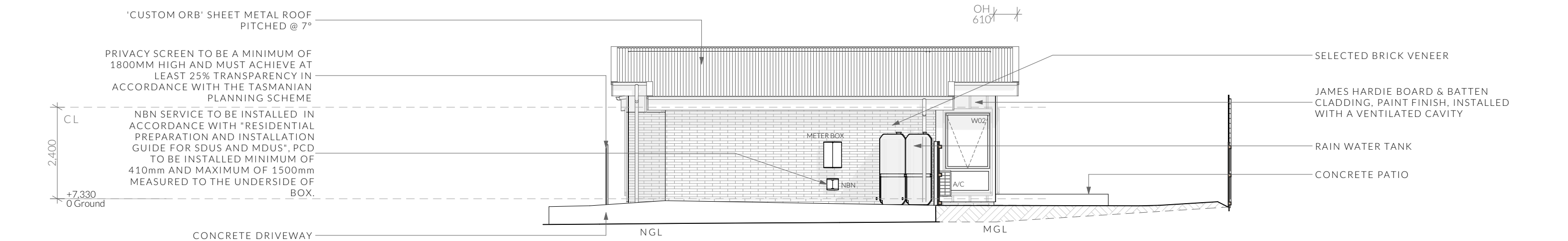
Total Floor Area 133.11m²
Patios 30.75m²



PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U2 - Floor Plan Revision: DA - 02 Approved by: JD	Scale: 1:100 @ A3 Pg. No: A2.01	Proposal: Multiple Dwellings Client: Jay Daft & Alex Bresnehan Address: 14 Enchantress Street, Rokeby TAS 7019	Date: 01/05/2026 Drawn by: JD Job No: 028-2026 Engineer: Verto Building Surveyor: TBA	Issue	Date	Designer		These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	



U2 - North Elevation



U2 - East Elevation

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

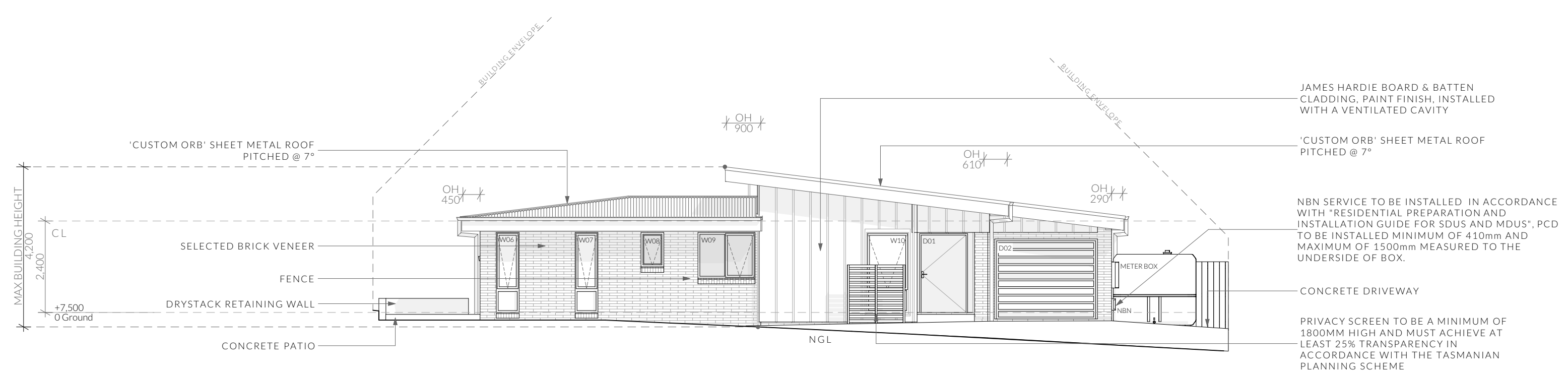
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

