



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061430

PROPOSAL: Dwelling

LOCATION: 11 Pymont Road, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17/08/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17/08/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17/08/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **New Residence**

Location: **Lot 42 Tasman Rise, Rokeby**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

-

Current use of site:

Vacant Land

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☒ Details of the location of the proposed use or development.
- ☒ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☒ Full description of the proposed use or development.
 - ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☒ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☒ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☒ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
 - ✓ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
 - Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
 - ✓ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
 - Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
 - ✓ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 189872	FOLIO 42
EDITION 1	DATE OF ISSUE 01-Apr-2026

SEARCH DATE : 08-Apr-2026

SEARCH TIME : 08.42 am

DESCRIPTION OF LAND

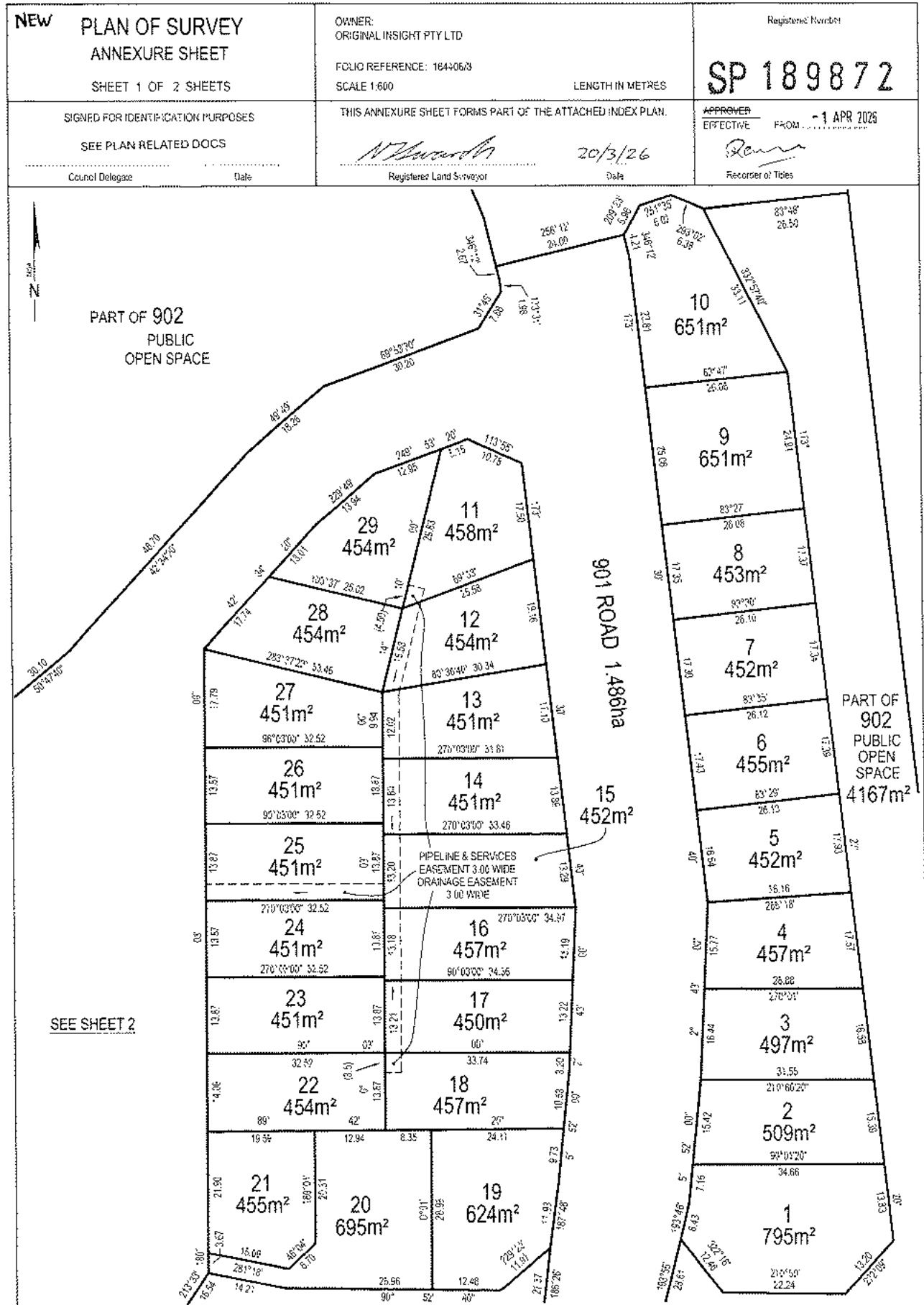
City of CLARENCE

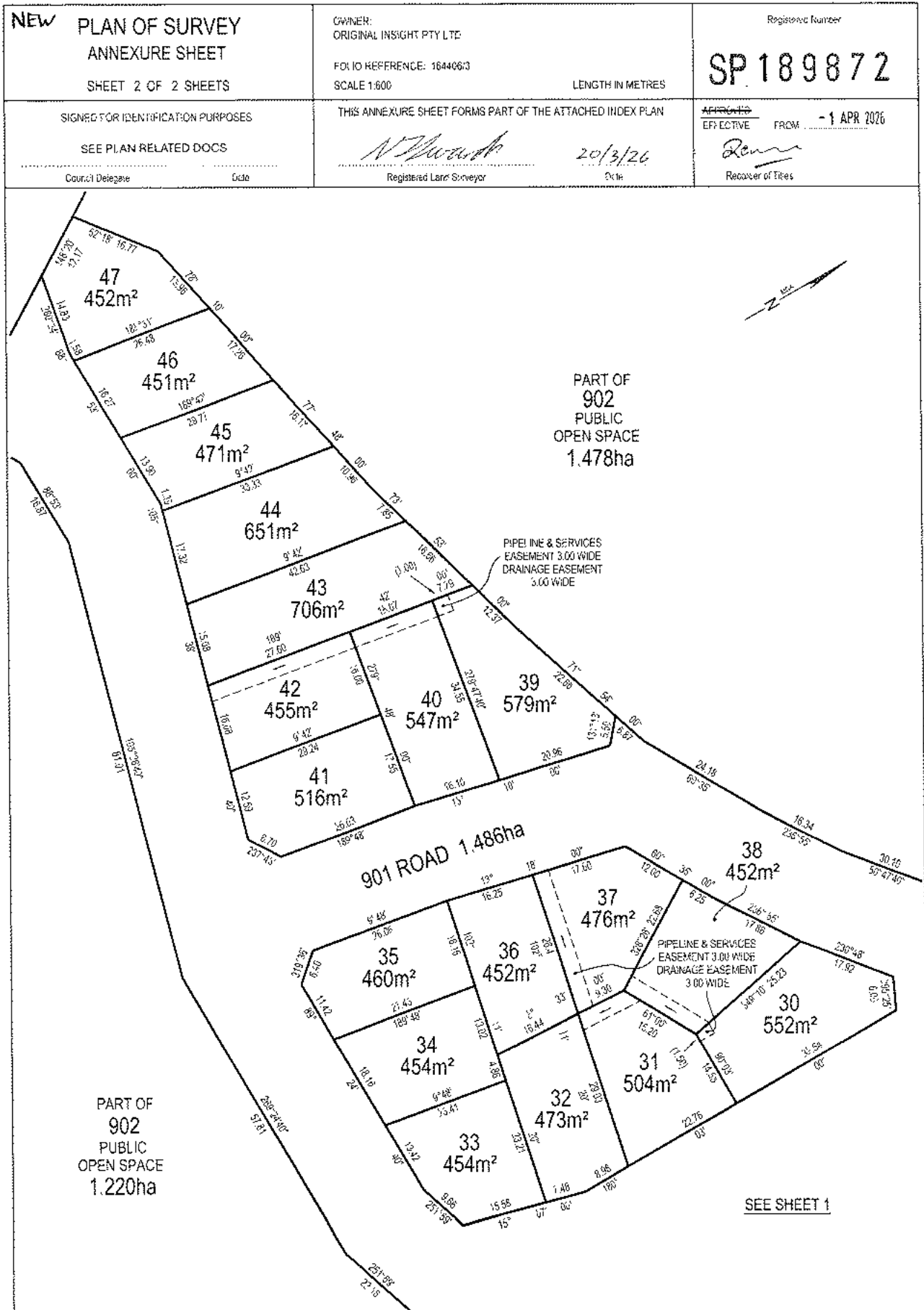
Lot 42 on Sealed Plan [189872](#)Derivation : Part of Lot 37617 (56.81ha) Gtd. to The
Director-General of Housing & ConstructionPrior CT [164406/3](#)SCHEDULE 1[M926006](#) TRANSFER to ORIGINAL INSIGHT PTY LTD Registered
19-Dec-2021 at 12.01 pmSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP189872](#) EASEMENTS in Schedule of Easements[SP189872](#) COVENANTS in Schedule of Easements[SP189872](#) FENCING COVENANT in Schedule of Easements[SP142549](#) COVENANTS in Schedule of Easements[SP142549](#) FENCING COVENANT in Schedule of Easements[SP142549](#) WATER SUPPLY RESTRICTION[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION[N194698](#) MORTGAGE to Manda Capital Holdings Pty Ltd
Registered 21-June-2024 at 12.01 pm[N280782](#) MORTGAGE to RCCC Civil Contracting Pty Ltd
Registered 11-Oct-2025 at noon[E380291](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
01-Apr-2026 at noonUNREGISTERED DEALINGS AND NOTATIONS[N104005](#) CAVEAT by Manda Capital Holdings Pty Ltd Lodged by
PAGE SEAGER [Merged] on 16-Dec-2025 BP: N104005

OWNER ORIGINAL INSIGHT PTY LTD FOLIO REFERENCE 164406/3 GRANTEE Part of Lot 37617 (56.51ha) and Part of Lot 37843, (18.21ha) Gtd to The Director-General of Housing & Construction	NEW PLAN OF SURVEY BY SURVEYOR: N. J. SWARDS of LEARY COX & GRIMS SURVEYORS Lot 454 46 West Street Hobart TAS 7000 P 05112 2635 E admin@learycox.com.au LOCATION: City of CLARENCE SCALE: 1:2500 LENGTHS IN METRES	Registered Number SP 189872 APPROVES EFFECTIVE FROM 1 APR 2026 <i>Re...</i> Recorder of Titles
PRIORITY FINAL PLAN LOTS 902 & 903 HAVE BEEN COMPILED FROM SP164405, P164406 AND THIS SURVEY		
INDEX PLAN ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		
<i>N. J. Swards</i> Registered Land Surveyor 20/3/26 Date		SEE PLAN RELATED DOCS Council Delegate Date





SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189872

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

NEW EASEMENTS

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan ("the Easement Land").

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Clarence City Council over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan.

EXISTING EASEMENTS

Each Lot on the Plan (but excluding that part of Lot 903 marked "EFGHJK") is TOGETHER WITH a right of way over the area marked "RIGHT OF WAY, 10.06 WIDE" on the Plan more fully defined in SP142549.
(PRIVATE)

Lots 902 & 903 are

~~Lot 902~~ on the Plan is SUBJECT TO a Transmission Line Easement (in favour of the Hydro Electric Commission) over that part of the Lot marked "TRANSMISSION LINE EASEMENT 50.00 WIDE" on the Plan and as created by and more fully set forth in SP142549.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REF: Volume 164406 Folio 3 SOLICITOR & REFERENCE: Butler, McIntyre & Butler: 250343	PLAN SEALED BY: Clarence City Council DATE: 3 March 2026 PDPLANPMTD: REF NO. 2021/ 024236 Council Delegate Peter Warrumbarr - ACTING HOG
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

F:\data\affinity_decisions\ip1\250343\iporigip1_250343_015.docx

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

EXISTING COVENANTS

Each Lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP142549.

FENCING COVENANT

The owner of each Lot on the Plan covenants with Original Insight Pty Ltd (ACN 168 660 786) ("the Vendor") that the Vendor shall not be required to fence.

DEFINITIONS

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

f:\data\affinity_data\original\250343\original_250343_015.docx

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

f:\data\affinity_dors\origipl\250343\porigipl_250343_015.docx

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

(6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:

- (a) reinstate the ground level of the Easement Land; or
- (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
- (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

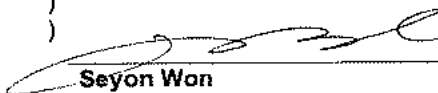


NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

f:\data\affinity_docs\origipl\250343\porigipl_250343_015.docx

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Original Insight Pty Ltd (ACN 168 660 786)**, the Registered Proprietor of the land contained in Certificate of Title Volume 164406 Folio 3 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


Seyon Wan
Sole Director and Company Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

f:\data\affinity_docs\origipl\250343\porigipl_250343_015.docx

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Manda Capital Holdings Pty Ltd (ACN 168 795 088)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N194698 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:

Signature – Director

Print Full Name – Director

Signature – Director/Company Secretary

Print Full Name – Director/Company Secretary

*Delete whichever is inapplicable

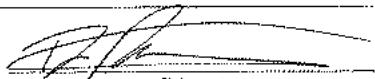
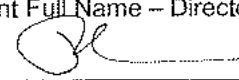
* **STANLEY JOHN WALSH**
SOLICITOR FOR THE VENDOR

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

C:\data\affinity_docs\ongiph250343\porgip1_250343_015.docx

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **RCCC Civil Contracting Pty Ltd** (ACN 097 095 611), the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N280782 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:

) 
) Signature -- Director
) DAMIAN PETER PEARCE
) Print Full Name -- Director
) 
) Signature -- Director/~~Company Secretary~~*
) Peter Douglas Campbell
) Print Full Name -- Director/~~Company Secretary~~*

*Delete whichever is inapplicable

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

f:\data\affinity_docs\origip\250343\origip_250343_015.docx

SCHEDULE OF EASEMENTS	Registered Number SP142549
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Rights of carriageway hereon deleted by me pursuant to Request to Amend No. E296066 made under Section 103 of the Local Government (Building & Miscellaneous Provisions) Act 1993

EASEMENTS

[Signature] 13 SEP 2022
Recorder of Titles Date

Lot 1 and Lot 2 are together with a right of way over the Right of Way (Private) 10.06 metres wide shown on the plan.

Lot 3 (but excluding that part of Lot 3 marked "EFGHJK") is together with a right of way over the Right of Way (Private) 10.06 metres wide shown on the plan.

~~Lot 2 is together with a right of carriageway over that portion of the Right of Way (Private) 6.00 metres wide showing passing through Lot 1.~~

~~Lot 3 is together with a right of carriageway over that portion of the Right of Way (Private) 6.00 metres wide shown passing through Lot 1 and Lot 2.~~

~~Lot 1 is subject to a right of carriageway over that portion of the Right of Way (Private) 6.00 metres wide shown passing through Lot 1, appurtenant to Lot 2 and Lot 3.~~

~~Lot 2 is subject to a right of carriageway over that portion of the Right of Way (Private) 6.00 metres wide shown passing through Lot 2, appurtenant to Lot 3.~~

Lot 3 is subject to a Transmission Line Easement for the Hydro Electric Commission over that portion of the Transmission Line Easement 50.00 metres wide shown on Lot 3 outside that part of Lot 3 marked "EFGHJK", as shown on the plan.

Lot 3 is subject to a Transmission Line Easement for the Hydro Electric Commission in the terms created by and more fully set out in A751455 over that portion of the Transmission Line Easement 50.00 metres wide shown within that part of Lot 3 marked "EFGHJK", as shown on the plan.

Signed by the Vendor

[Signature]
Robert Duncan Drewe

[Signature]
Ann Candida Baker

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Ann Candida Baker and Robert Duncan Drewe FOLIO REF: 252324/1 and 252458/1 SOLICITOR & REFERENCE: Peter Worrall Lawyers (Matthew Pawson)	PLAN SEALED BY: Clarence City Council DATE: 4 DECEMBER 2003 10-2003/100 REF NO. CORPORATE SECRETARY CLARENCE CITY COUNCIL
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 142549
SUBDIVIDER: Ann Candida Baker and Robert Duncan Drewe FOLIO REFERENCE: 252324/1 and 252458/1	

COVENANTS

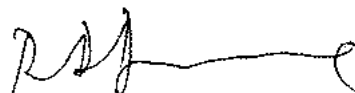
The Owner of each Lot covenants with ROBERT DUNCAN DREWE and ANN CANDIDA BAKER and the Owner or Owners for the time being of every other Lot shown on the plan to the intent that the burden of these covenants may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation;
2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation;
3. Not to use the land for any purpose except as a residence or for the purpose of house occupation without the prior consent of the Corporation in writing.
4. Not to use any engine or machinery in any trade or business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
- 5.. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

FENCING COVENANT

In respect of each Lot shown on the plan, the Vendor ROBERT DUNCAN DREWE and ANN CANDIDA BAKER shall not be required to fence.

Signed by the Vendor


Robert Duncan Drewe


Ann Candida Baker

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP142549
SUBDIVIDER: Ann Candida Baker and Robert Duncan Drewe FOLIO REFERENCE: 252324/1 and 252458/1	

INTERPRETATION

"right of way over the Right of Way (Private) 10.06 metres wide" means the right and liberty for Reginald Chipman the owner of the said land within described his successors in title his and their executors administrators and assigns his and their servants and workmen and all other by his or their permission full right and liberty at all times by day or by night and for all purposes with or without horses carts carriages waggons and other vehicles laden or unladen to go pass and repass and to drive cattle sheep and other animals along over and upon all that strip of land marked A.B.C.D. on Diagram No. 24992 and shown as Right of Way (Private) 10.06 wide on the plan.

"right of carriageway over the Right of Way (Private) 6.00 metres wide" is defined in the Schedule 8 of the *Conveyancing Law and Property Act 1884*.

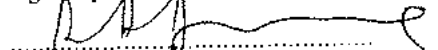
"Transmission Line Easement" means the full and free right and liberty for the Hydro Electric Commission and its successors and its and their servants agents and workmen at all times hereafter:

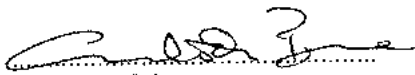
- (a) to clear the lands marked "Transmission Line Easement 50.00 wide on Diagram No. 16169 (the said lands being portion of the said land within described and being hereinafter called "the servient land") and to erect place inspect alter and repair renew maintain and use in upon and over and along and remove from the servient land towers poles wires cables apparatus appliances and other ancillary works (all of which are hereinafter collectively referred to as "the said lines") for the transmission and distribution of electrical energy and for purposes incidental thereto;
- (b) to cause or permit energy to flow or be transmitted through and along the said lines;
- (c) to cut away remove and keep clear of the said lines all trees and all other obstructions or erections of any nature whatsoever which may at any time overhang encroach or be in or on the servient land and which may in any way endanger or interfere with the proper operation of the said lines; and
- (d) to enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment machinery and vehicles of every kind.

"Corporation" means the Warden Councillors and Electors of the City of Clarence.

SEE OVER FOR EXECUTION

Signed by the Vendor


Robert Duncan Drewe

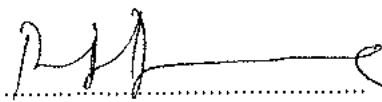
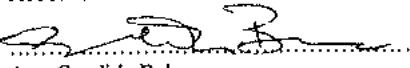

Ann Candida Baker

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 142549
SUBDIVIDER: Ann Candida Baker and Robert Duncan Drewe FOLIO REFERENCE: 252324/1 and 252458/1	

EXECUTION

Signed by the Vendor)
 ROBERT DUNCAN DREWE and)
 ANN CANDIDA BAKER)
 in the presence of)


 Robert Duncan Drewe

 Ann Candida Baker

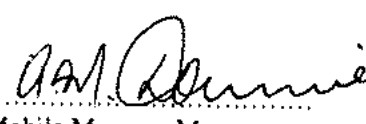
Witness Signature.....
 Witness Name.....
 Witness Address.....
 Witness Occupation.....


 BEVERLEY CARLON
 73 HUGHES RD. PRETTY BEACH 2257
 RETIRED / TEACHER

Signed for an on behalf of)
 NATIONAL AUSTRALIA BANK)
 as mortgagee of Folios of the Register)
 Volume 252324 Folio 1 and)
 Volume 252458 Folio 1)
 by its authorised officer(s))
 in the presence of)

Witness Signature.....
 Witness Name.....
 Witness Address.....
 Witness Occupation.....