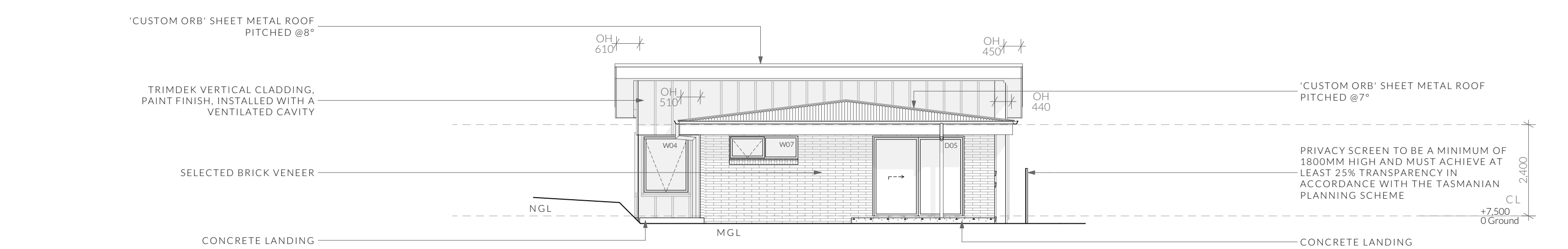
As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

PINNACLE Document Set ID: 5971381 Version: 3, Version Date: 20/07/2026	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U2 - Elevations Revision: DA - 02 Approved by: JD	Scale: 1:100 @ A3 Pg. No: A2.02	Proposal: Multiple Dwellings Client: Jay Daft & Alex Bresnehan Address: 14 Enchantress Street, Rokeby TAS 7019	Date: 01/05/2026 Drawn by: JD Job No: 028-2026 Engineer: Verto Building Surveyor: TBA	Issue Date Designer	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2026. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans. bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
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U2 - South Elevation



U2 - West Elevation

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

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Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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						NOTE: Refer to cover page for further details on changes.	

Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a)is located-
 - (i)immediately above the primary insulation layer; or
 - (ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii)immediately above ceiling insulation; and
- (b)has a height of not less than 20 mm; and
- (c)is either-
 - (i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

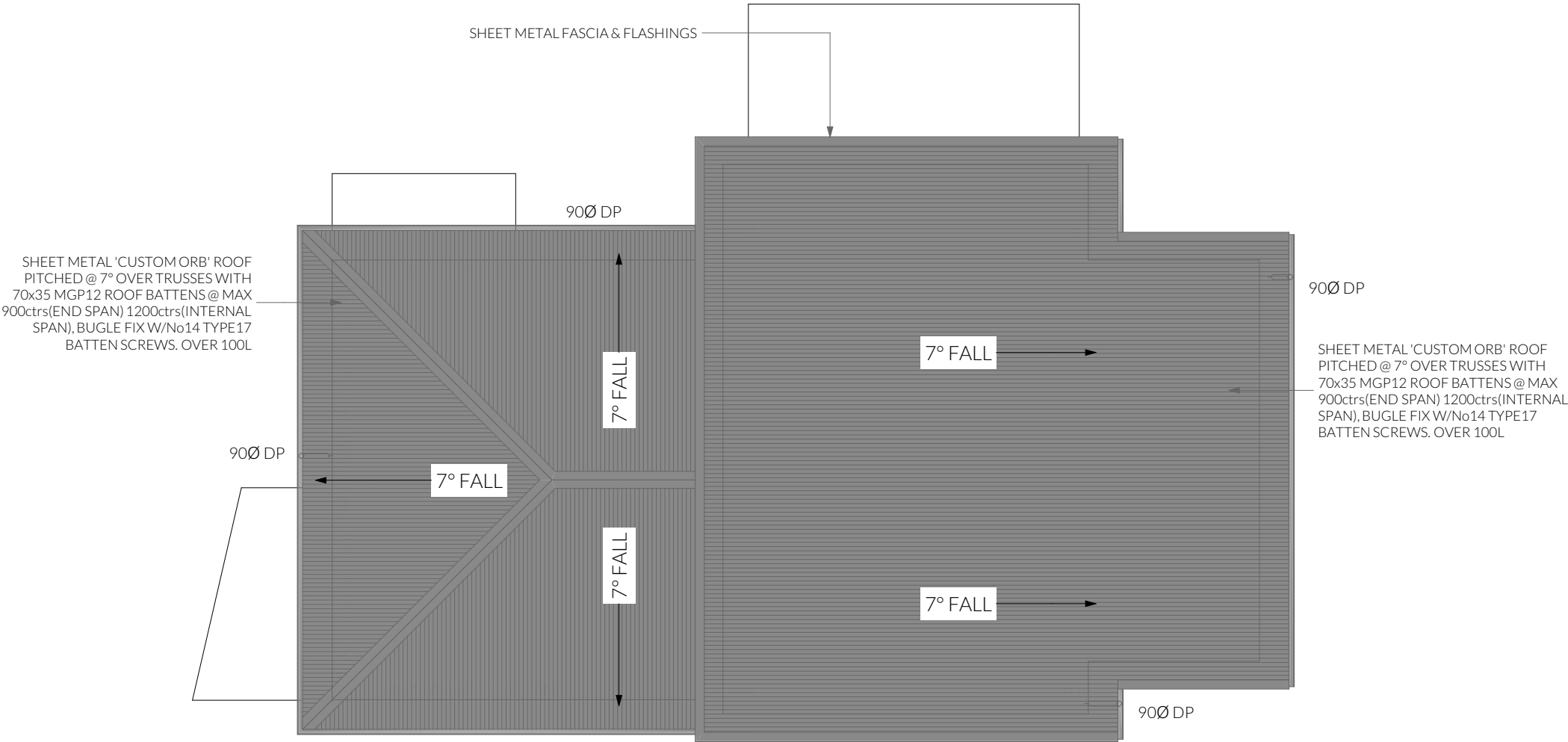
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a)comply with AS/NZS 2908.2 or ISO 8336; and
- (b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