Executed by NATIONAL AUSTRALIA BANK LIMITED)
 by its Attorney Andrew Michael Downie under Power of)
 Attorney No. 67/0241 and amended by 71/5033 (who)
 states that he holds the office in the NATIONAL AUSTRALIA)
 BANK LIMITED indicated under his signature and who declares)
 he has received no notice of revocation of the said Power) in the)
 presence of:)


 Mobile Manager Manager



Jenny Doran, Bank Officer
 76 Liverpool Street, Hobart

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PROPOSED NEW RESIDENCE

LOT 42 TASMAN RISE,

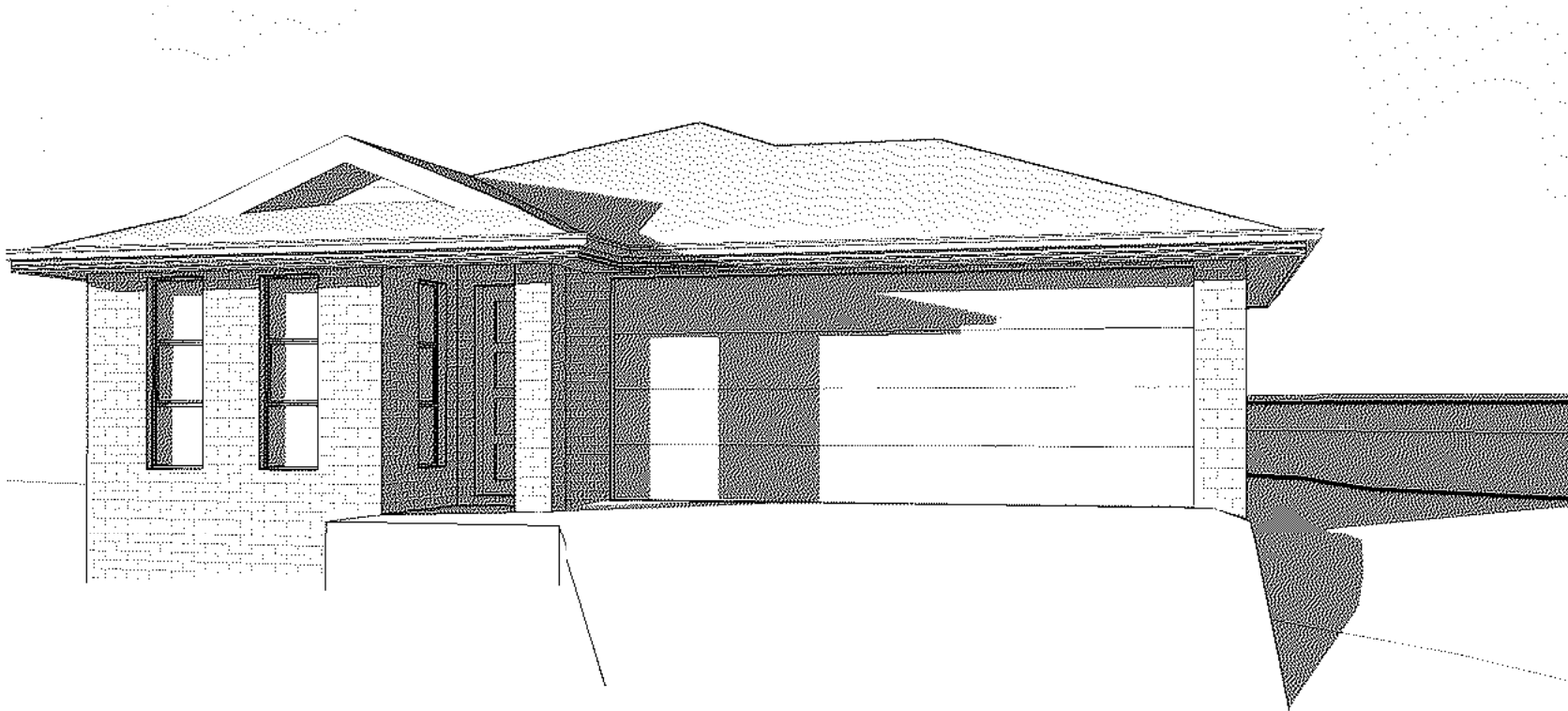
ROKEBY

KNEST

PD26032

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	FLOOR PLAN
05	DOOR AND WINDOW SCHEDULES
06	ELEVATIONS
07	ELEVATIONS
08	ROOF PLAN
09	PERSPECTIVES



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 189872/42
SITE AREA: 455m²
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: P (PLUMBING TO BE INSTALLED USING H-1 REFER TO SOIL REPORT BY DOYLE CONSULTING)
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: NO
BAL RATING: LOW
OTHER KNOWN HAZARDS: LOW LANDSLIP HAZARD BAND, WATERWAY AND COASTAL PROTECTION AREA, AIRPORT OBSTACLE LIMITATION AREA, ELECTRICITY TRANSMISSION CORRIDOR, PRIORITY VEGETATION AREA, INNER PROTECTION AREA, FLOOD-PRONE AREAS, BUSHFIRE-PRONE AREAS



L: 10 Goodman Court , Invermay, 7248
p(0) + 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009
p(h)+03 6228 4575
info@primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A



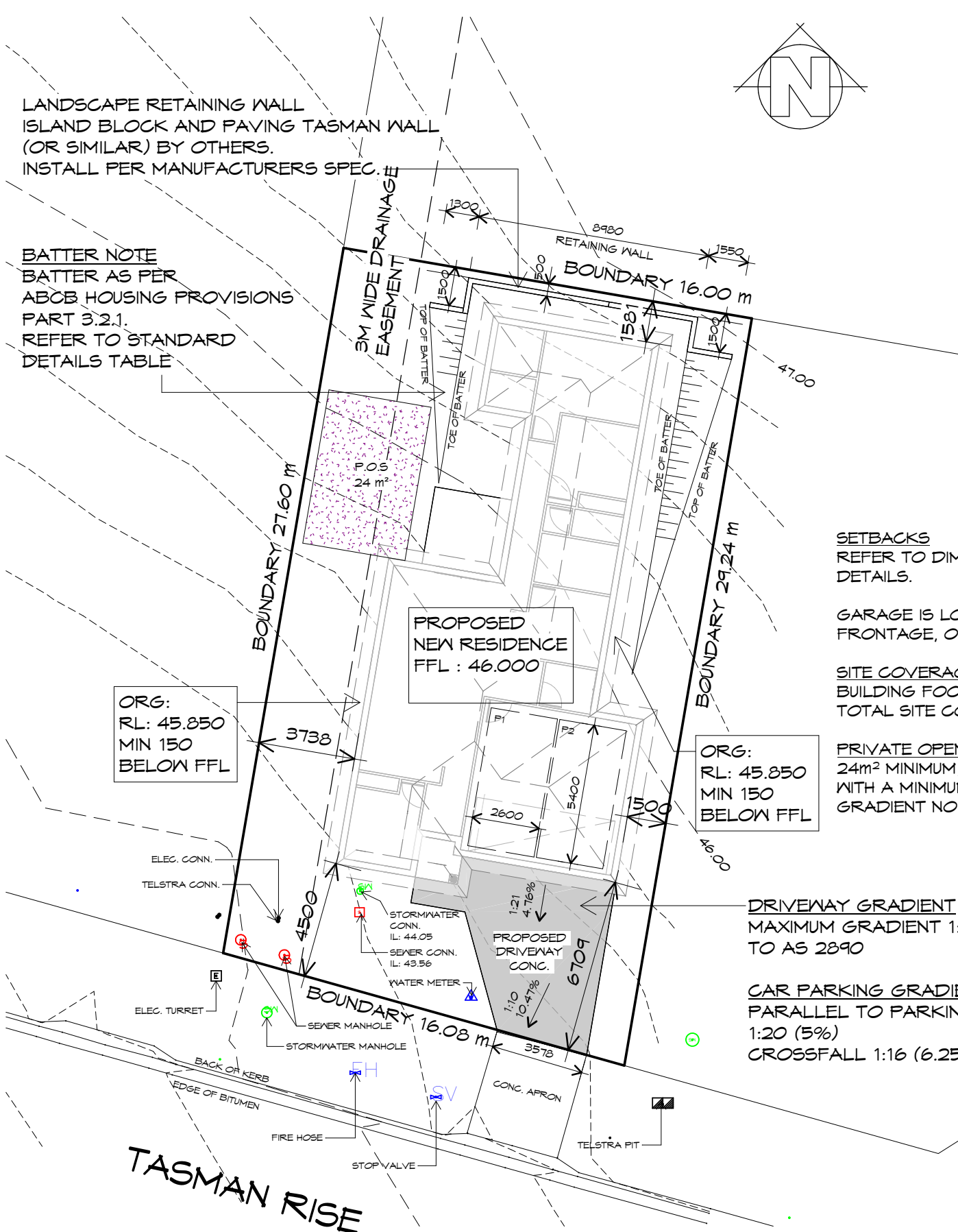
FLOOR AREA	125.14	m2	(13.47 SQUARES)
GARAGE AREA	38.55	m2	(4.15 SQUARES)
TOTAL AREA	163.68		17.62

COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

REV. DATE DESCRIPTION

APRIL 2026

PLANNING



SITE PLAN
1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A.. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
 - DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEYOR'S NOTES:

THIS PLAN HAS BEEN PREPARED FOR KNEST FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.

THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.

THIS DATA IS ON A PLANE COORDINATE SYSTEM -

DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE. THE COORDINATES HAVE AN MGA2020 ORIGIN AT SPM9529 (E:536564.131 N:5251746.728 RL:56.30) THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA2020 COORDINATE SYSTEM IS 0.99960760 USING SPM9529 AS THE SCALE ORIGIN POINT.

BOUNDARIES ARE PROVISIONAL ONLY AND HAVE BEEN SUPPLIED BY LEARY, COX & CRIPPS SURVEYORS

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW** ALL CONSTRUCTION MUST COMPLY WITH AS3959. THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

Drawing:
SITE PLAN



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Prime Design

Accredited building practitioner: Frank Gekus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

Date:	Drafted by:	Approved by:
22.04.2026	M.C.	A.J.C
Project/Drawing no:	Scale:	Revision:
PD26032 - 01	1 : 200	01

SITE DRAINAGE PLAN

1 : 200



REV. DATE DESCRIPTION

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

Drawing:
SITE DRAINAGE PLAN

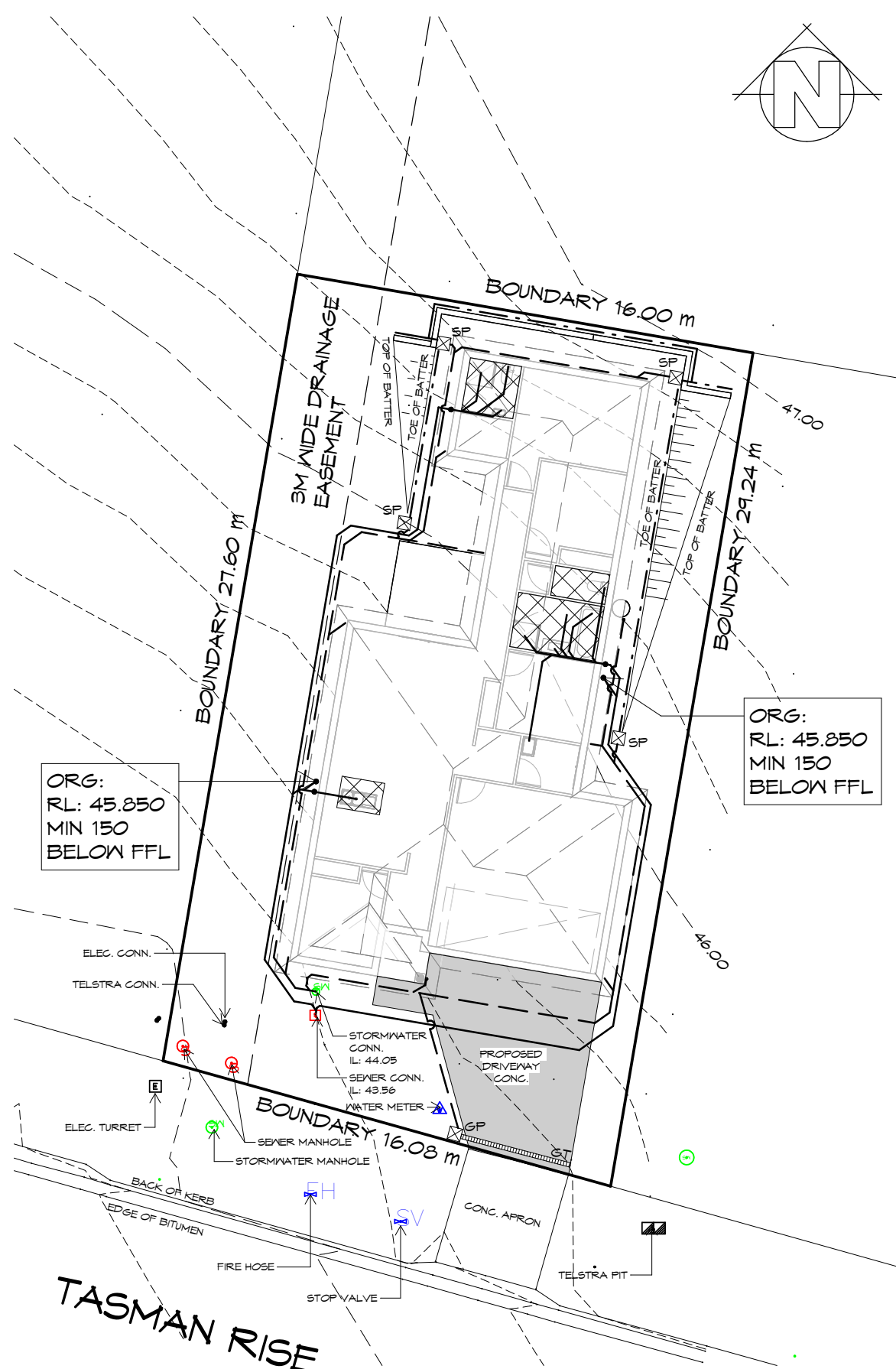


L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 22.04.2026
Drafted by: M.C.
Approved by: A.J.C.

Project/Drawing no: PD26032 - 02
Scale: As indicated
Revision: 01

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



LEGEND

- GP 450X 450 GRATED DRAINAGE PIT
- SP 450X 450 SEDIMENT DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100φ AG DRAIN
- 150 WIDE GRATED TRENCH

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

SEWER AND WATER SERVICES

- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
- WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY

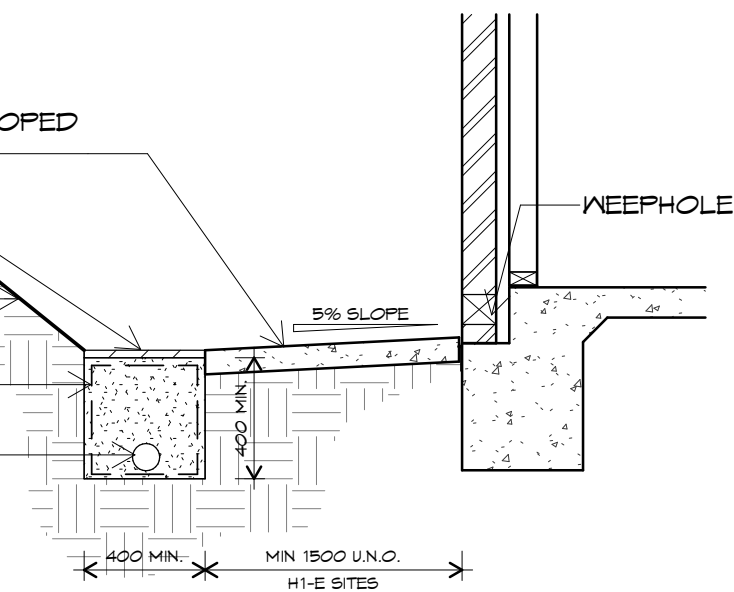
IMPERVIOUS SURFACE SLOPED AWAY FROM BUILDING

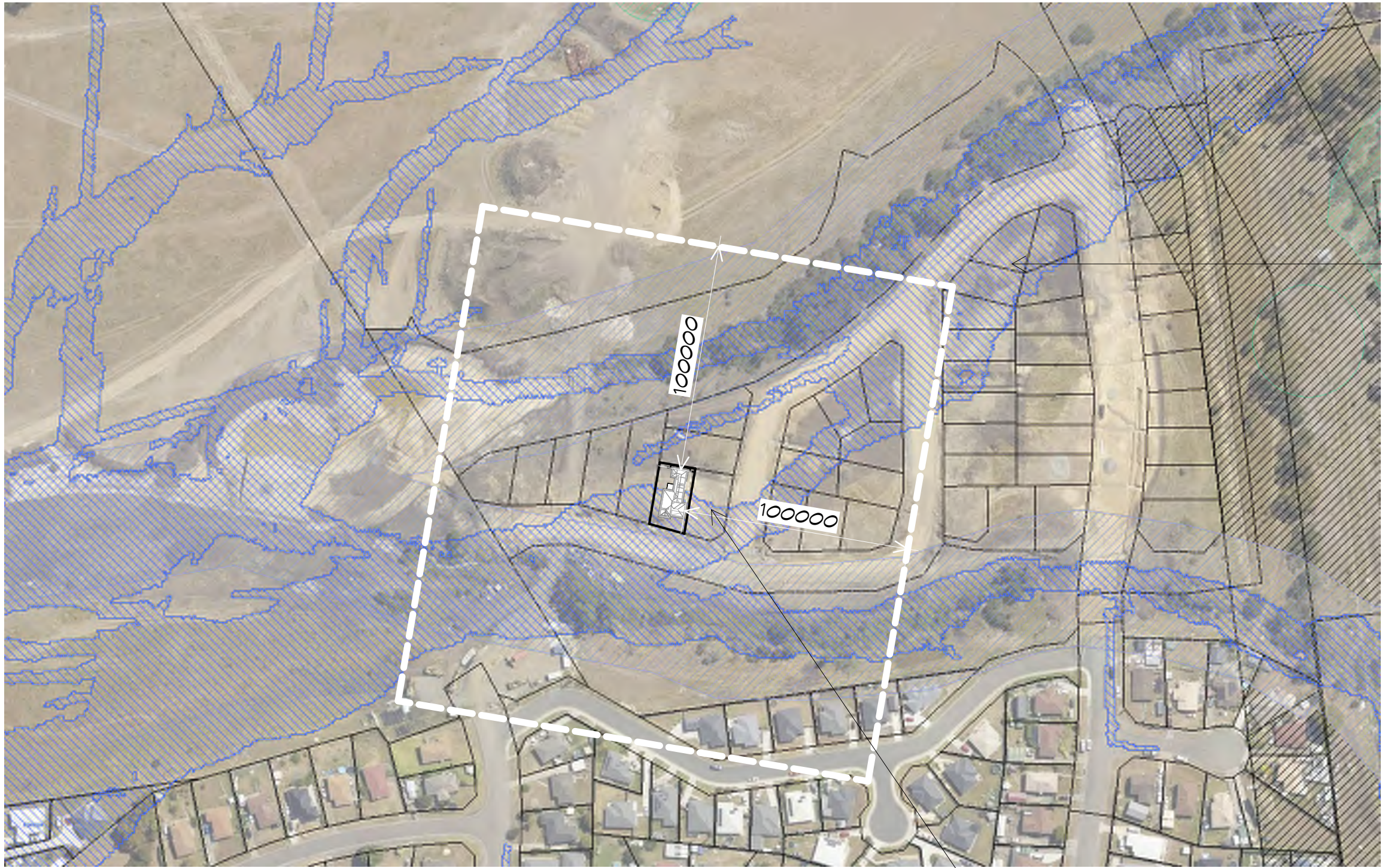
TRENCH BACKFILL PER TABLE

EMBANKMENT

GEOTEXTILE FILTER

AG DRAIN @ MIN. 1% GRADIENT





LOCALITY PLAN
1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES** A BUSHFIRE ASSESSMENT.
RESIDENCE IS NOT OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

PROPOSED NEW RESIDENCE
LOT 38 TASMAN RISE, ROKEBY



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

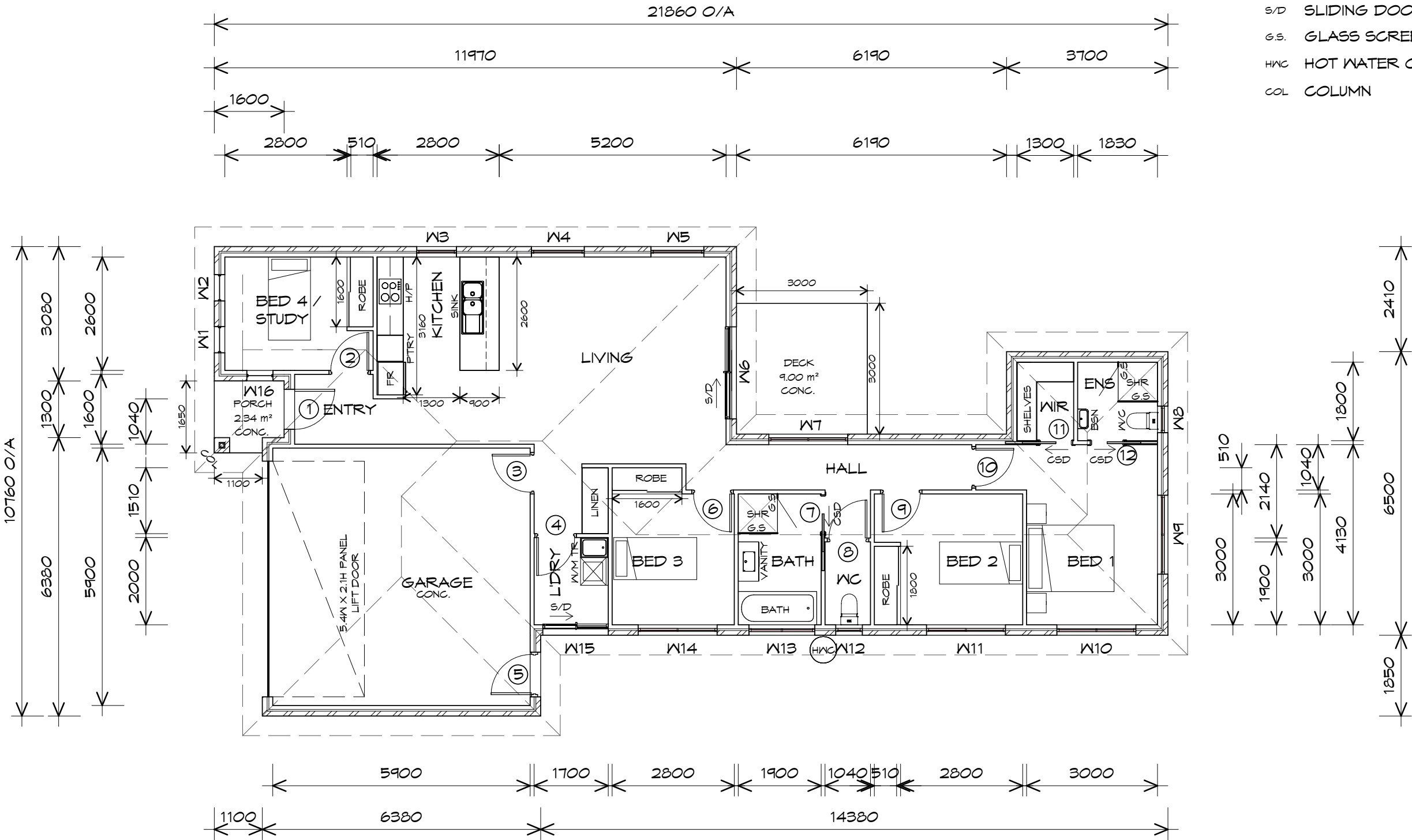
Drawing:
LOCALITY PLAN

Date: 22.04.2026	Drafted by: M.C.	Approved by: A.J.C
Project/Drawing no: PD26032 - 03	Scale: 1 : 2000	Revision: 01