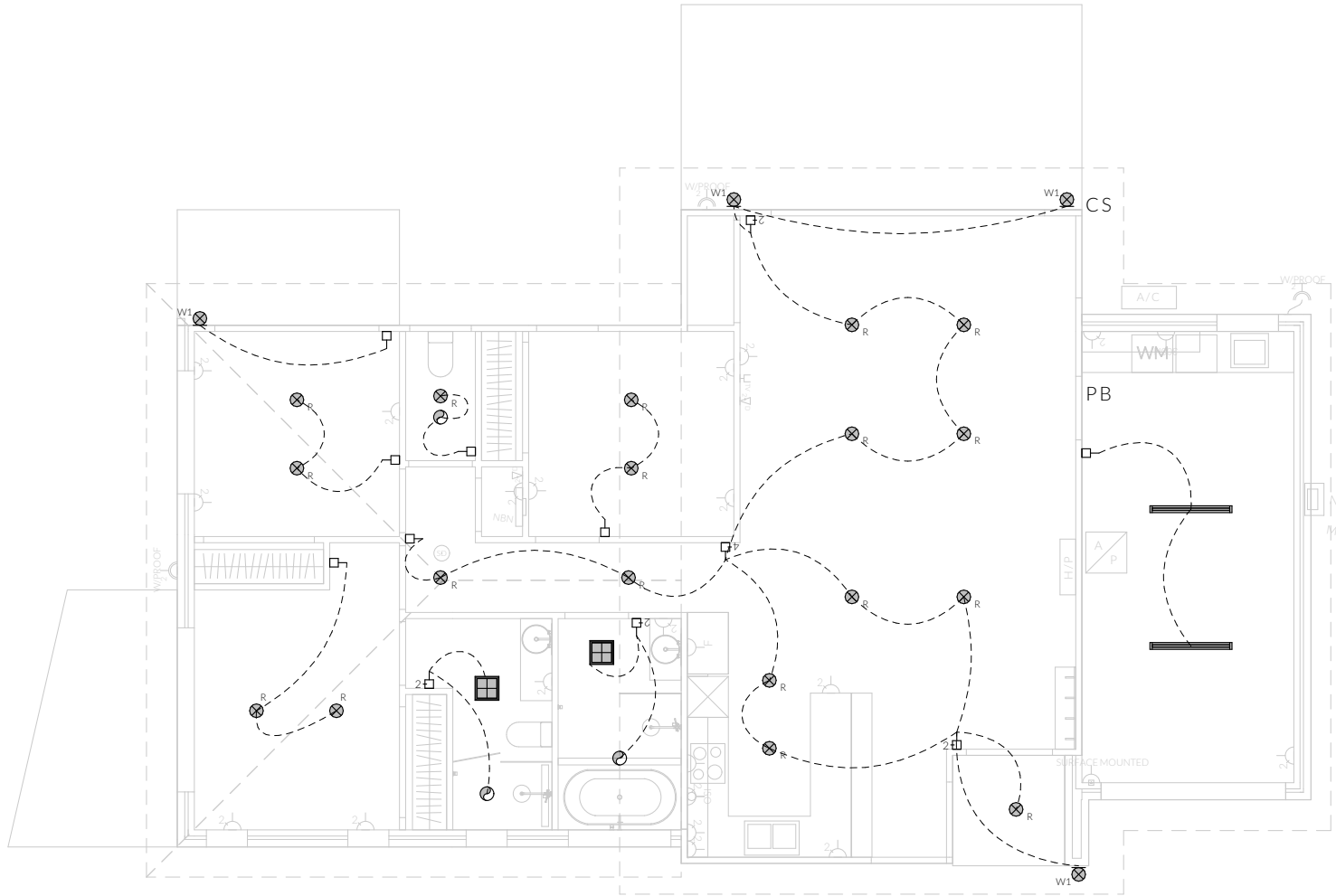
Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling
(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	

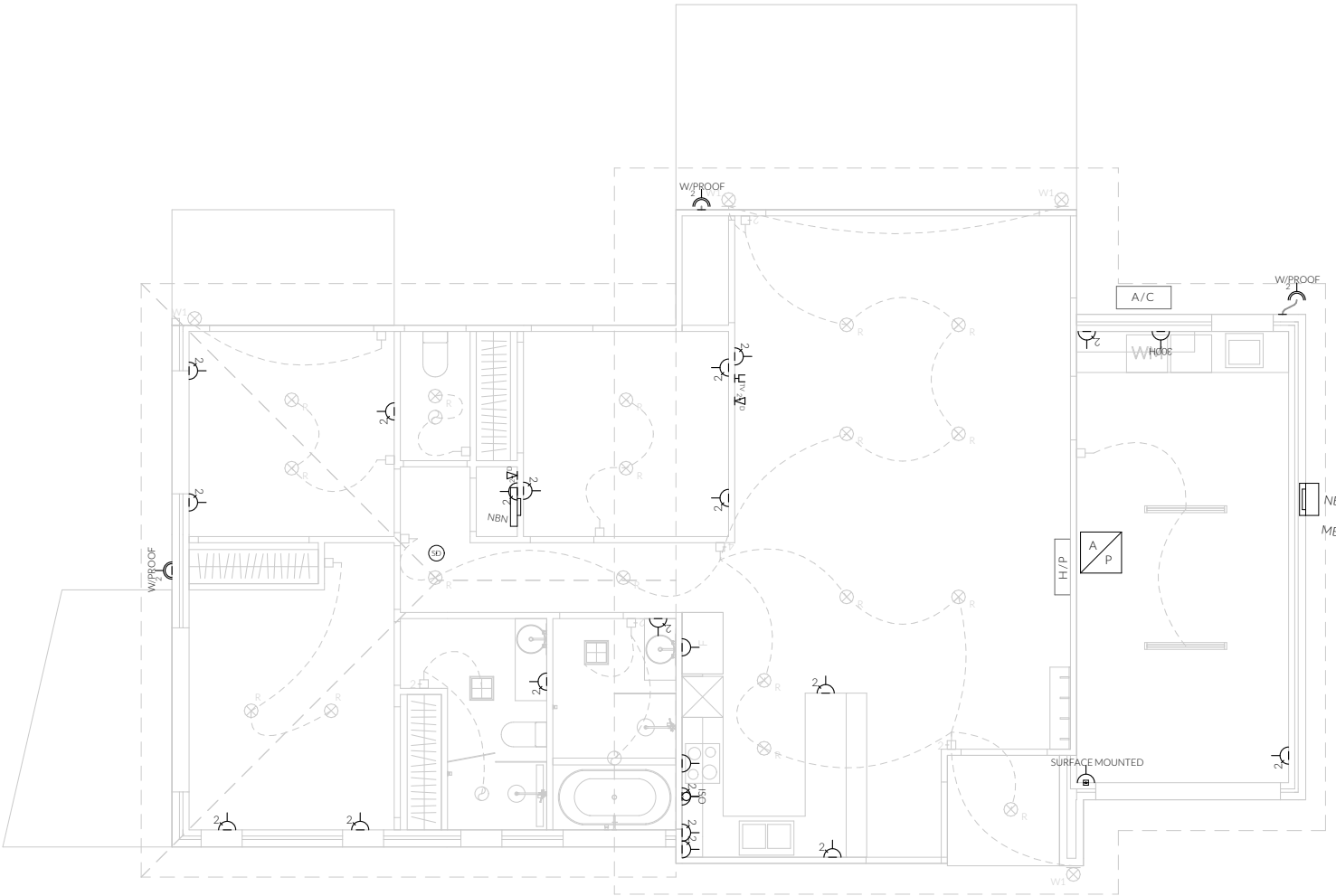


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Electrical Plan - Light/ Reflected Ceiling



Electrical Plan - Power

ELECTRICAL LEGEND - UNIT 2 - Lower Floor

Symbol	Description	Allowance	Quantity
	DATA- CAT 6 (RJ45) - 2 GANG		2
	DATA- TV CONNECTION		1
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
	FAN - CEILING - EX-HAUST		3
	GPO - (1) SINGLE		3
	GPO - (1) SINGLE (SURFACE MOUNTED)		1
	GPO - (2) DOUBLE		18
	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		1
	GPO - WEATHER PROOF DOUBLE		3
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	18
	LIGHT - CEILING - LED BATTEN	20W	2
	LIGHT - WALL MOUNTED - TYPE 1	10W	4
	SWITCH - LIGHT 1 GANG		7
	SWITCH - LIGHT 2 GANG		4
	SWITCH - LIGHT 4 GANG		1

Smoke Alarms Part 9.5 of NCC 2022

- Smoke alarms must-
- (a) be located in-
 - (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and
 - (b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
 - (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

- (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

- (a) Where a smoke alarm is located on the ceiling it must be-
 - (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
 - (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
- (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have:

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
 - (a) 25 L/s for a bathroom or sanitary compartment; and
 - (b) 40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
 - (a) be interlocked with the room's light switch; and
 - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m² in class 1a dwellings
- 4W/m² to veranda, balcony or the like
- 3W/m² in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Notes

U.N.O ceilings are to be plasterboard.

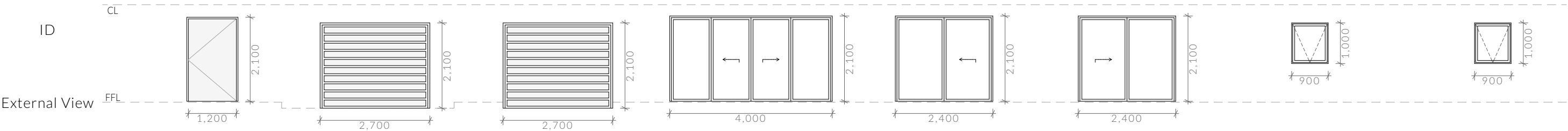
---◁-----▷ Dimmable Circuit

---τ-----τ Timer Circuit(as fan note)