Accredited building practitioner: Frank Gekus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- COL COLUMN



FLOOR PLAN
1 : 100

FLOOR AREA	125.14	m2	(13.47 SQUARES)
GARAGE AREA	38.55	m2	(4.15 SQUARES)
TOTAL AREA	163.68		17.62

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV. DATE DESCRIPTION

Client name:
KNEST

Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

Drawing:
FLOOR PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Date: 22.04.2026	Drafted by: M.C.	Approved by: A.J.C
Project/Drawing no: PD26032 - 04	Scale: 1 : 100	Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole
property of Prime Design Tas PTY Ltd

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL GLAZED DOOR	
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	870	INTERNAL TIMBER DOOR	
5	920	EXTERNAL HALF GLASS	
6	870	INTERNAL TIMBER DOOR	
7	870	CAVITY SLIDING DOOR	
8	870	INTERNAL TIMBER DOOR	
9	870	INTERNAL TIMBER DOOR	
10	870	INTERNAL TIMBER DOOR	
11	770	CAVITY SLIDING DOOR	
12	770	CAVITY SLIDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	600	AWNING WINDOW	
W2	1800	600	AWNING WINDOW	
W3	1800	910	AWNING WINDOW	
W4	1800	1210	AWNING WINDOW	
W5	1800	1210	AWNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	600	610	AWNING WINDOW	OPAQUE
W9	1800	1810	AWNING WINDOW	
W10	600	1810	AWNING WINDOW	
W11	1800	1810	AWNING WINDOW	
W12	900	610	AWNING WINDOW	OPAQUE
W13	600	1510	AWNING WINDOW	OPAQUE
W14	1800	1810	AWNING WINDOW	
W15	2100	1500	SLIDING DOOR	
W16	1800	600	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL LOW** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

EXTERNAL GLAZING TO BE LOW REFLECTIVITY
≤ 10% FOR ALL EXTERNAL SURFACES TO
COMPLY WITH CLA-S4.7.1 BIRD STRIKE;
PARANVILLE SPECIFIC AREA PLAN



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV. DATE DESCRIPTION

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

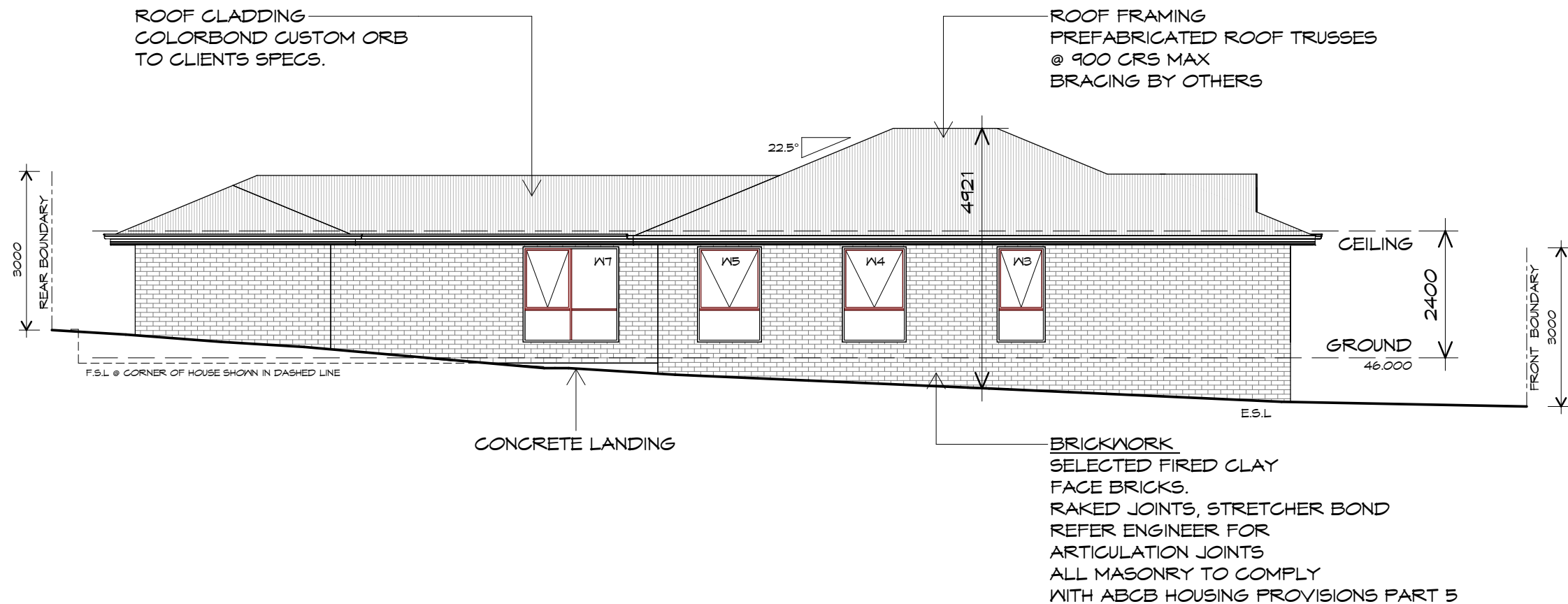
Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

Drawing:
DOOR AND WINDOW SCHEDULES

Date: 22.04.2026
Drafted by: M.C.
Approved by: A.J.C

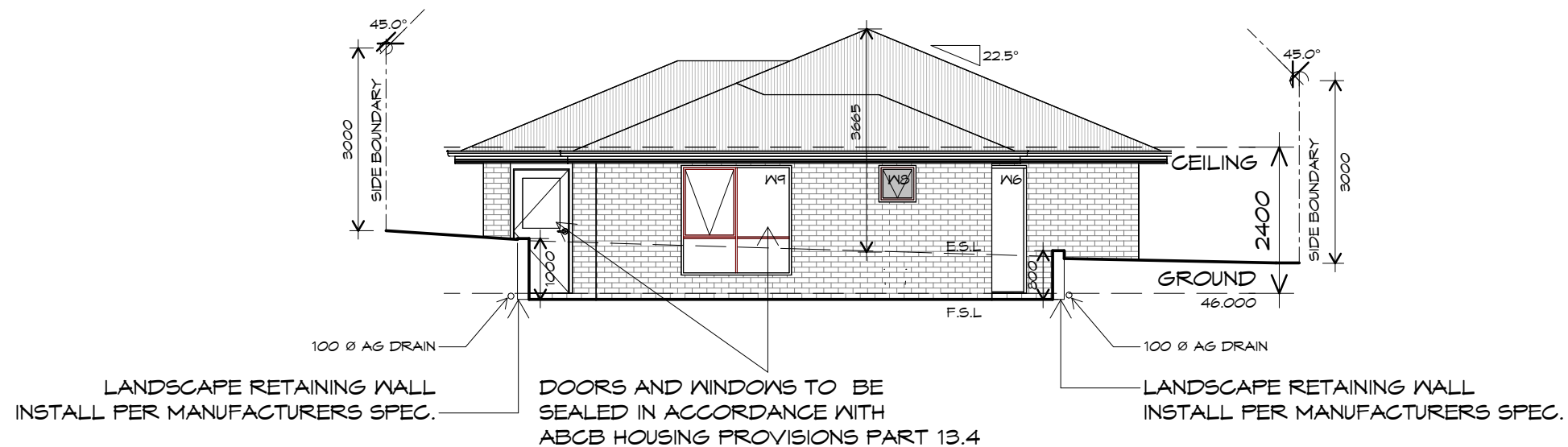
Project/Drawing no: PD26032 - 05
Scale:
Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole
property of Prime Design Tas PTY Ltd



NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

Prime Design

L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 22.04.2026 Drafted by: M.C. Approved by: A.J.C.

Project/Drawing no: PD26032 - 06 Scale: 1 : 100 Revision: 01

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



REV. DATE DESCRIPTION

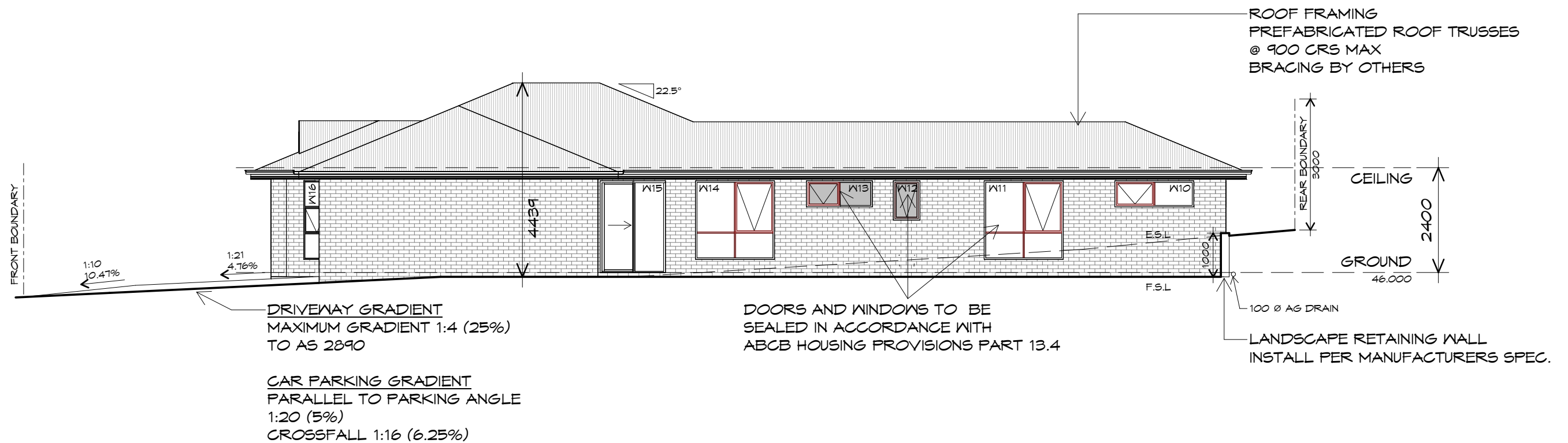
Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

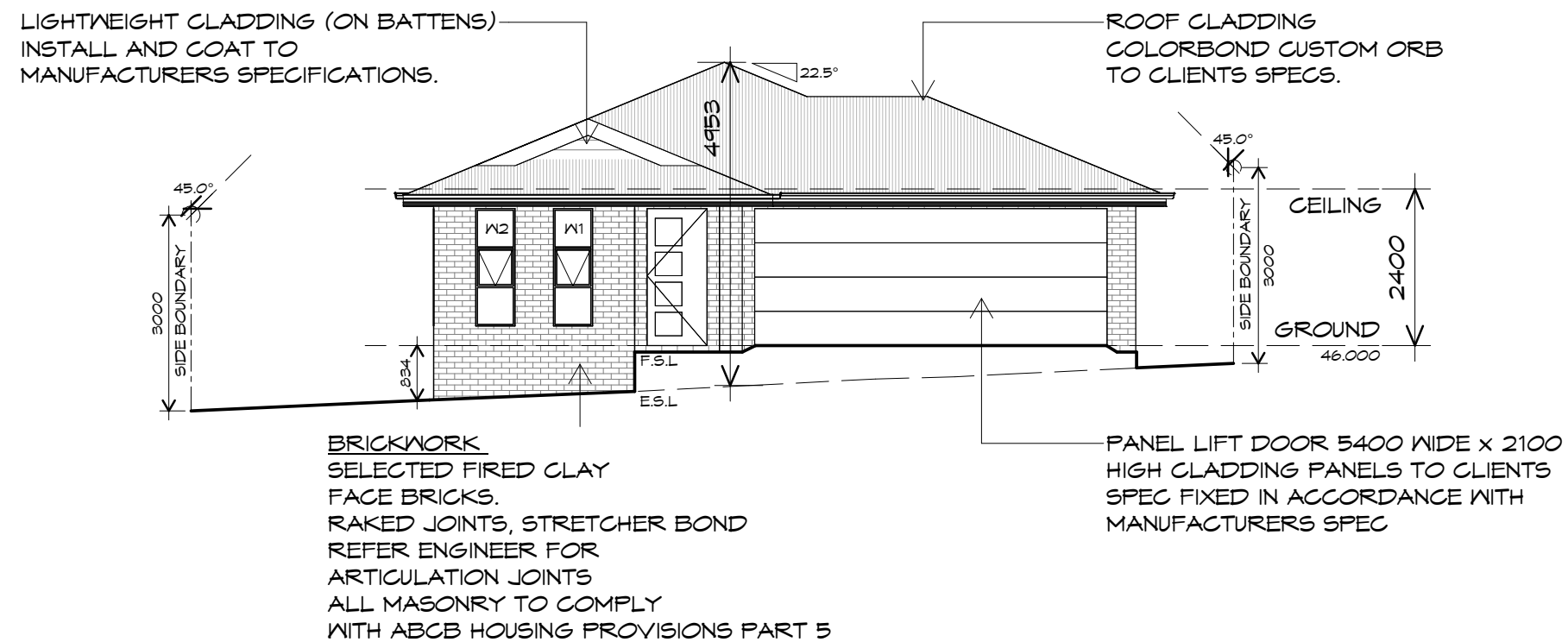
Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

Drawing:
ELEVATIONS



SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100



REV. DATE DESCRIPTION

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

Drawing:
ELEVATIONS



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date: 22.04.2026	Drafted by: M.C.	Approved by: A.J.C
Project/Drawing no: PD26032 - 07	Scale: 1 : 100	Revision: 01

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
A533500.3:2021

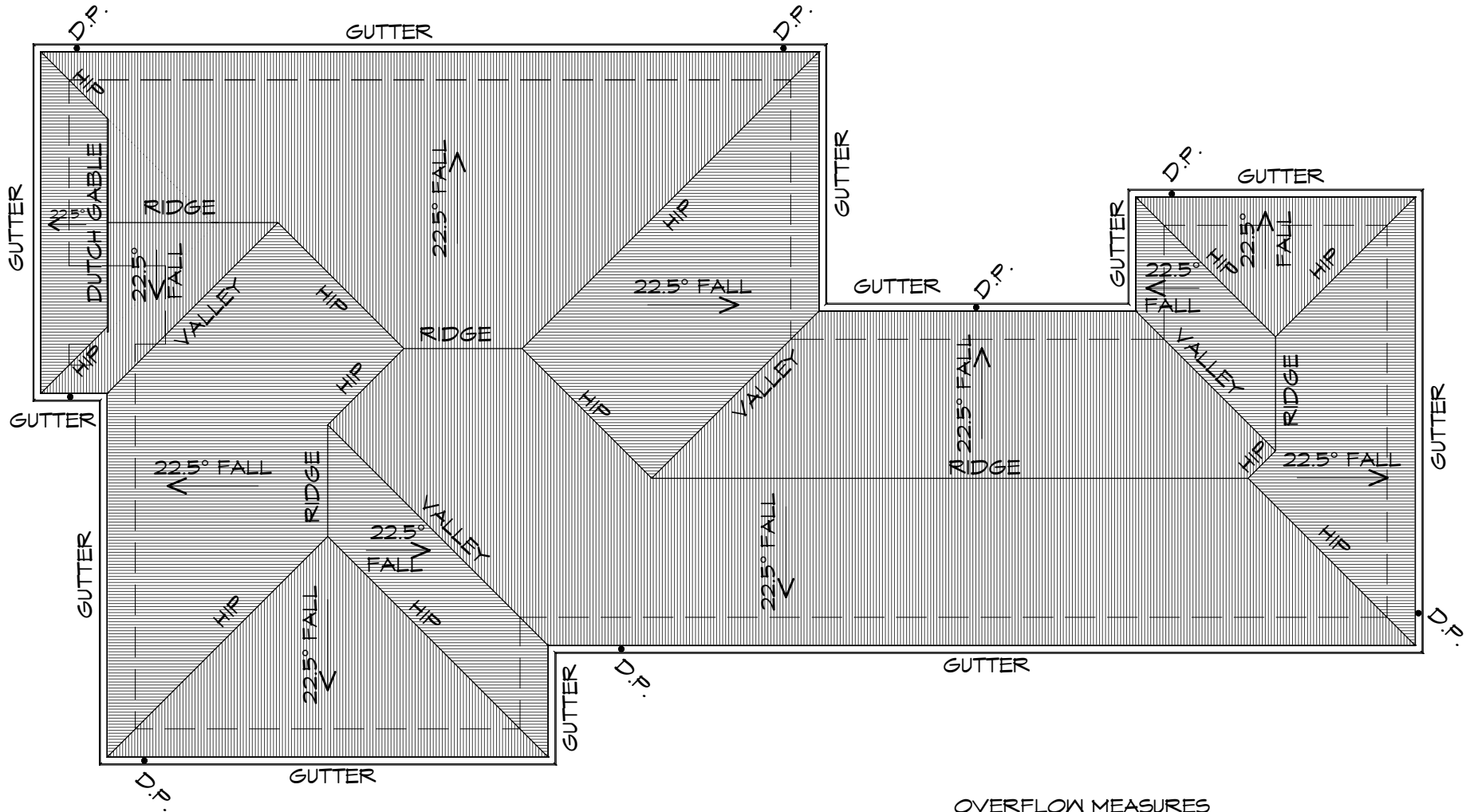
UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



ROOF PLAN
1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

OVERFLOW MEASURES
INSTALL FRONT FACE SLOTTED GUTTER OR
10mm CONTROLLED BACK GAP, STAND OFF
BRACKET WITH SPACER.
BACK OF GUTTER INSTALLED A MINIMUM OF
10mm BELOW THE TOP OF FASCIA
INSTALL IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.4.6

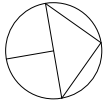


REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
KNEST

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

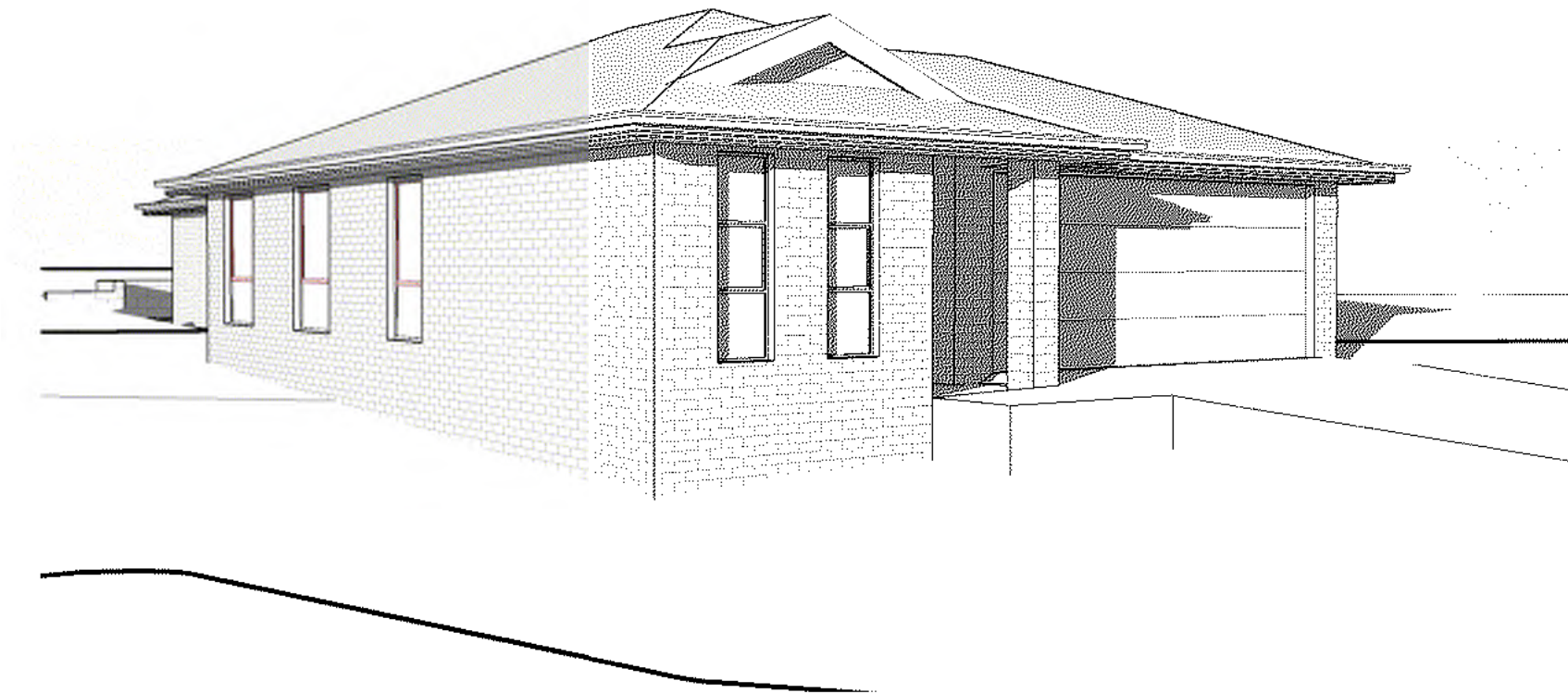
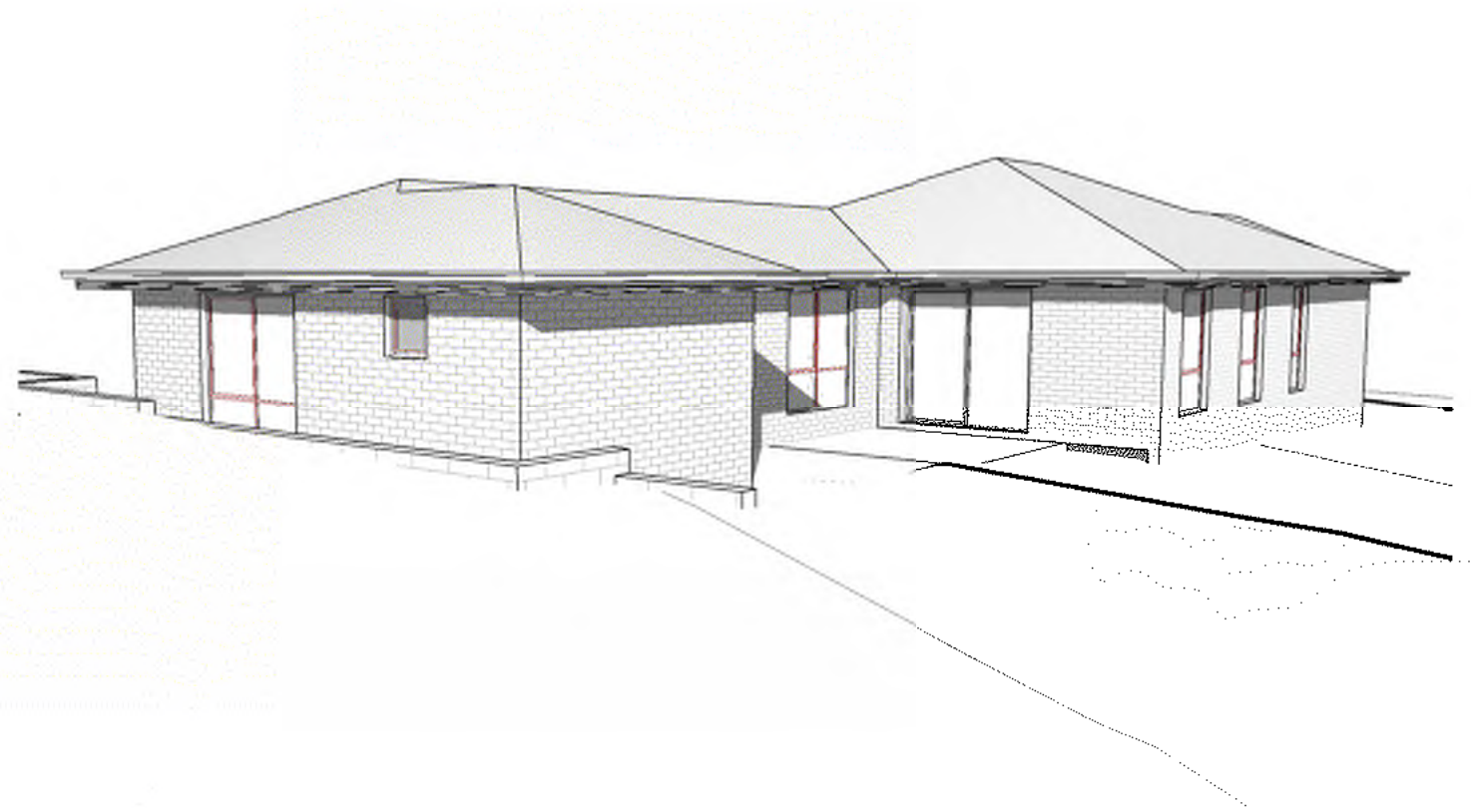
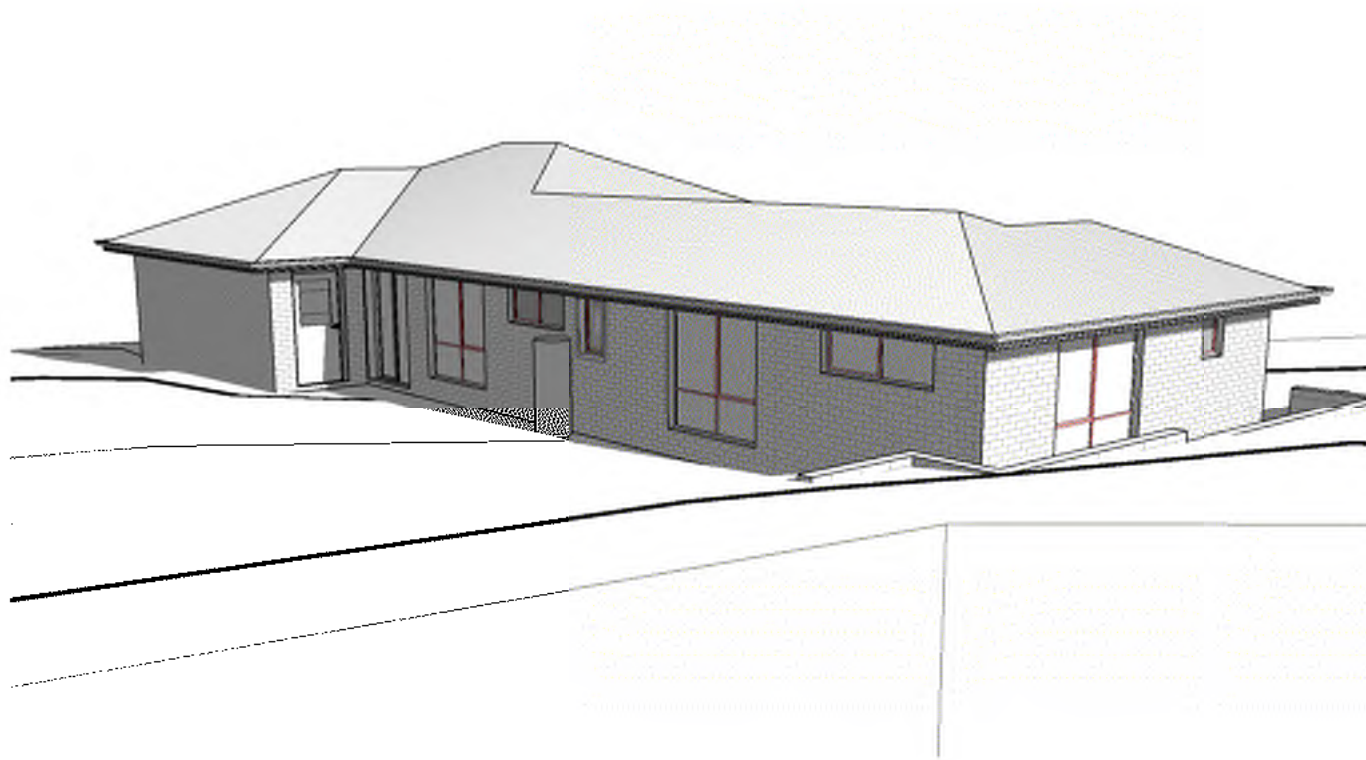
Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY
Drawing:
ROOF PLAN



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 22.04.2026	Drafted by: M.C.	Approved by: A.J.C
Project/Drawing no: PD26032 - 08	Scale: 1 : 100	Revision: 01

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole
property of Prime Design Tas PTY Ltd



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



BUILDING DESIGNERS
AUSTRALIA



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
KNEST

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 42 TASMAN RISE,
ROKEBY

Drawing:
PERSPECTIVES

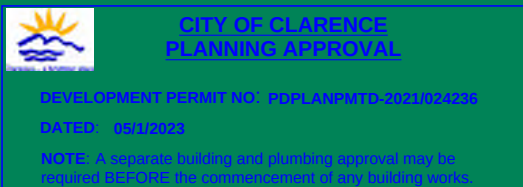
Date:	Drafted by:	Approved by:
22.04.2026	M.C.	A.J.C

Project/Drawing no:	Scale:	Revision:
PD26032 - 09		01

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

STORMWATER REPORT

FOR ORIGINAL INSIGHT PTY LTD
93 PASS ROAD, ROKEBY



October 2022

JMG Project No. J220268CS

Issuing Office: 117 Harrington Street, Hobart 7000
JMG Project No. J220268CS

Document Issue Status

Ver.	Issue Date	Description	Originator	Checked	Approved
1	12.09.2022	Issued to client	JMB	RWH	CJM
2	20.10.2022	Revised following Council review	JMB	RWH	CJM

CONDITIONS OF USE OF THIS DOCUMENT

1. Copyright © All rights reserved. This document and its intellectual content remains the intellectual property of JOHNSTONE McGEE & GANDY PTY LTD (JMG). ABN 76 473 834 852 ACN 009 547 139
2. The recipient client is licensed to use this document for its commissioned purpose subject to authorisation per 3. below. Unlicensed use is prohibited. Unlicensed parties may not copy, reproduce or retransmit this document or any part of this document without JMG's prior written permission. Amendment of this document is prohibited by any party other than JMG.
3. This document must be signed "Approved" by JMG to authorise it for use. JMG accept no liability whatsoever for unauthorised or unlicensed use.
4. Electronic files must be scanned and verified *virus free* by the receiver. JMG accept no responsibility for loss or damage caused by the use of files containing viruses.
5. This document must only be reproduced and/or distributed in full colour. JMG accepts no liability arising from failure to comply with this requirement.

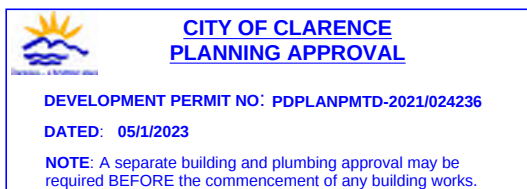


TABLE OF CONTENTS

1.	Introduction	4
2.	Proposed Development	4
2.1	Proposed Stormwater Infrastructure	5
3.	Stormwater Quantity Control	5
3.1	Pre-Development runoff	5
3.2	Post Development Runoff	8
3.3	Major Drainage System Analysis.....	11
3.4	Stormwater Quantity Control Summary	12
4.	Stormwater Quality Control	13
4.1	Gross Pollutant Traps (GPT's)	13
4.2	Detention Basin.....	13
4.3	Wetland.....	13
4.4	Treatment Train Effectiveness (MUSIC)	13
5.	Conclusions and Recommendations	14

Appendix A - Development Site Plan

Appendix B - Pre-Development Catchments

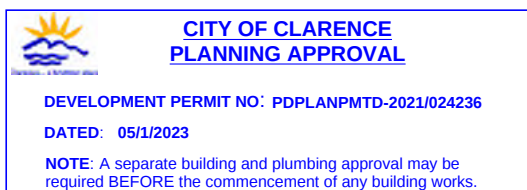
Appendix C - Post Development Catchments

Appendix D - Forebay and Wetland Cross Section

Appendix E - Hutchings Spurr Swale Design

Appendix F - Watercourse and wetland drawings

Appendix G - Landscaping plans



1. Introduction

A 130 Lot subdivision is planned for 93 Pass Road, Rokeby. Hutchings Spurr (HS) consulting engineers are undertaking detailed design for the development and have engaged JMG Engineers & Planners to assist with stormwater design.

The development is to be assessed under the Tasmanian Planning Scheme, which requires stormwater design to be compliant with Council's publication *Stormwater Management Procedure for New Development*. This report addresses the following aspects of this Procedure:

Stormwater Quantity:

- The minor stormwater drainage system shall be designed for the 5% AEP flooding event.
- The increase in runoff due to the development shall be accommodated within on-site detention as there is insufficient capacity in the receiving waterways.
- The major stormwater drainage system in new developments shall be designed for the safe conveyance of the 1% AEP storm event with an allowance for climate change (RCP 8.5 for the year 2090). Existing waterways are to be maintained and enhanced where possible.

Stormwater Quality:

- Water Sensitive Urban Design principles shall be incorporated into the design to achieve the following targets:
 - 90% reduction in the average annual load of gross pollutants based on typical urban stormwater concentrations
 - 80% reduction in the average annual load of total suspended solids (TSS) based on typical urban stormwater concentrations
 - 45% reduction in the average annual load of total phosphorous (TP) based on typical urban stormwater concentrations
 - 45% reduction in the average annual load of total nitrogen (TN) based on typical urban stormwater concentrations

2. Proposed Development

The proposal comprises a standard urban residential sub-division and is a natural extension to previously approved developments to the west (at 91 Pass Road) and constructed developments to the south at Rockingham Drive, Clarendon Vale. Refer Figure 1.

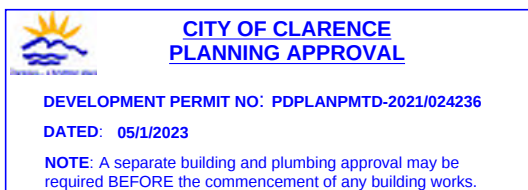




Figure 1 - Subject site locality plan

The proposal is for a 130 lot development across the south western portion of the property with a potential further approximate 38 lots (4.4Ha) to the east and 46 lots (6.2Ha) to the north (refer Appendix A- Development site plan). The potential future lots have been included in the assessment to allow for future development should they proceed.

2.1 *Proposed Stormwater Infrastructure*

Impervious areas will be serviced with standard urban residential pits and pipes sized for the 5% AEP rainfall event in accordance with Council requirements.

Additional runoff caused by the increase in impervious area will be detained in a detention basin sized to limit flows to pre-development levels.

Stormwater quality will be managed through Gross Pollutant Traps (GPT’s), the detention basin and a wetland.

Refer to the sections below for detailed analysis of the required infrastructure.

3. Stormwater Quantity Control

Runoff from the site drains directly into Sawpit Gully, which subsequently drains to Stokell Creek and Clarence Plains Rivulet. Council have undertaken flood studies on this catchment and advise that there are currently flooding issues downstream that should not be exacerbated by the development. Therefore, it is required to detain runoff to limit flows to pre-development levels for the 5% AEP rainfall event.

3.1 *Pre-Development runoff*

Pre-development runoff flows were calculated using Watercom Drains software (Drains) with the following inputs.

Hydrological Model

A RAFTS model was adopted for the pre-development scenario with inputs derived from the ARR Data Hub and ARR Book 9 Chapter 6 (or as noted otherwise), specifically:

- Impervious Area Initial Loss = 1mm
- Impervious Area Continuing Loss = 0mm/hr
- Pervious Area Initial Loss = 28mm
- Pervious Area Continuing Loss = 2.0mm/hr (reduced from recommended loss of 3.7mm/hr from the data hub due to guidance from Council)
- BX = 1
- Climate change factor for RCP 8.5 for year 2090 = 16.3%

Catchments

The proposed development area was broken into its respective catchments with characteristics provided in Appendix B. Note that flow path lengths and grades are from the centroid of the catchment, per recommendations for RAFTS modelling.

Rainfall Ensembles

In line with ARR 2019 recommendations, the model was run with a full ensemble of rainfall events including:

- Temporal patterns from the ARR Data Hub,
- Intensity Frequency Duration (IFD) depths from the BOM website, and
- Pre burst rainfall for the median case also from the ARR Data Hub.

Results

The maximum 5% AEP flow occurred during the modelled 6 hour burst for pattern 5 and is estimated at 820l/s. Refer Figure 2 and 3 below.

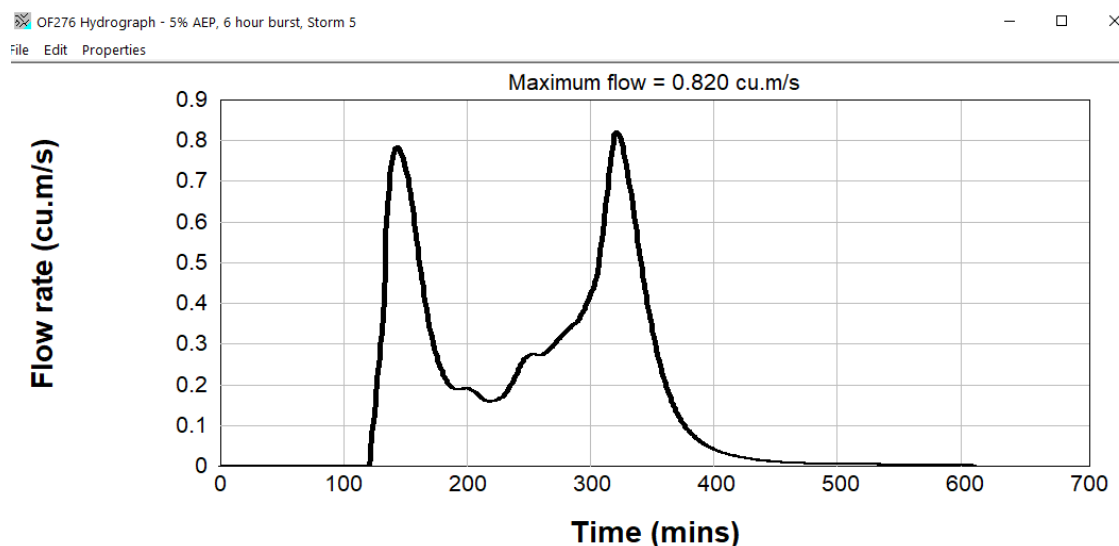


Figure 2 - Pre-development runoff hydrograph for the critical storm for the proposed development areas.

 **CITY OF CLARENCE**
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

Maximum flow in OF276 for each storm

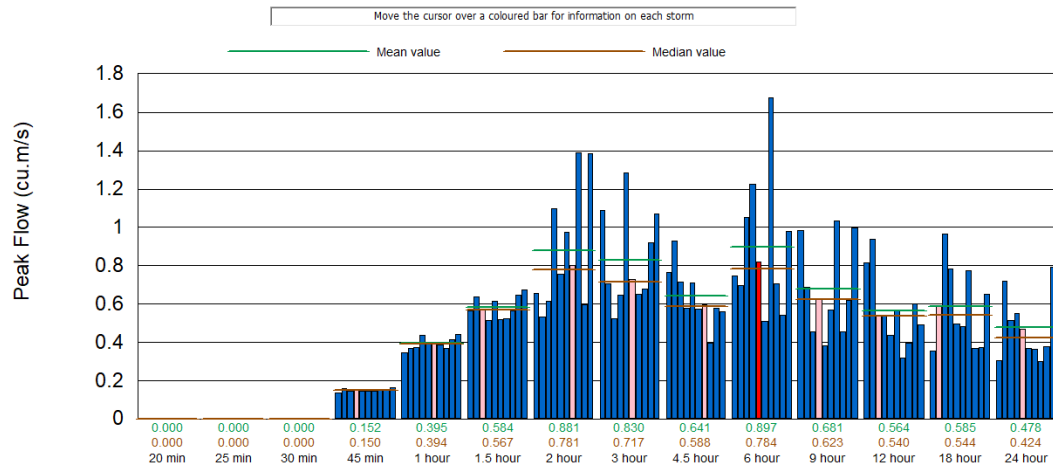


Figure 3 - Pre-development runoff for the various storms modelled.

Calibration Analysis

As a cross check, the 5% AEP pre development runoff was also calculated using the Rational Method with the following inputs:

Time of Concentration (ToC)

- Overland flow path length = 600m
- Overland flow path slope = 5%
- Surface roughness = 0.05 (sparse vegetation)
- Rainfall intensity = Approximately 35mm/hr
- Calculated Time of Concentration based on Kinematic Wave Equation

$$t = \frac{6.94 (L \cdot n^*)^{0.8}}{I^{0.4} \cdot S^{0.3}}$$

where t is the overland flow travel time (minutes)
 L is the flow path length (m)
 n* is a surface roughness or retardance factor
 I is rainfall intensity (mm/h), and
 S is the surface slope (m/m).

t = 32 minutes, rounded to 30 minutes.



CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

Flow estimation

- Rainfall intensity, I = 34.9mm/hr (30 minute ToC)
- Area, A = 180,483m² (18.048Ha)
- Runoff coefficient, C = 0.40 (For medium soil and 35mm/hr rainfall intensity)
- Climate change factor = 16.3%
- Peak 5% AEP flow, Q = 1.163*2.78*C*I*A
- = 1.163*2.78*0.40*34.9*18.048
- = 815 l/s

The correlation is very good. Therefore, a maximum pre-development 5% AEP runoff including climate change of 820l/s has been adopted.

3.2 *Post Development Runoff*

Post development runoff analysis has been done using Drains in a similar fashion to predevelopment runoff.

Hydrological Model

The Initial Loss - Continuing Loss (IL-CL) model was used to analyse the developed catchment with the following inputs.

- Impervious Area Initial Loss = 1mm
- Impervious Area Continuing Loss = 0mm/hr
- Pervious Area Initial Loss = 28mm
- Pervious Area Continuing Loss = 2.0mm/hr
- Climate change factor for RCP 8.5 for year 2090 = 16.3%

Catchments

The detention volume required has been calculated by analysing three separate sub-basins within the overall catchment. A sensitivity analysis was done by further delineating the sub-basins into smaller areas, but this was found to make very little difference. The Manning's n-value of the catchments and other flow path characteristics were also varied to investigate the possible impact, but changes were also found to be negligible.

The adopted catchment characteristics are detailed in Appendix C. Note that the impervious areas used in the IL-CL model are divided into Effective and Remaining. The Effective Impervious Area (EIA) is that which is directly connected to the downstream drainage network. This has been conservatively taken as 85% of the Total Impervious Area, which has been assumed to be 70% of the total development area. Therefore, the EIA adopted is 60% of total area, the RIA is 10% and the Pervious Area is 30%.

Hydraulic Model

The Drains model was set up with the developed catchment draining to a forebay/detention basin of approximately 2200m³. The forebay has two outlets, a low flow outlet to the wetland and a high flow outlet direct to the creek. The low flow outlet is set 500mm below the high flow outlet to ensure that all low flows are directed to the wetland for treatment.