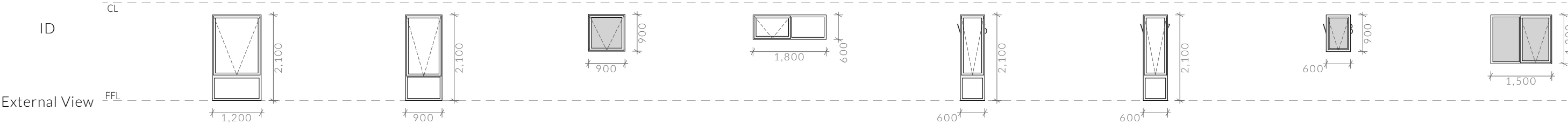
PB - Plasterboard

CS - Cement Sheet Eaves

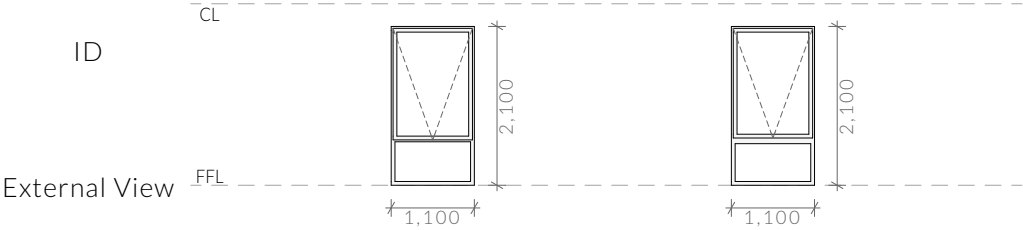
Preparation for future Solar Installation:
Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space.



Notes



Notes



Notes

Glazing - 52mm Double Glazed (clear)

All windows & doors to be glazed with the minimum following values:

Window Type	U-Value	SHGC
Awning	4.1	0.57
Fixed	3.2	0.67

Values based on products from Clark Windows. Where Argon Gas is specified the U-Value is reduced by 0.1 across all products.

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Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a)Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i)25mm over the first 1m from the building (A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B)for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
- (ii)50 mm over the first 1 m from the building in any other case.
- (b)Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces mustbe not less than (i)100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or (iii)150 mm in any other case.
- (c)The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with- (i)the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

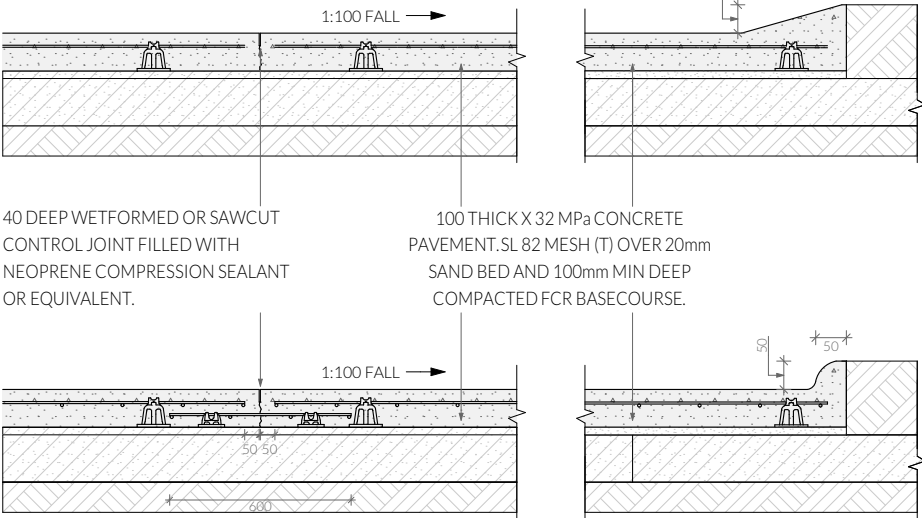
Legend

- SW Stormwater Line
- AG Ag Drain
- Stormwater Connection
- Class A 300mm Stormwater Pit
- Class B 450mm Stormwater Pit
- 100mm wide trafficable grate drain

General Notes

- Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100m deep compacted FCR basecourse layer.
- Concrete strength shall be 32 mpa min.
- Provide control joints at 6.0 m centres-refer detail.
- Compact concrete using mechanical vibrators.
- Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
- Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
- All new and/or altered service connections shall be undertaken by council at the developer's expense.
- Provide 100ø agricultural drains at base of cut and connect to stormwater at lowest point
- Driveway to be min 100mm thick 32mpa concrete with sl82 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints or sawcut joints @ max. 4m crs.
- Driveway to be sloped to integrated kerb and gutter system on low side of driveway
- Rainwater pipes to be PVC or Colorbond finish metal.
- Driveway sawcuts to be installed at approx. 4m centres with expansion joints at 8-12m centres.

TYPICAL PAVEMENTDETAIL



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