The wetland has approximately 4000m³ capacity with a treatment surface area of approximately 1000m² and has a small orifice outlet to ensure adequate detention time for treatment. The total outflow from the forebay and wetland combined is no greater than pre-development levels.

A schematic profile is shown in Figure 4 and also included in Appendix D. Note that the wetland batter slopes are shown schematically only. Surface areas and volumes have been based on best practice batter slopes to provide safety benching and shallow batters.



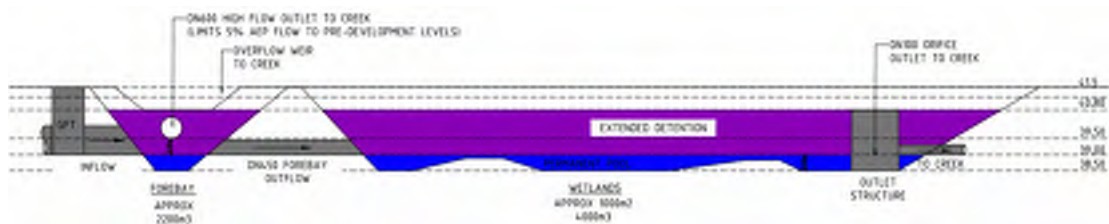


Figure 4 - Profile schematic of forebay and wetland

Results

The maximum 5% AEP inflow to the forebay occurs during a 15 minute storm burst, which would be expected for an urban development of this scale. The total inflow peaks at around 1.87m³/s for the critical median storm event. Refer Figure 5.



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

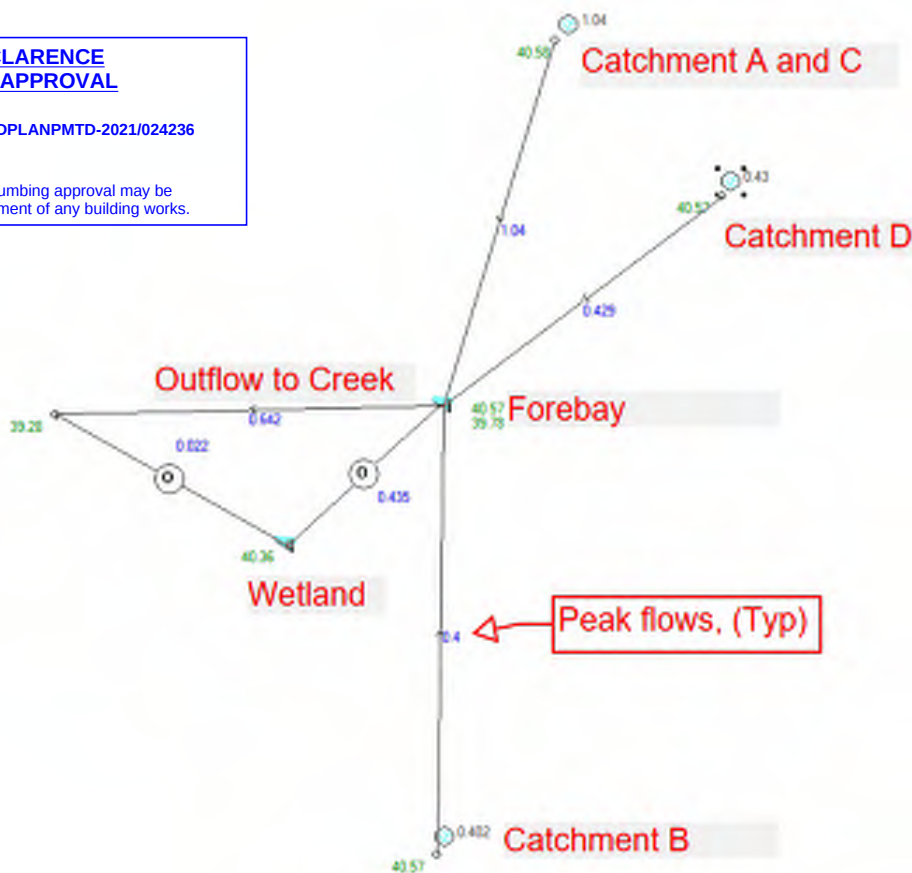


Figure 5 - Drains model showing maximum inflow (for median storm event) to wetland forebay (accumulation of 1.04m³/s from catchments A and C, 0.429m³/s from catchment D and 0.400m³/s from catchment B).

The maximum 5% AEP outflow from the forebay to the adjacent creek (bypassing the wetland) occurs during a 1 hour storm burst and is approximately 642l/s as shown in Figure 6 and 7. This flow is less than the pre-development 5% AEP flow of 820l/s and therefore complies with Council requirements (noting that there is a very small additional flow from the wetland of approximately 15l/s at the 60 minute time step, refer Figure 9).



Pipe to Creek Hydrograph - 5% AEP, 1 hour burst, Storm 9
File Edit Properties

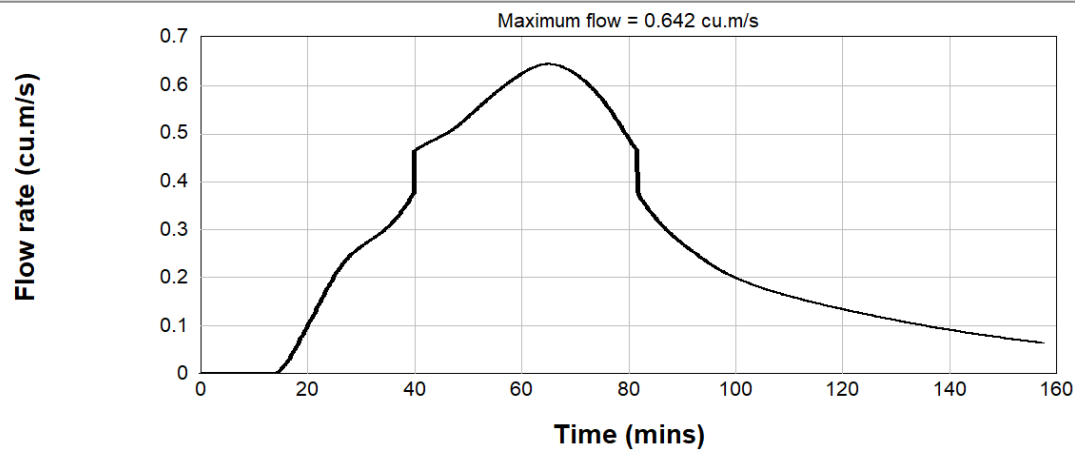


Figure 6 - High flow bypass median 5% AEP hydrograph

Maximum flow in Pipe to Creek for each storm

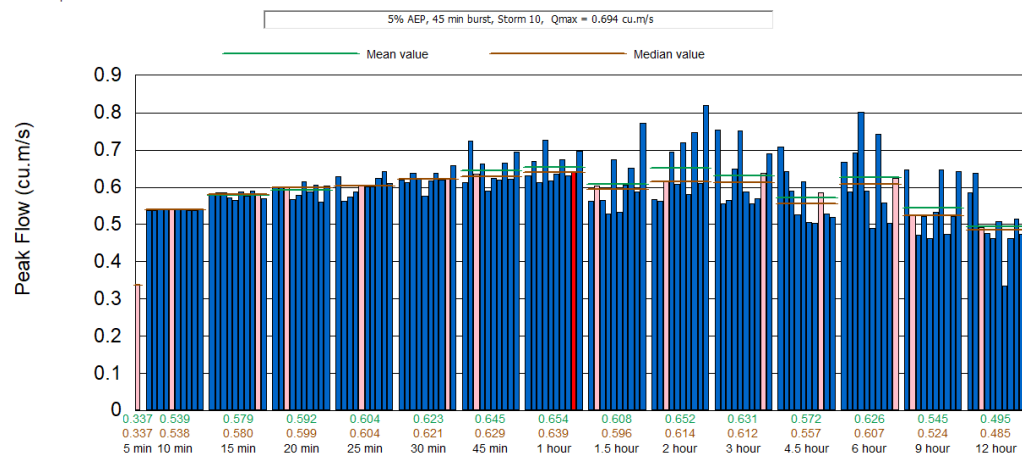


Figure 7 - High flow bypass flows for various storms modelled.

Other pertinent outputs from the Drains model are shown in the following figures.

To Wetland Hydrograph - 5% AEP, 15 min burst, Storm 4
File Edit Properties

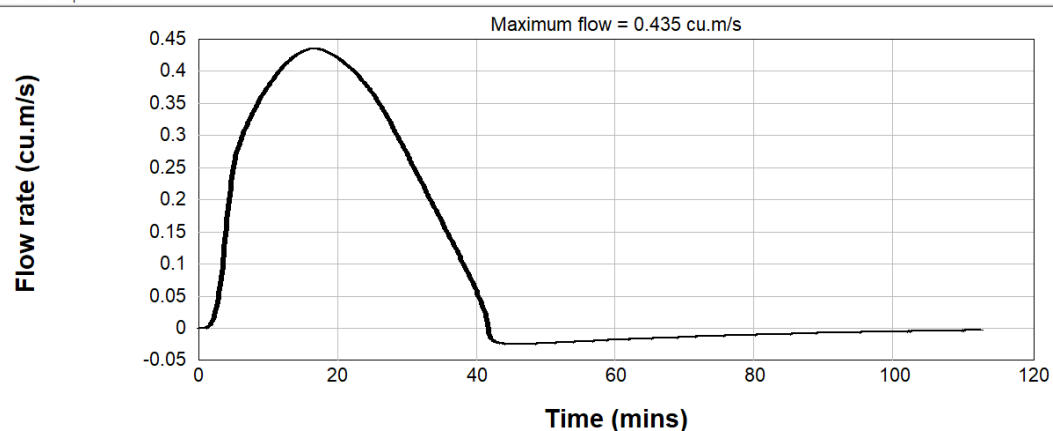


Figure 8 - 5% AEP median hydrograph for flows from the forebay to the wetland.

From wetland Hydrograph - 5% AEP, 3 hour burst, Storm 8

File Edit Properties

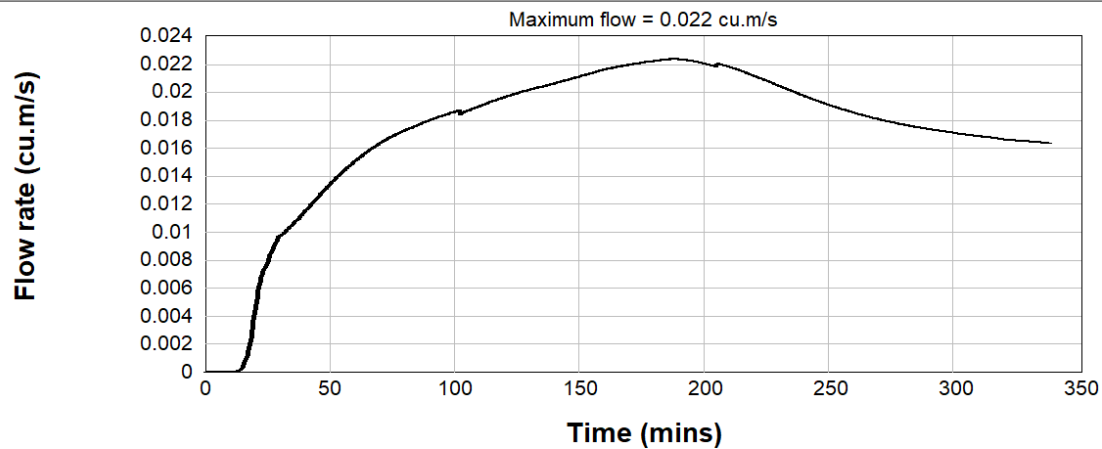


Figure 9 - 5% AEP median hydrograph for flows from the wetland to the creek.

Calibration Analysis

Runoff from the developed areas has been checked using the Rational Method with the following inputs:

Time of Concentration estimated at 8 mins (5mins from property to pipe plus 3mins in pipe to wetland), rounded to 10mins.

Rainfall intensity, I = 64.4mm/hr

Area, A = 180,483m² (18.048Ha)

Runoff coefficient, C = 0.7

Climate change factor = 16.3%

Peak 5% AEP flow, Q = 1.163*2.78*C*I*A
 = 1.163*2.78*0.7*64.4*18.048
 = 2630l/s

The Drains model runoff is approximately 40% less than the estimated Rational Method runoff. This is likely to do with the assumed losses and attenuation of flow through the Drains model. Given that there isn't any flow data to calibrate the model from, it is assumed sufficiently accurate for infrastructure sizing.

3.3 Major Drainage System Analysis

Council have requested an analysis of the 1% AEP+CC flooding extent within the minor drainage channels that pass through the site for the following purposes:

1. To ensure that the major drainage system has sufficient capacity to convey the 1% AEP+CC flood flow in accordance with the following clause in their Management Procedure:
 - a. *The major stormwater drainage system in new developments shall be designed for the safe conveyance of the 1% AEP storm event with an allowance for climate change (RCP 8.5 for the year 2090). Existing waterways are to be maintained and enhanced where possible.*

2. To ascertain the amount of unencumbered Public Open Space (POS).

It is proposed to fully address this requirement as part of detailed design depending on Council's preference for the balance between maintaining the existing waterways, the provision for usable POS and ensuring sufficient hydraulic capacity. To this extent it is proposed to ensure that the mainstream channel has capacity for the 1% AEP flood flow with a proportion of the remaining POS being used for conveyance of larger flooding events and landscaping.

The minimum swale dimensions to effectively convey the 1% AEP flood extent have been established as part of the Development Application for 91 Pass Road. Refer to JMG's Stormwater Report for HBA Daesung Pty Ltd, 91 Pass Road, Rokeby (2020) for details. In summary, a swale with base width 7.5m and 4:1 batter slope will run approximately 600mm deep in the northern water course and 500mm deep in the southern water course with the 1% AEP flow. These swales are notated as B and C in Appendix E. Note that it is not proposed to develop trapezoidal swales to convey the flow. Rather, these dimensions have been used to provide guidance on any work to be done on the watercourses.

Additional analysis has been done to investigate the capacity of the current creek profile (refer Appendix F drawing SW1). The northern water course has sufficient capacity to take the 1% AEP flood flow through the proposed development area. However, water currently breaks out of the channel under the transmission lines and flows across to the southern water course. Some work will be required in this area to prevent this break out. Work will also be required to train the flow under proposed bridges and around the wetland. If this work is done, the approximate area of POS inundated during a 1% AEP flood event is 9885m². The total POS area is 27,000m², leaving approximately 17,115m² unencumbered area. Refer to the Landscaping plans (Appendix G) for further information on proposed treatment of the watercourses to provide for effective overland flow whilst maintaining natural values as far as possible.

Flow paths A and B in Appendix F drawing SW1 will be treated as follows:

- Flow path A will be redirected west to 91 Pass Road via a cut off drain. Council have provided a 1% AEP flow of 123l/s for this catchment. A standard earth V drain with 2:1 side batters and 1% grade will run approximately 330mm deep conveying this flow.
- Flow path B will be cut off by the proposed road. Council have provided a 1% AEP flow of 229l/s for this catchment. The road will have a grade of approximately 2.3% in this area and a standard kerb and gutter will run approximately 144mm deep to convey this flow. Whilst the gutter has just enough capacity, the downstream overland flow path should be carefully considered during detailed design to ensure safe conveyance of overland flows.

3.4 Stormwater Quantity Control Summary

The above analysis shows that the development is likely to comply with the stormwater quantity requirements as follows:

- The minor drainage system (pits and pipes) will be designed to contain the 5% AEP rainfall event as part of detailed design.
- The increase in runoff as a result of the development will be detained in a detention basin with sufficient capacity to reduce the 5% AEP runoff to pre-development levels.
- The major drainage system will provide capacity for the 1% AEP flood flow inclusive of climate change allowance.

4. Stormwater Quality Control

The required stormwater quality targets will be achieved through a treatment train approach consisting of GPT's, detention basin and wetland. These are described in detail below.

4.1 Gross Pollutant Traps (GPT's)

It is likely that two GPT's will be required, one for the northern and eastern catchment and one for the southern catchment. These have been initially sized to treat the 4EY rainfall event per Table 1. Note that Rocla CDS units have been specified, however any approved equivalent with the required treatable flow rate could be used.

Table 1 - Proposed GPT's (or equivalent).

Catchment	4EY flow	Proposed GPT
Northern and Eastern	280 l/s	Rocla CDS 1518
Southern	77 l/s	Rocla CDS 1009

4.2 Detention Basin

A 2.3m deep detention basin of approximately 1400m³ volume is required for stormwater quantity control (note that the proposed basin is larger than this to allow for safe freeboard heights above the overflow weir level). This basin will double as a sediment pond and high flow diversion structure to protect the wetland downstream. The detention basin has been modelled assuming a high flow bypass flow rate of 0.7m³/s, which is equivalent to the pre development 5% AEP flow rate. Low flows will carry on through to the wetland for further treatment.

4.3 Wetland

A 1000m² base area wetland has been specified. The wetland will be designed in accordance with industry best practice during detailed design but is expected to have the following attributes:

- Extended detention depth of 1.8m.
- Permanent pool volume approximately 700m³.
- Equivalent outlet orifice diameter of 100mm. Note that this may be revised to multiple smaller orifices to provide for greater detention time during low flows.

4.4 Treatment Train Effectiveness (MUSIC)

The proposed treatment train has been modelled using MUSIC (Model for Urban Stormwater Improvement Conceptualisation). Developed areas have been assumed at 70% impervious with results presented in Figure 10.

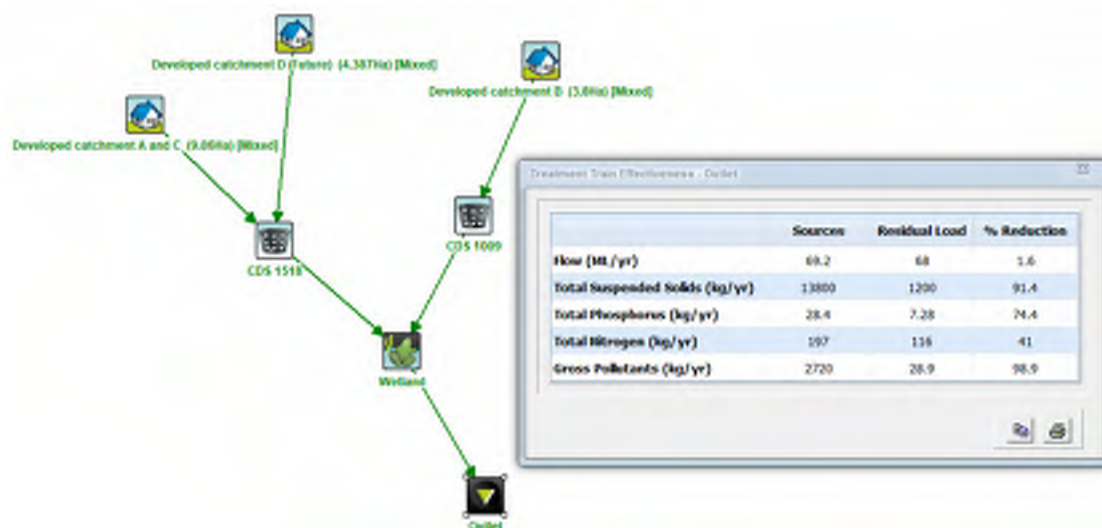


Figure 10 - MUSIC model and treatment train effectiveness

The MUSIC model shows that the minimum pollutant reductions of 80/45/45 (TSS/TP/TN) are almost achieved. The percent reduction of Total Nitrogen is not quite achieved. However, it should be noted that the model includes all future potential areas to the north (catchment C) and east (catchment D), which are not part of this application but included for completeness in the event that the development occurs.

If Catchment D is removed from the model, compliance is achieved (refer Figure 11).

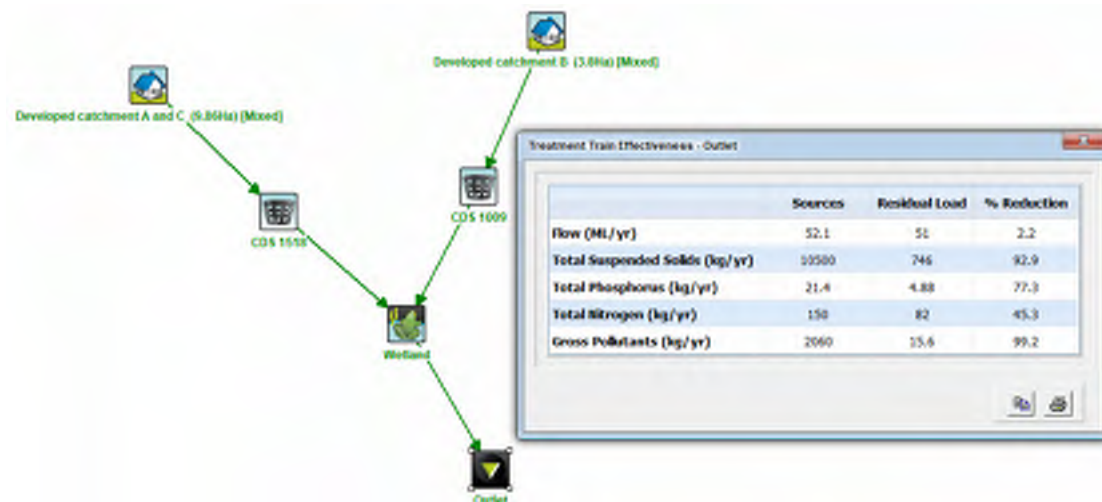


Figure 11 - MUSIC model and treatment train effectiveness for Catchments A,C and B only.

5. Conclusions and Recommendations

The proposed stormwater system inclusive of GPT's, detention storage and wetland comply with best practice and Council requirements. There is further scope to refine the design with consideration to public amenity, maintenance, landscaping, and natural value issues during detailed design. It is noted that all infrastructure has been oversized at this stage to allow for these requirements together with potential further development upstream within 93 Pass Road.



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX A

Development Site Plan



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

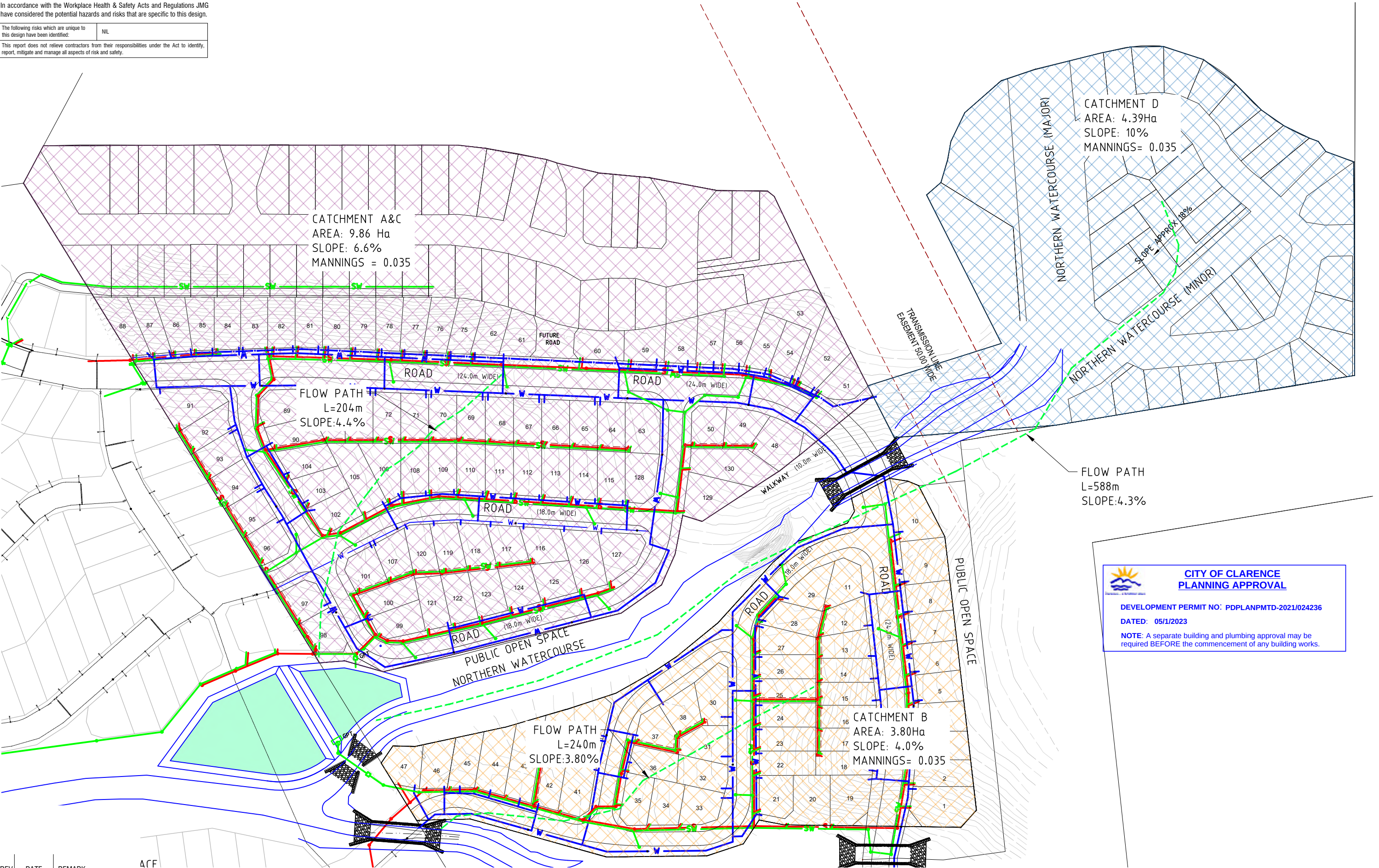
NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX B

Pre-Development Catchments

SAFETY IN DESIGN REPORT
In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	NIL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	





CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

REV	DATE	REMARK	ACF
Copyright © All rights reserved. This drawing and its intellectual content remains the intellectual property of JOHNSTONE McGEE & GANDY PTY LTD (JMG).			
The recipient client is licensed to use this drawing for its commissioned purpose subject to authorisation per note above. Unlicensed use is prohibited. Unlicensed parties may not copy, reproduce or retransmit or amend this document or any part of this document without JMG's prior written permission. Amendment of this document is prohibited by any party other than JMG. JMG reserve the right to revoke the licence for use of this document.			
Accepted JMB (Discipline Head)			Date
Accepted JMB (Team Leader)			Date
Approved CJM (Principal)			Date
This document must be signed "Approved" by JMG to authorise it for use. JMG accept no liability whatsoever for unauthorised or unlicensed use.			
SCALES @ A3		DESIGNED BY	DRAWN BY
NA		JMB	CF
DO NOT SCALE: Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check Architects & other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. JMG accepts no responsibility for dimensional information scaled or digitally derived from this document.		PLOT DATE	20/10/2022



Johnstone McGee & Gandy Pty. Ltd.
ACN 009 547 139 ABN 76 473 834 852
117 Harrington Street, Hobart, Tas (03) 6231 2555
49-51 Elizabeth Street, Launceston, Tas (03) 6334 5548
www.jmg.net.au infohbt@jmg.net.au infofn@jmg.net.au

PROJECT
**93 PASS ROAD
CLARENDON VALE
STAGES 1-13**

TITLE
**APPENDIX B
PRE DEVELOPMENT
CATCHMENTS**

PROJECT NO.	J220268CS	
DWG NO.	C02	REVISION P1
PLOT DETAILS	APPENDIX DRGS.DWG	



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX C

Post Development Catchments

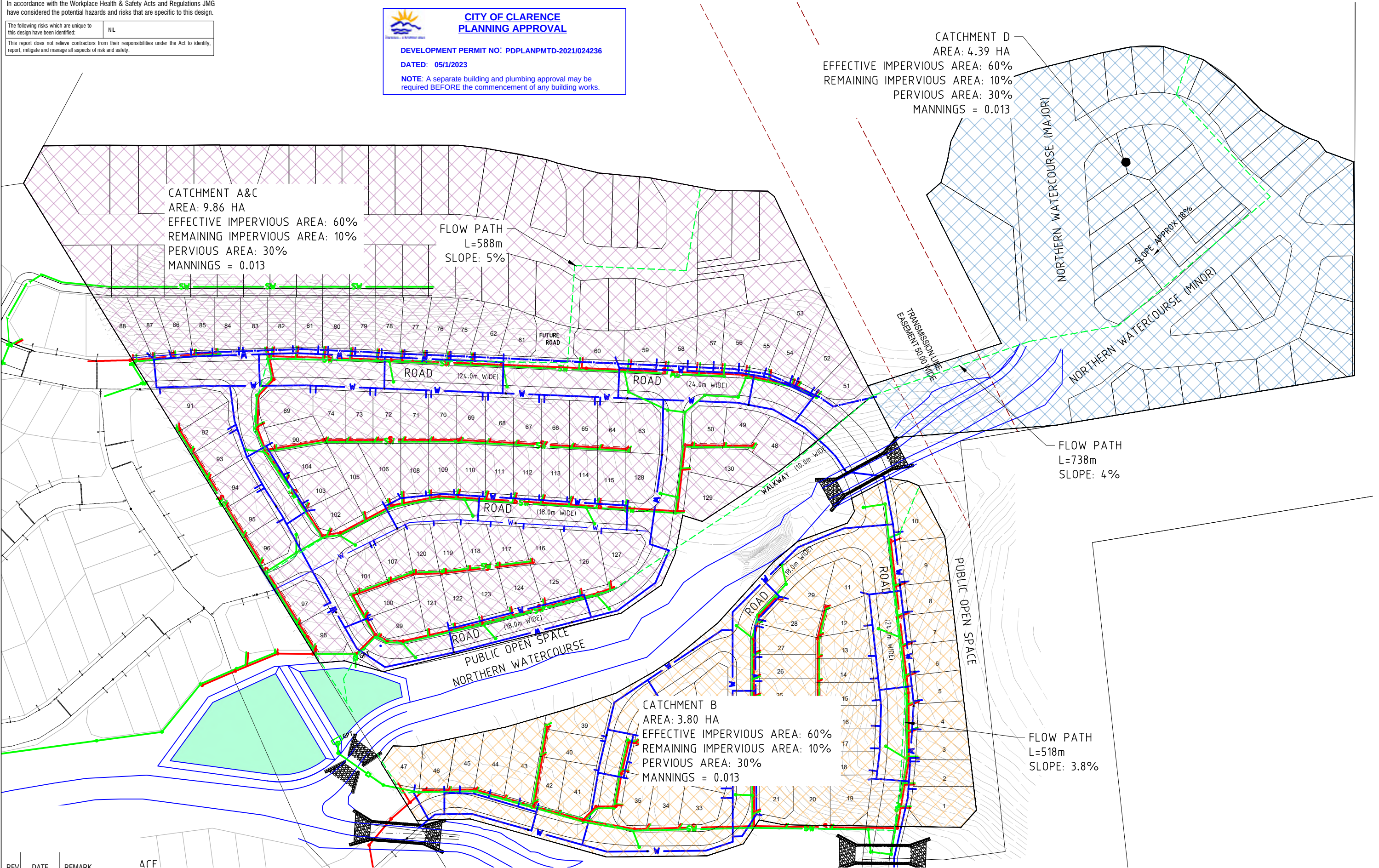
SAFETY IN DESIGN REPORT
In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	NIL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	



CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANMTD-2021/024236
DATED: 05/1/2023
NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.



REV	DATE	REMARK	ACF
Copyright © All rights reserved. This drawing and its intellectual content remains the intellectual property of JOHNSTONE MCGEE & GANDY PTY LTD (JMG).			
		Accepted JMB (Discipline Head)	Date
		Accepted JMB (Team Leader)	Date
		Approved CJM (Principal)	Date
		This document must be signed "Approved" by JMG to authorise it for use. JMG accept no liability whatsoever for unauthorised or unlicensed use.	
SCALES @ A3		DESIGNED BY	DRAWN BY
NA		JMB	CF
NA		PLOT DATE	20/10/2022
DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check Architects & other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. JMG accepts no responsibility for dimensional information scaled or digitally derived from this document.			



Johnstone McGee & Gandy Pty. Ltd.
ACN 009 547 139 ABN 76 473 834 852
117 Harrington Street, Hobart, Tas (03) 6231 2555
49-51 Elizabeth Street, Launceston, Tas (03) 6334 5548
www.jmg.net.au infohbt@jmg.net.au infofn@jmg.net.au

PROJECT
**93 PASS ROAD
CLARENDON VALE
STAGES 1-13**

TITLE
**APPENDIX C
POST DEVELOPMENT
CATCHMENTS**

PROJECT NO.	J220268CS
DWG NO.	C03
REVISION	P1
PLOT DETAILS	APPENDIX DRGS.DWG



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX D

Forebay and Wetland Cross Section

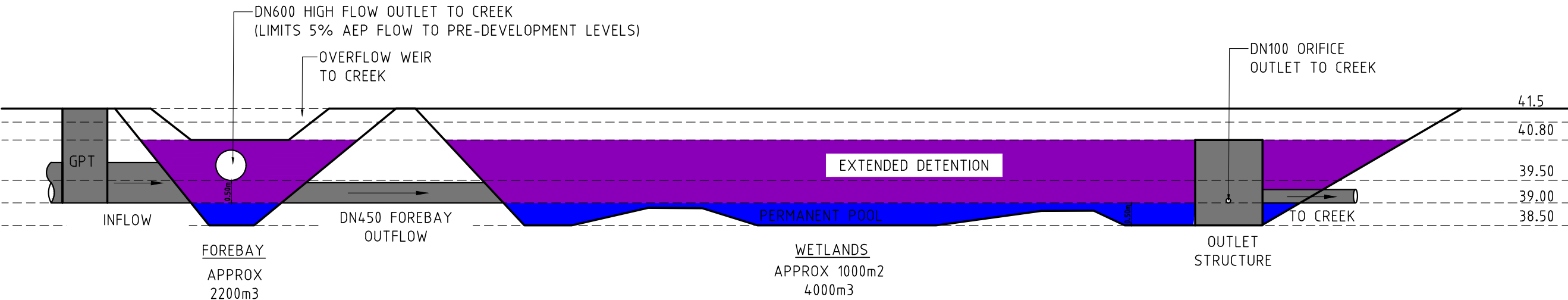


CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.



PRELIMINARY PRINT

NOT FOR CONSTRUCTION

P1 31.08.2022 PRELIMINARY ISSUE

REV	DATE	REMARK
1	31.08.2022	PRELIMINARY ISSUE

Copyright © All rights reserved. This drawing and its intellectual content remains the intellectual property of JOHNSTONE MCGEE & GANDY PTY LTD (JMG).

The recipient client is licensed to use this drawing for its commissioned purpose subject to authorisation per note above. Unlicensed use is prohibited. Unlicensed parties may not copy, reproduce or otherwise use any part of this document without JMG's prior written permission. Breach of this document is prohibited by any party other than JMG. JMG reserves the right to modify the license for use of this document.

SAFETY IN DESIGN REPORT	In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.
The following risks which are unique to this design have been identified:	Nil.
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	

Accepted GRANT ATHERTON (Discipline Head)	Date
Accepted JUSTIN BOOCOCK (Client Leader)	Date
Approved GRANT ATHERTON (Group Manager)	Date
This document must be signed "Approved" by JMG to authorise it for use. JMG accepts no liability whatsoever for unauthorised or unlicensed use.	

SCALES @ A1	DESIGNED BY	DRAWN BY
N/A	JMB	JMB
	PLOT DATE	08/09/2022
DO NOT SCALE: Use only figure dimensions. Locations of structures, fittings, services etc. on this drawing are indicative only. CONTRACTOR to check Architects & other project drawings for co-ordinates between structures, tanks, fittings, services, etc. CONTRACTOR to site check all dimensions and exact locations of all items. JMG accepts no responsibility for dimensional information copied or digitally derived from this document.		



Johnstone McGee & Gandy Pty. Ltd.
ACN 009 547 139 ABN 76 473 834 852
117 Harrington Street, Hobart, Tas (03) 6321 2555
49-51 Elizabeth Street, Launceston, Tas (03) 6331 7044
www.jmg.net.au info@jmg.net.au info@jmg.net.au

PROJECT
93 PASS ROAD, ROKEBY
INUNDATION ANALYSIS

TITLE
FOREBAY & WETLANDS
CROSS SECTION

PROJECT NO.	J220268CS
DWG NO.	C04
REVISION	P1
PLOT DETAILS	WETLANDS SECTION.DWG



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX E

Hutchings Spurr Swale Design

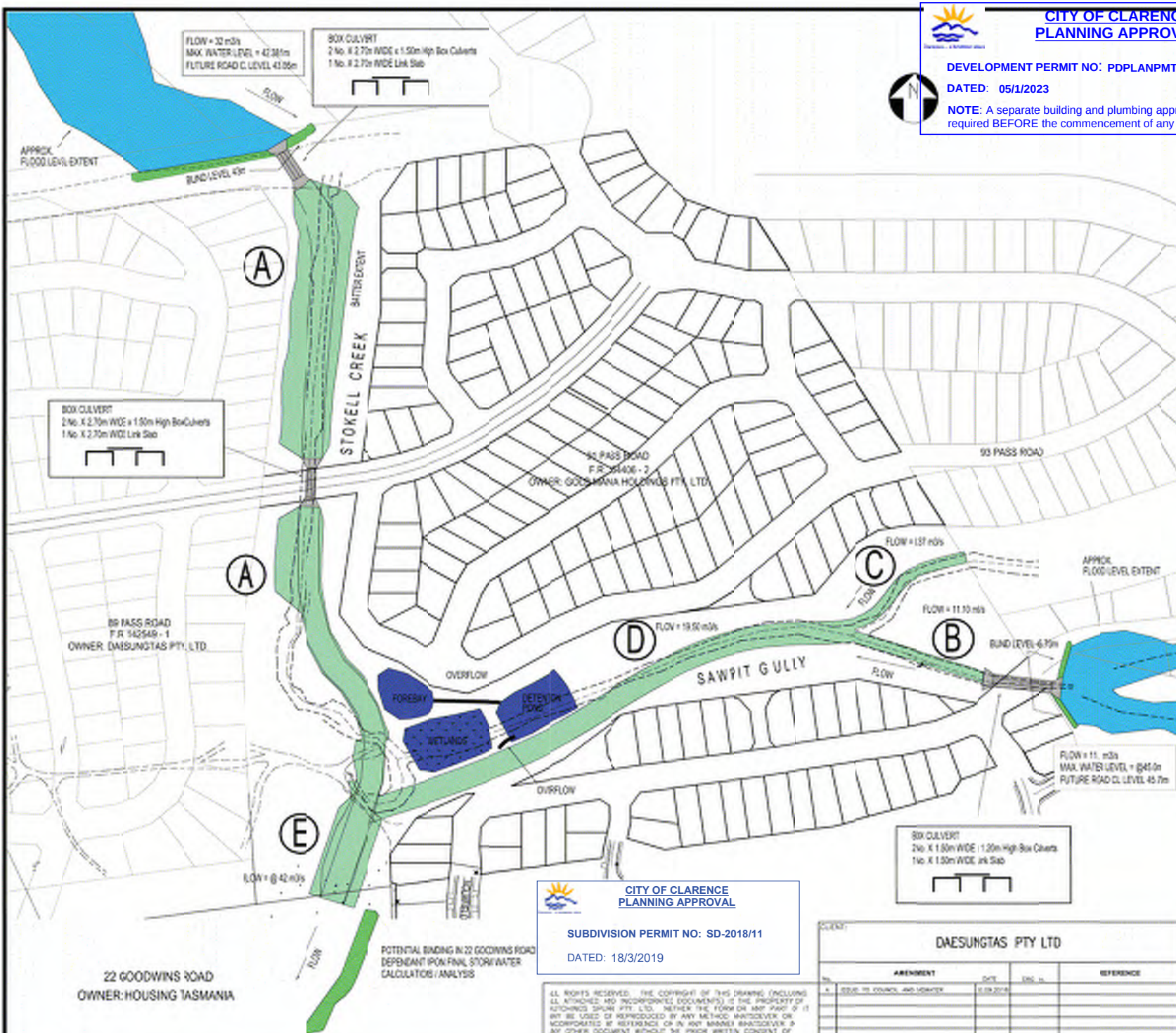


CITY OF CLARENCE PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.



SWALE (A)



SWALE (B)



SWALE (C)



SWALE (D)



SWALE (E)



CITY OF CLARENCE PLANNING APPROVAL

SUBDIVISION PERMIT NO: SD-2018/11

DATED: 18/3/2019

ALL RIGHTS RESERVED. THE COPYRIGHT OF THIS DRAWING (INCLUDING ALL ATTACHED AND INCORPORATED DOCUMENTS) IS THE PROPERTY OF HUTCHINGS SPURR PTY LTD. NEITHER THE FORM OR ANY PART OF IT MAY BE USED OR REPRODUCED BY ANY METHOD WHATSOEVER OR INCORPORATED IN REFERENCE OR IN ANY MANNER WHATSOEVER IN ANY OTHER DOCUMENT WITHOUT THE PRIOR WRITTEN CONSENT OF HUTCHINGS SPURR PTY LTD.

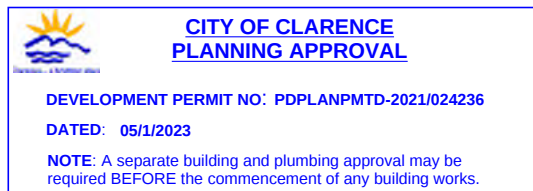
CLIENT: DAESUNGTA PTY LTD			
NO.	AMENDMENT	DATE	REFERENCE
1	ISSUE TO COUNCIL AND OWNER	11.03.2019	

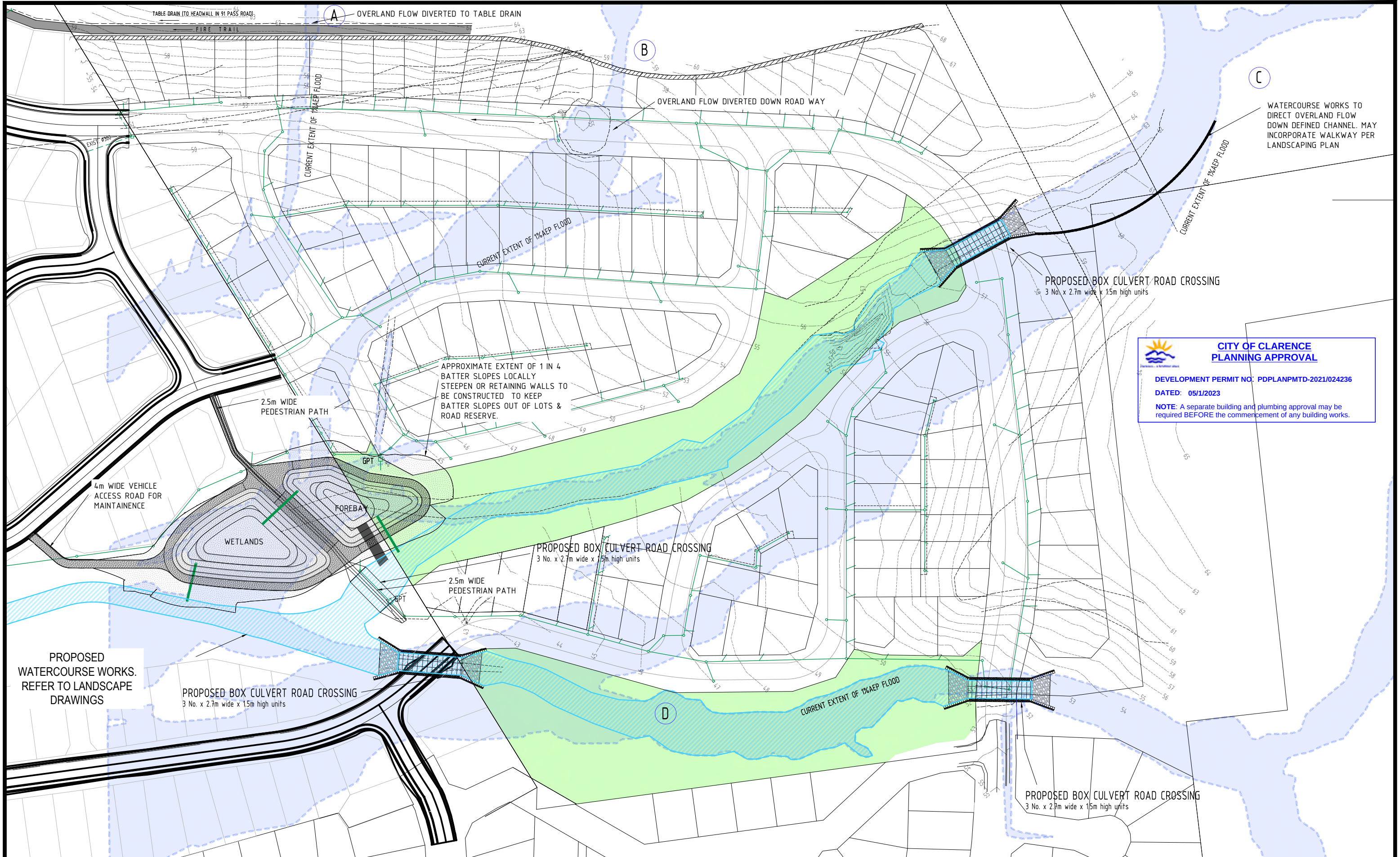
HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 3 ANTILL STREET, ROBEY, TAS. 7230 PHONE 0822 6222 100 FAX 0822 6222 547	
91 PAS: ROAD, ROBEY 170 LOS STORMWATER STRATEGY	DRAWN: STANFORD DATE: 10/01/19 APPROVE: DRAWING: 173/9/SW (A) REVISION: No. OF SHEETS

• STRUCTURAL
• CIVIL
• MECHANICAL
• ELECTRICAL

APPENDIX F

Watercourse and wetland drawings







**CITY OF CLARENCE
PLANNING APPROVAL**

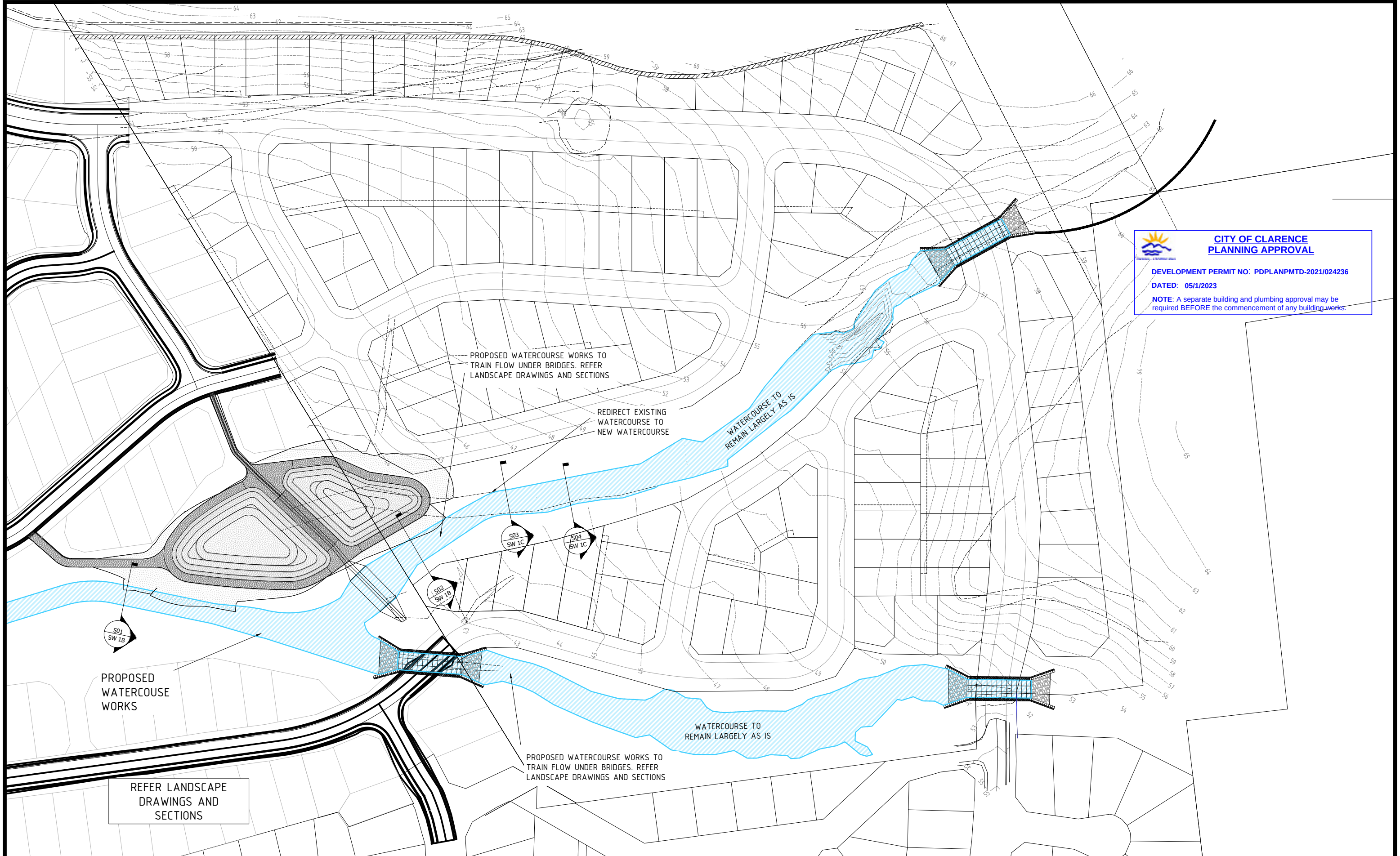
DEVELOPMENT PERMIT NO: PDPLANMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

CLIENT: HOTAS PTY LTD				 HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, 7000. A.C.N. 009 508 525 A.B.N. 39 009 508 525 PHONE (03) 6223 5020		STRUCTURAL CIVIL MUNICIPAL PROJECT MANAGEMENT SUB DIVISIONS	
93 PASS ROAD STAGES 1-13 ROKEBY PROPOSED STORMWATER SERVICES PLAN				SCALE: NTS		DRAWING No. 21281 SW 1	
APPROVED				DRAWN: B. STANFORD		DATE: NOV '21	
				REVISION		No. OF SHEETS	
						G	

No.	AMENDMENT	DATE	DRG No.	REFERENCE
G	AMENDED WETLANDS & PONDS	19.10.2022		
B	GENERAL REVISION	30.11.2021		
C	REVISED LOT LAYOUT / SERVICES	02.02.2022		
D	SWALE EXTENT ADDED	11.03.2022		
E	POND SIZED INCREASED	28.04.2022		
F	POND LOCATION ALTERED	04.05.2022		





**CITY OF CLARENCE
PLANNING APPROVAL**
DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236
DATED: 05/1/2023
NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

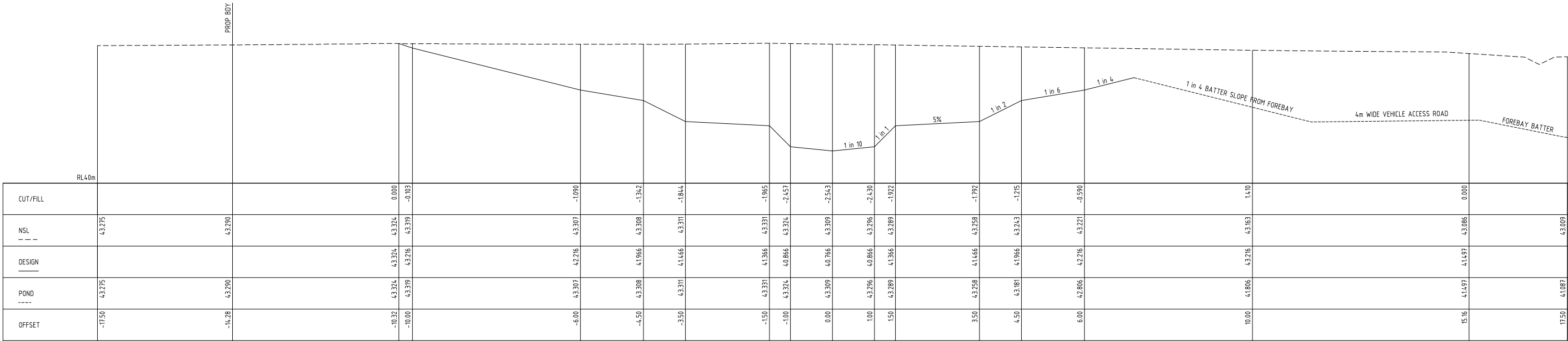
 APPROXIMATE EXTENT OF FUTURE 1% AEP FLOOD EXTENT

ALL RIGHTS RESERVED. THE COPYRIGHT OF THIS DRAWING (INCLUDING ALL ATTACHED AND INCORPORATED DOCUMENTS) IS THE PROPERTY OF HUTCHINGS SPURR PTY. LTD. NEITHER THE FORM OR ANY PART OF IT MAY BE USED OR REPRODUCED BY ANY METHOD WHATSOEVER OR INCORPORATED BY REFERENCE OR IN ANY MANNER WHATSOEVER IN ANY OTHER DOCUMENT WITHOUT THE PRIOR WRITTEN CONSENT OF HUTCHINGS SPURR PTY. LTD.

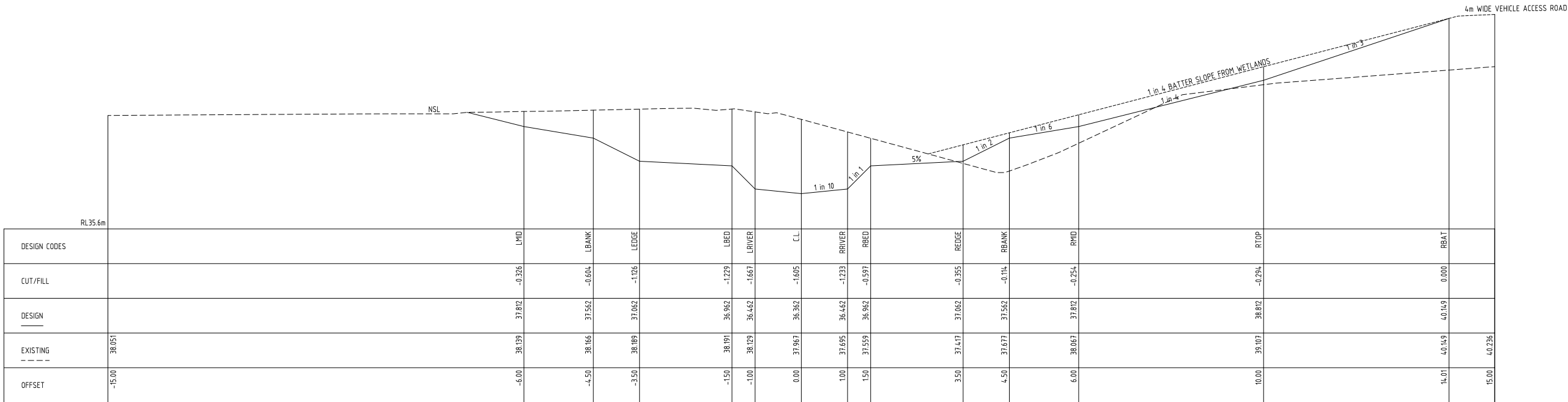
CLIENT:

HOTAS PTY LTD

<



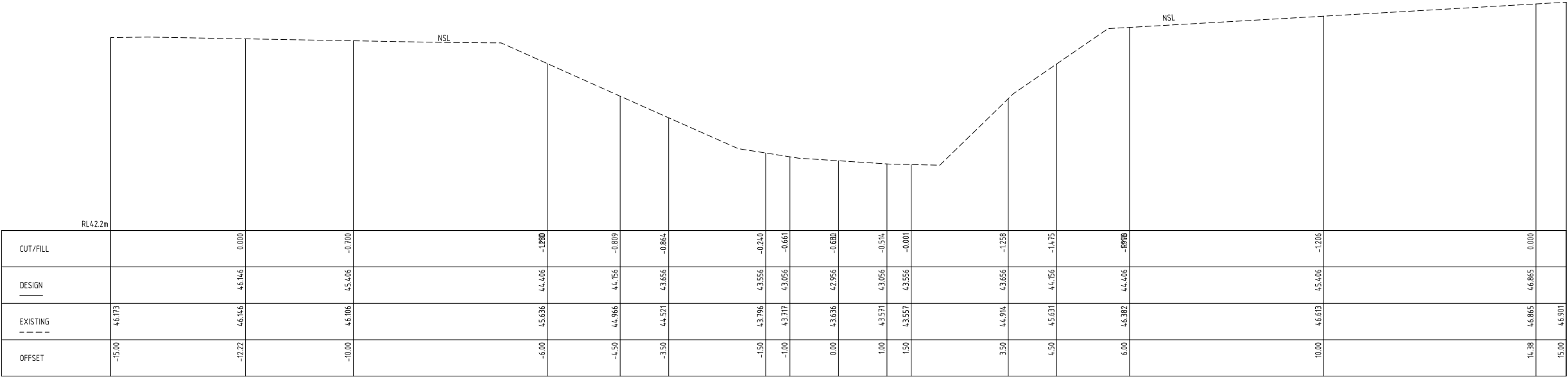
SECTION 02



SECTION 01

ALL RIGHTS RESERVED. THE COPYRIGHT OF THIS DRAWING (INCLUDING ALL ATTACHED AND INCORPORATED DOCUMENTS) IS THE PROPERTY OF HUTCHINGS SPURR PTY. LTD. NEITHER THE FORM OR ANY PART OF IT MAY BE USED OR REPRODUCED BY ANY METHOD WHATSOEVER OR INCORPORATED BY REFERENCE OR IN ANY MANNER WHATSOEVER IN ANY OTHER DOCUMENT WITHOUT THE PRIOR WRITTEN CONSENT OF HUTCHINGS SPURR PTY. LTD.

CLIENT: HOTAS PTY LTD				 HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, 7000. A.C.N. 009 508 525 A.B.N. 39 009 508 525 PHONE (03) 6223 5020		* STRUCTURAL * CIVIL * MUNICIPAL * PROJECT * MANAGEMENT * SUB DIVISIONS	
No.		AMENDMENT	DATE	DRG No.	REFERENCE		
A		ISSUED TO CLIENT	19.10.2022		93 PASS ROAD STAGES 1-13 ROKEBY PROPOSED WATERWAY CROSS SECTIONS SHEET 1		
					SCALE NTS		
					DRAWN M. FRAWLEY DATE OCT' 22		
					APPROVED		
					DRAWING No. 21281 SW 1B		
					No. OF SHEETS		
					REVISION A		



SECTION 04

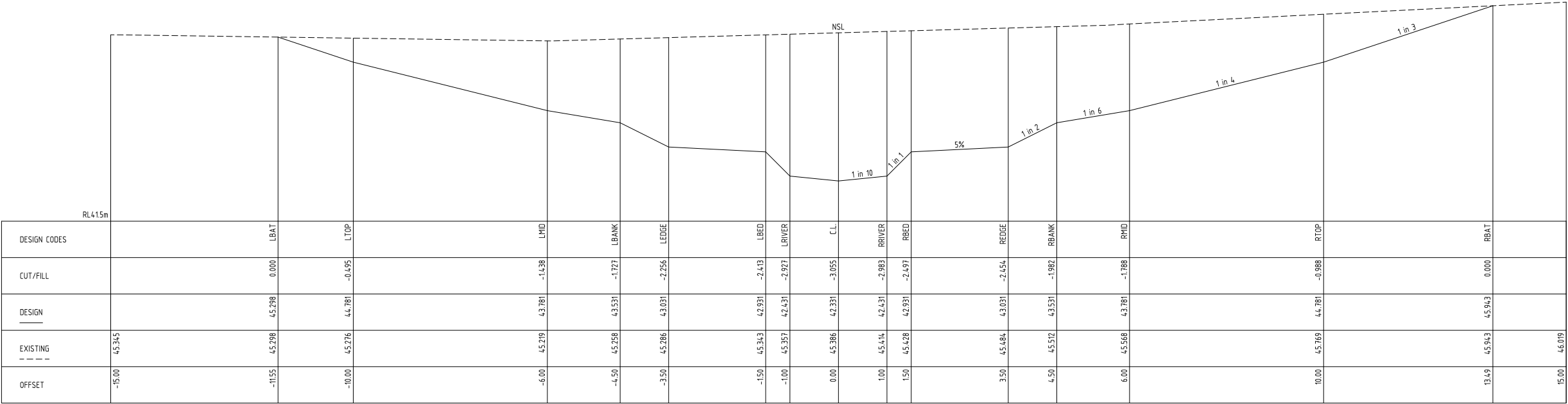


CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

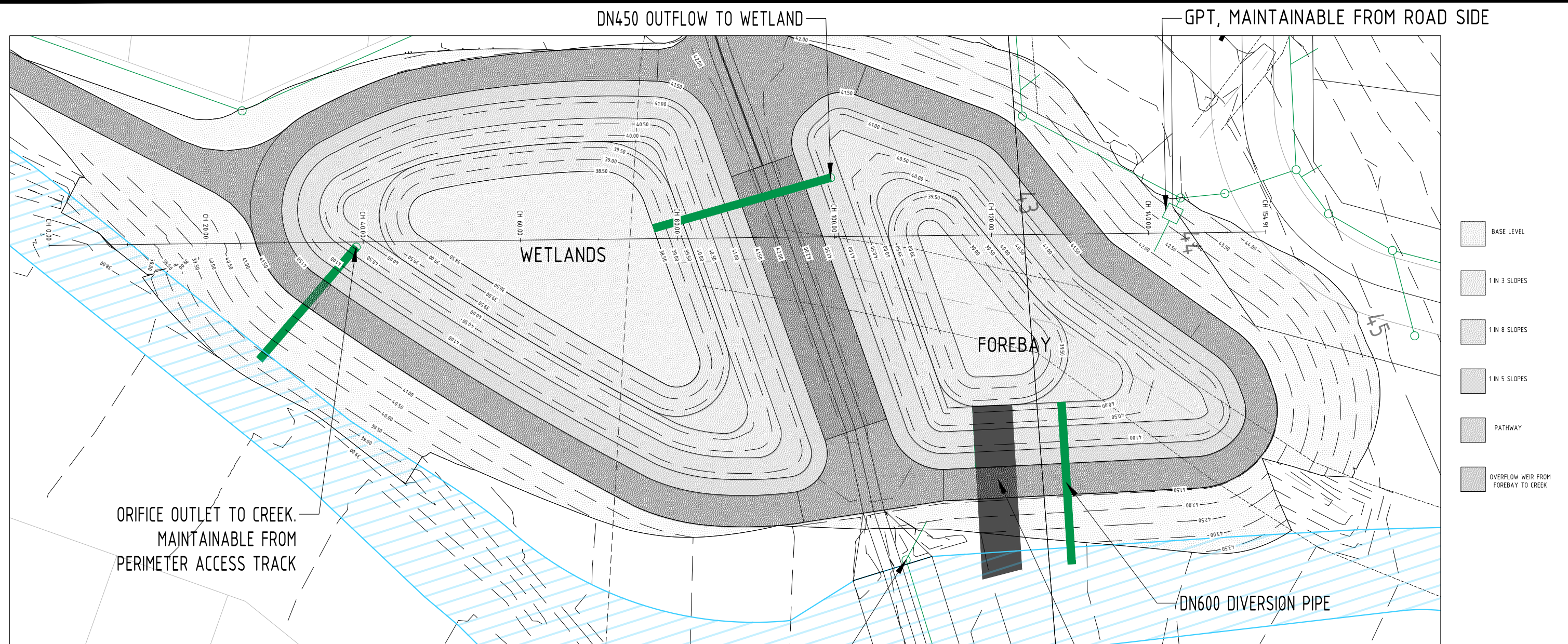
NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.



SECTION 03

ALL RIGHTS RESERVED. THE COPYRIGHT OF THIS DRAWING (INCLUDING ALL ATTACHED AND INCORPORATED DOCUMENTS) IS THE PROPERTY OF HUTCHINGS SPURR PTY. LTD. NEITHER THE FORM OR ANY PART OF IT MAY BE USED OR REPRODUCED BY ANY METHOD WHATSOEVER OR INCORPORATED BY REFERENCE OR IN ANY MANNER WHATSOEVER IN ANY OTHER DOCUMENT WITHOUT THE PRIOR WRITTEN CONSENT OF HUTCHINGS SPURR PTY. LTD.

CLIENT: HOTAS PTY LTD				 HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, 7000. A.C.N. 009 508 525 A.B.N. 39 009 508 525 PHONE (03) 6223 5020		* STRUCTURAL * CIVIL * MUNICIPAL * PROJECT * MANAGEMENT * SUB DIVISIONS	
No.		AMENDMENT		DATE	DRG No.	REFERENCE	
A		ISSUED TO CLIENT		19.10.2022		93 PASS ROAD STAGES 1-13 ROKEBY PROPOSED WATERWAY CROSS SECTIONS SHEET 2	
						SCALE NTS	
						DRAWN M. FRAWLEY DATE OCT' 22	
						APPROVED	
						DRAWING No. 21281 SW 1C No. OF SHEETS	
						REVISION A	



1 WETLANDS TO FOREBAY PLAN

SCALES: HORIZONTAL 1:500 @ A3 VERTICAL 1:500 @ A3

GPT MAINTAINABLE FROM
PERIMETER ACCESS TRACK

—SPILLWAY

CHAINAGE	EXISTING SURFACE	DESIGN SURFACE	Centreline Cut/Fill	R.L. 22.200
0.000	38.17			
7.719	37.46	37.471	0.007	I.P. 37.471
10.000	37.72	37.967	0.744	
20.000	39.12	40.140	1.021	
26.009	39.47	41.511	2.039	I.P. 41.511
30.000	39.68	41.501	1.825	I.P. 41.500
30.575	39.71	41.500	1.792	
32.827	39.83	41.100	1.274	I.P. 41.100
36.504	40.01	40.750	0.735	I.P. 40.750
40.000	40.15	40.071	-0.080	
41.556	40.21	39.750	-0.459	I.P. 39.750
42.901	40.25	39.750	-0.500	I.P. 39.750
48.213	40.41	38.500	-1.915	I.P. 38.500
50.000	40.47	38.501	-1.969	
60.000	40.83	38.509	-2.322	R.L. 38.500
70.000	41.03	38.517	-2.516	
77.501	41.00	38.522	-2.478	I.P. 38.522
80.000	40.55	39.310	-1.236	
81.395	40.56	39.750	-0.811	I.P. 39.750
84.566	40.62	40.750	0.135	I.P. 40.750
87.525	40.77	41.100	0.329	I.P. 41.100
89.330	40.91	41.500	0.587	I.P. 41.500
90.000	40.94	41.580	0.631	
92.719	41.14	42.083	0.941	I.P. 42.083
94.660	41.27	42.117	0.845	I.P. 42.117
95.391	41.40	42.091	0.690	I.P. 42.091
98.512	41.70	41.500	-0.204	I.P. 41.500
100.000	41.81	41.728	-0.594	
100.824	41.83	41.100	-0.732	I.P. 41.100
103.580	41.92	40.750	-1.175	I.P. 40.750
106.417	42.02	39.750	-2.274	I.P. 39.750
106.917	42.03	39.750	-2.279	
110.000	42.12	38.733	-3.390	I.P. 38.730
110.107	42.14	38.500	-3.645	I.P. 38.500
114.175	42.34	38.500	-3.839	I.P. 38.500
119.754	42.60	39.750	-2.851	I.P. 39.750
120.000	42.84	39.945	-2.897	
123.076	42.80	40.750	-2.045	I.P. 40.750
126.644	42.95	41.100	-1.849	I.P. 41.100
129.093	43.05	41.500	-1.555	I.P. 41.500
130.000	43.09	41.584	-1.584	
134.790	43.27	41.526	-1.742	I.P. 41.526
140.000	43.65	42.313	-1.337	
150.000	44.18	43.690	-0.492	

LONGITUDINAL SECTION
CL 1 Ch 0.000 to Ch 154.910
SCALES: HORIZONTAL 1:250 @ A1 VERTICAL 1:250 @ A1
SCALES: HORIZONTAL 1:500 @ A3 VERTICAL 1:500 @ A3

ALL RIGHTS RESERVED. THE COPYRIGHT OF THIS DRAWING (INCLUDING ALL ATTACHED AND INCORPORATED DOCUMENTS) IS THE PROPERTY OF HUTCHINGS SPURR PTY. LTD. NEITHER THE FORM OR ANY PART OF IT MAY BE USED OR REPRODUCED BY ANY METHOD WHATSOEVER OR INCORPORATED BY REFERENCE OR IN ANY MANNER WHATSOEVER IN ANY OTHER DOCUMENT WITHOUT THE PRIOR WRITTEN CONSENT OF HUTCHINGS SPURR PTY. LTD.

CLIENT:

HOTAS PTY LTD

No.	AMENDMENT	DATE	DRG No.	REFERENCE
A	ISSUED TO CLIENT	19.10.2022		

HUTCHINGS SPURR PTY. LTD.
CONSULTING ENGINEERS
23 ANTILL STREET, HOBART, 7000. A.C.N. 009 508 525
PHONE (03) 6223 5020

08-01-2006 09:15 AM

93 PASS ROAD STAGE

ROKEYA

PROPOSED WETLANDS PONDS PLANS & LONG SECTIONS 01

SCALE	AS SHOWN
-------	----------

DRAWN	M. FRAWLEY	DATE	OCT' 22
-------	------------	------	---------

	APPROVED
--	----------

Diagram illustrating five types of weir crest profiles:

- BASE LEVEL**: A flat, horizontal crest profile.
- 1 IN 3 SLOPES**: A crest profile with a 1:3 slope on both sides.
- 1 IN 8 SLOPES**: A crest profile with a 1:8 slope on both sides.
- 1 IN 5 SLOPES**: A crest profile with a 1:5 slope on both sides.
- PATHWAY**: A crest profile with a central flat section and sloped sides.



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO.: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

STRUCTURAL
CIVIL
MUNICIPAL
PROJECT
MANAGEMENT
SUB DIVISIONS

APPENDIX G

Landscaping Plans



CITY OF CLARENCE PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

OPEN SPACE SYSTEM

The two waterway reserves each have a distinctive suite of recreation roles and rehabilitation opportunities:

North waterway POS - the deeper stream bed provides opportunities for rehabilitation, anticipated use primarily for passive enjoyment

South waterway POS - a relatively flat area at the rear of Breedon Way and with overhead powerline near Breedon back fences. A more open character is proposed with isolated clean stem trees, allowing for some informal sports and incidental active play and retaining opportunities for future more formalised recreation areas to be provided at a later stage. Plantings balance providing informal surveillance with visually distracting from the powerlines but being located for a suitable separation.

The final landscape works plans - would reflect any re-profiling required for flood hazard mitigation, safety of park users and to facilitate land management maintenance and access. Where earth shaping is required it should be undertaken with consideration of any opportunities to provide flatter areas suitable for recreation.

Rehabilitation of watercourses - retain existing indigenous species where practical and any new plantings/seedings to use local riparian species selected to provide a vegetation structure consistent with a low fire hazard threat, i.e. a discontinuous strip less than 20m wide and more than 20m from lot boundaries would establish a park-like open character.

The final selection of trees for retention, species for planting and the structure and location of vegetation on the Works Landscape Plans to reflect advice from project arborist, fire and biodiversity consultants, current fire and weed management plans, good practice for practical maintenance and liaison with Council and infrastructure authorities.

- 1 Multiple use all weather emergency and maintenance accessway and recreational use, key POS connections
- 2 Minor POS trails for recreation, walking
- 3 Prominent entrances into parkland from adjacent roads, alert drivers to likelihood of pedestrians
- 4 Retain, re-establish an allusion to the original riparian woodland along waterways
- 5 Open relatively level parkland area suitable for active or informal play
- 6 Retain options for future more formalised recreation area
- 7 Possible future incidental seating and play opportunities
- 8 Wetland ponds refer Ferndene Studio drawing Wetlands Ponds and Environs

Retained open woodland - northern slopes balance area
The open grassy woodland vegetation is to be retained as a bushland park, except where fire hazard management is required (refer BHMP Menadue 2021).

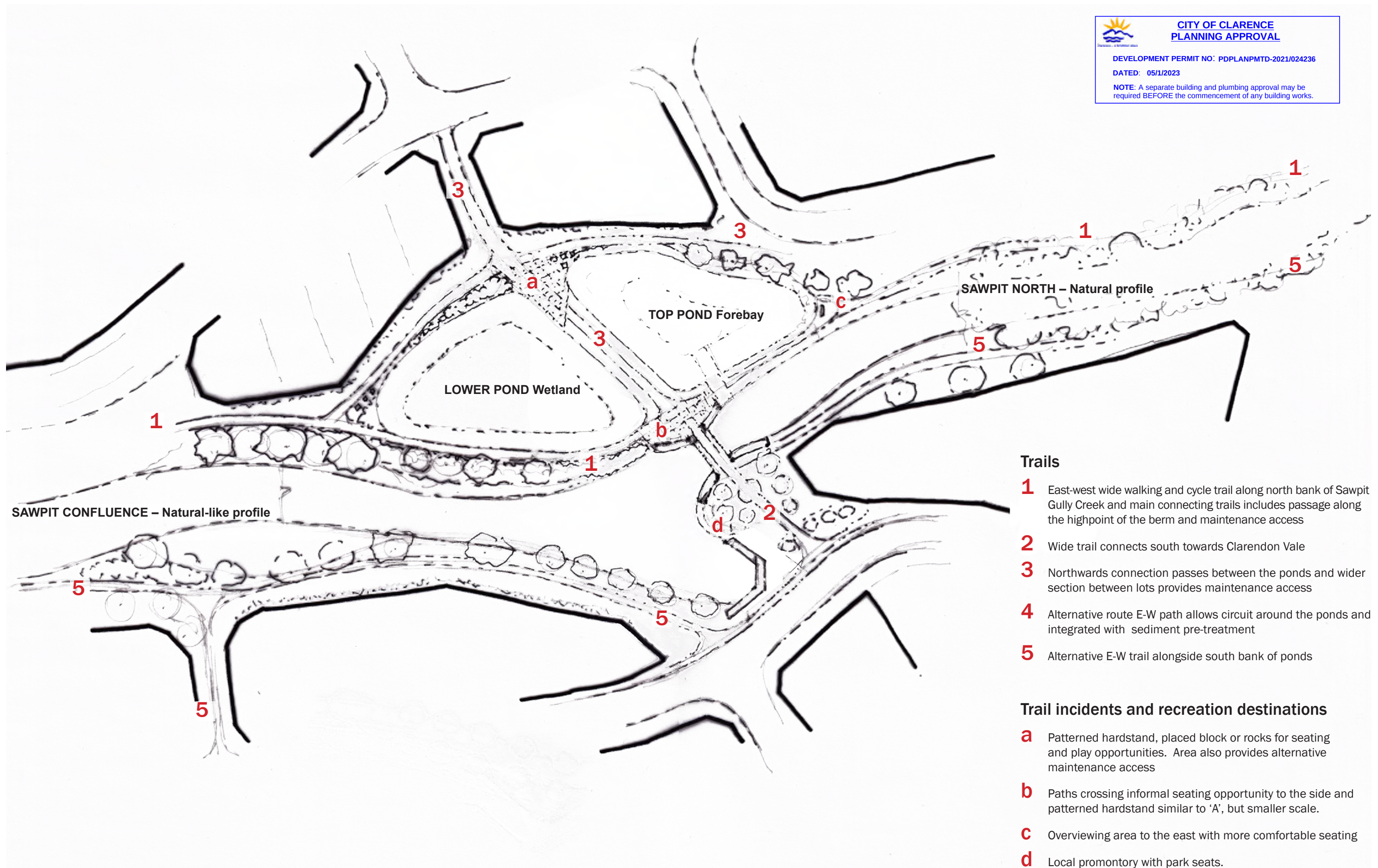
Following finalisation of investigation into options for future residential use, gravel paths through the woodland will be constructed to connect to nearby POS areas to the north the west (145 and 91 Pass Road).

Fences alongside POS Where lots adjoin public open space areas on rear or side boundaries fences that allow some views into the adjacent open space from residences or their grounds will be constructed as part of subdivision works. Those fences will be solid, opaque (and of low visual prominence) up to a height of 1.2m with the views into the open space being through an upper section of at least 300mm depth of lattice or a comparable visually permeable construction.



STREETSCAPE

- A Rockingham Drive extension** to Winterbourne Road - 24m wide road reserve will accommodate bus stop insets and a cycleway. Larger trees 8-15m height to be planted generally at each second side boundary and in locations distant from service junctions or changes of direction.
- B** At the Clarendon Vale end an entry incident required to cue lower road speeds.
- C Streets alongside public open space** - 18m reserve. Where practical services to be located on one side. Carriageway located close to the POS. Moderate to large trees planted on wide nature strip on the residential side of the street and a row of larger trees parallel to the street pavement planted within the adjacent open space.
- D Local streets** - 18m reserve. Moderate height trees/shrubs planted and maintained for clear stem profile on both sides of the street.
- E** Connection to fire trail, may incorporate POS walkway
- F** Perimeter fire trail
- G** Indicative road connection to possible future residential area



PARANVILLE WATERWAY SWALES: - emerging directions
Principles for establishing natural landscape character where reshaping is required

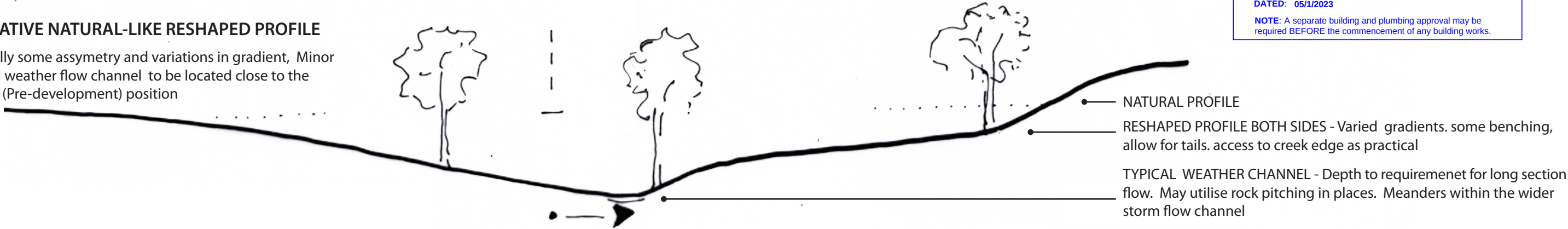


CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236
 DATED: 05/1/2023
 NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

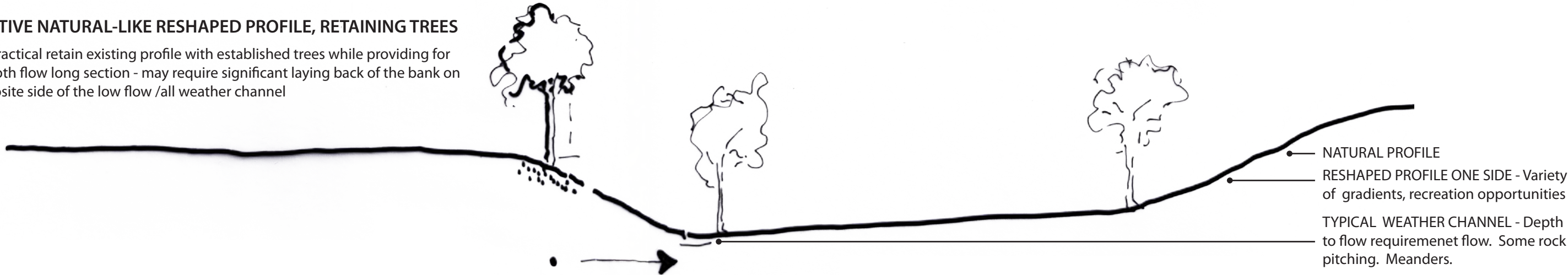
INDICATIVE NATURAL-LIKE RESHAPED PROFILE

Generally some assymetry and variations in gradient, Minor flow/all weather flow channel to be located close to the natural (Pre-development) position



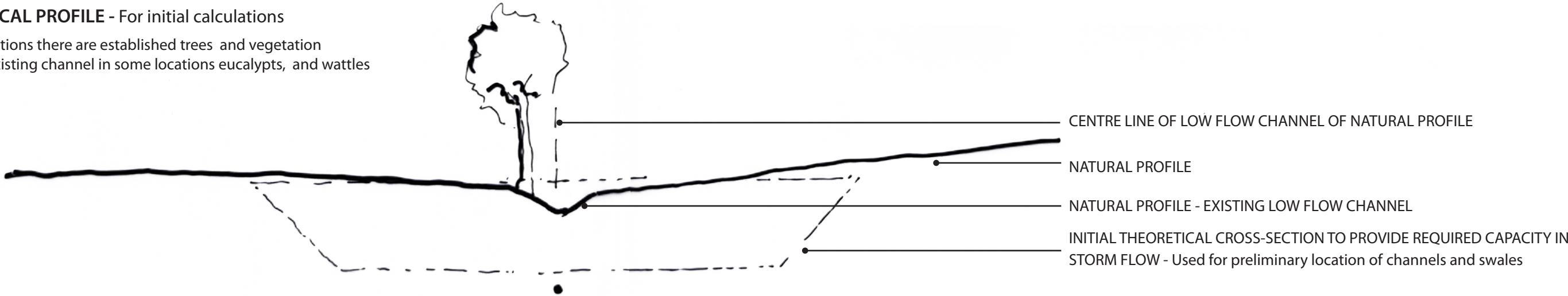
INDICATIVE NATURAL-LIKE RESHAPED PROFILE, RETAINING TREES

Where practical retain existing profile with established trees while providing for the smooth flow long section - may require significant laying back of the bank on the opposite side of the low flow /all weather channel



THEORETICAL PROFILE - For initial calculations

In some locations there are established trees and vegetation alongside existing channel in some locations eucalypts, and wattles



NOTES

Retain existing profile and vegetation (with weeds management). Balance minimising area of disturbance with gradients of banks to either side to provide recreation and passive enjoyment of a natural setting. Reshaping anticipated in the area below 91/93 boundary ponds and also to a less extent Stokell Creek south of Winterborne Drive. The section of Sawpit east of the ponds has been assessed HSCE/JMG as having sufficient capacity to not require changes to the channel - but may need consideration of the nature and extent of the vegetation retained.

Where trees are retained in the storm event flowwqy they are to be configured as intermittent isolated stems in line with in the direction of the flow to limit opportunities for obstruction (dams). If shrubs and groundcovers are anticipated the storm flow cross section would need to be expanded accordingly. Other considerations - safety including gradient and informal surveillance, practical for Council to maintain, and avoiding washouts during construction and plant establishment.



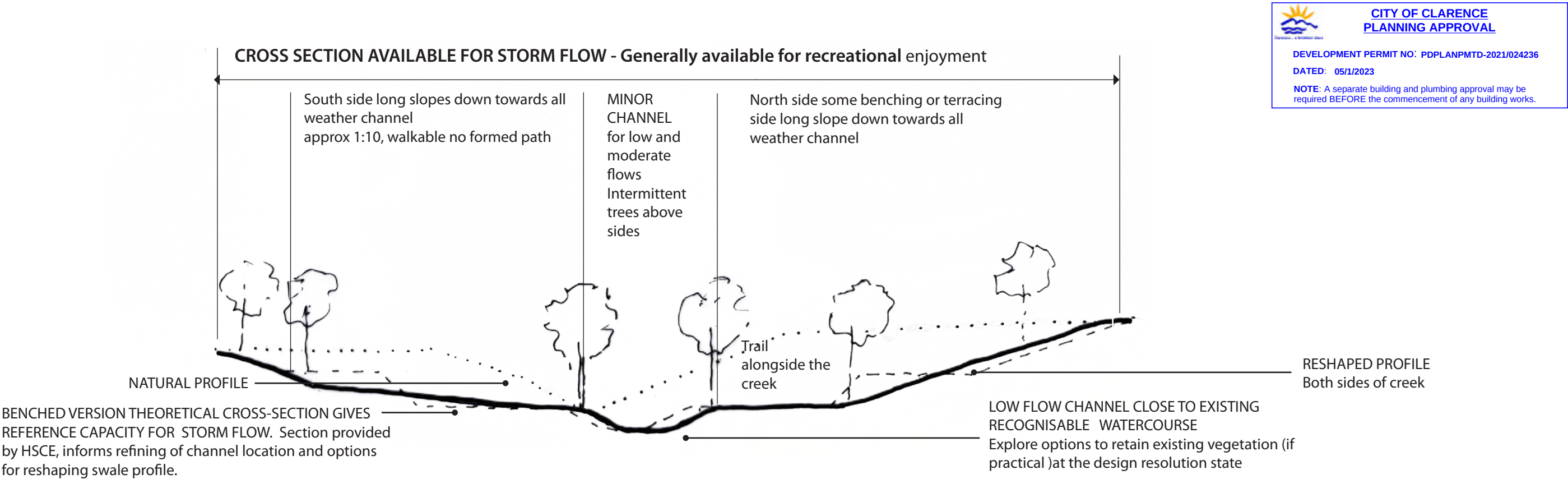
Landscape Architecture & Planning
 PO Box 156 South Hobart TAS 7004
 Telephone 03 6239 1302
 studio@ferndenestudio.com.au
 www.ferndenestudio.com.au

PRELIMINARY WATERWAY SWALES
Wetlands Ponds and Environs. 93/91 Pass Road
 Subdivision, 93 Pass Road Rokeby

Dwg No: 91/93 Swale Sawpit LPDetail v3
 Sheet 1/2
 Scale: NTS at A3
 Date: 17-10-2022

Lesley Gulson
 Landscape Architect Planner
 Ferndene Studio
 For: HOTAS Pty Ltd

PARANVILLE WATERWAY SWALES: - emerging directions
 Indicative preliminary profile looking westwards around 30m west of the proposed ponds



Refer also HSCE 21281 Drawing set



WATERWAY CROSSINGS FOR WALKING AND CYCLE TRAILS
 Generally these crossings are to be low key, causeways or similar. Height and detail to allow for storm flow, easy access for trail users and connections of services where required. *Photo - crossing of Sorell Rivulet below Parsonage Place, Sorell*