



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061601

PROPOSAL: Eight Lot Subdivision

LOCATION: 29, 33, 35, 37 Cherokee Drive, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17/08/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17/08/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17/08/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Staged Subdivision

Location: 29,33,35 & 37 Cherokee Drive, Cambridge

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Industrial**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
 - Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.

- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
 - Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.

- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 185543	FOLIO 302
EDITION 1	DATE OF ISSUE 06-Sept-2023

SEARCH DATE : 05-June-2026

SEARCH TIME : 02.58 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 302 on Sealed Plan [185543](#)Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
Thomas YoungPrior CT [181813/100](#)SCHEDULE 1[E295677](#) TRANSFER to CLARENCE CITY COUNCIL Registered
06-Sept-2023 at 12.03 pmSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185543](#) EASEMENTS in Schedule of Easements[SP185543](#) COVENANTS in Schedule of Easements[SP185543](#) FENCING PROVISION in Schedule of Easements[SP164757](#), [SP176911](#) & [SP181813](#) COVENANTS in Schedule of
Easements[SP164757](#), [SP176911](#) & [SP181813](#) FENCING PROVISION in Schedule of
Easements[C686912](#) AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
02-Dec-2005 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 185543	FOLIO 61
EDITION 2	DATE OF ISSUE 02-July-2024

SEARCH DATE : 21-May-2026

SEARCH TIME : 10.03 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 61 on Sealed Plan [185543](#)Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
Thomas YoungPrior CT [181813/100](#)SCHEDULE 1[D75225](#) TRANSFER to AIRPORT INDUSTRIAL PTY LTD Registered
20-Feb-2013 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185543](#) EASEMENTS in Schedule of Easements[SP185543](#) COVENANTS in Schedule of Easements[SP185543](#) FENCING PROVISION in Schedule of Easements[SP164757](#), [SP176911](#) & [SP181813](#) COVENANTS in Schedule of
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Planning and Approvals Act 1993 Registered
02-Dec-2005 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 185543	FOLIO 64
EDITION 2	DATE OF ISSUE 02-July-2024

SEARCH DATE : 21-May-2026

SEARCH TIME : 10.03 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 64 on Sealed Plan [185543](#)Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
Thomas YoungPrior CT [181813/100](#)SCHEDULE 1[D75225](#) TRANSFER to AIRPORT INDUSTRIAL PTY LTD Registered
20-Feb-2013 at noonSCHEDULE 2

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SEARCH OF TORRENS TITLE

VOLUME 185543	FOLIO 65
EDITION 2	DATE OF ISSUE 02-July-2024

SEARCH DATE : 21-May-2026

SEARCH TIME : 10.04 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 65 on Sealed Plan [185543](#)Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
Thomas YoungPrior CT [181813/100](#)SCHEDULE 1[D75225](#) TRANSFER to AIRPORT INDUSTRIAL PTY LTD Registered
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Planning and Approvals Act 1993 Registered
02-Dec-2005 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 185543	FOLIO 66
EDITION 2	DATE OF ISSUE 02-July-2024

SEARCH DATE : 21-May-2026

SEARCH TIME : 10.04 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 66 on Sealed Plan [185543](#)Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
Thomas YoungPrior CT [181813/100](#)SCHEDULE 1[D75225](#) TRANSFER to AIRPORT INDUSTRIAL PTY LTD Registered
20-Feb-2013 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185543](#) EASEMENTS in Schedule of Easements[SP185543](#) COVENANTS in Schedule of Easements[SP185543](#) FENCING PROVISION in Schedule of Easements[SP164757](#), [SP176911](#) & [SP181813](#) COVENANTS in Schedule of
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Planning and Approvals Act 1993 Registered
02-Dec-2005 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER AIRPORT INDUSTRIAL PTY LTD

FOLIO REFERENCE C.T.181813/100

GRANTEE PART OF 1654 ACRES GTD TO ROBERT
PITCAIRN AND THOMAS YOUNG

PLAN OF SURVEY

BY SURVEYOR ANDREW STEPHEN BIRCH
ROGERSON AND BIRCH SURVEYORS
UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK
PH 6248-5898 MOB. 0419-594-966

CITY OF CLARENCE

SCALE 1: 3000 LENGTHS IN METRES

REGISTERED NUMBER

SP185543

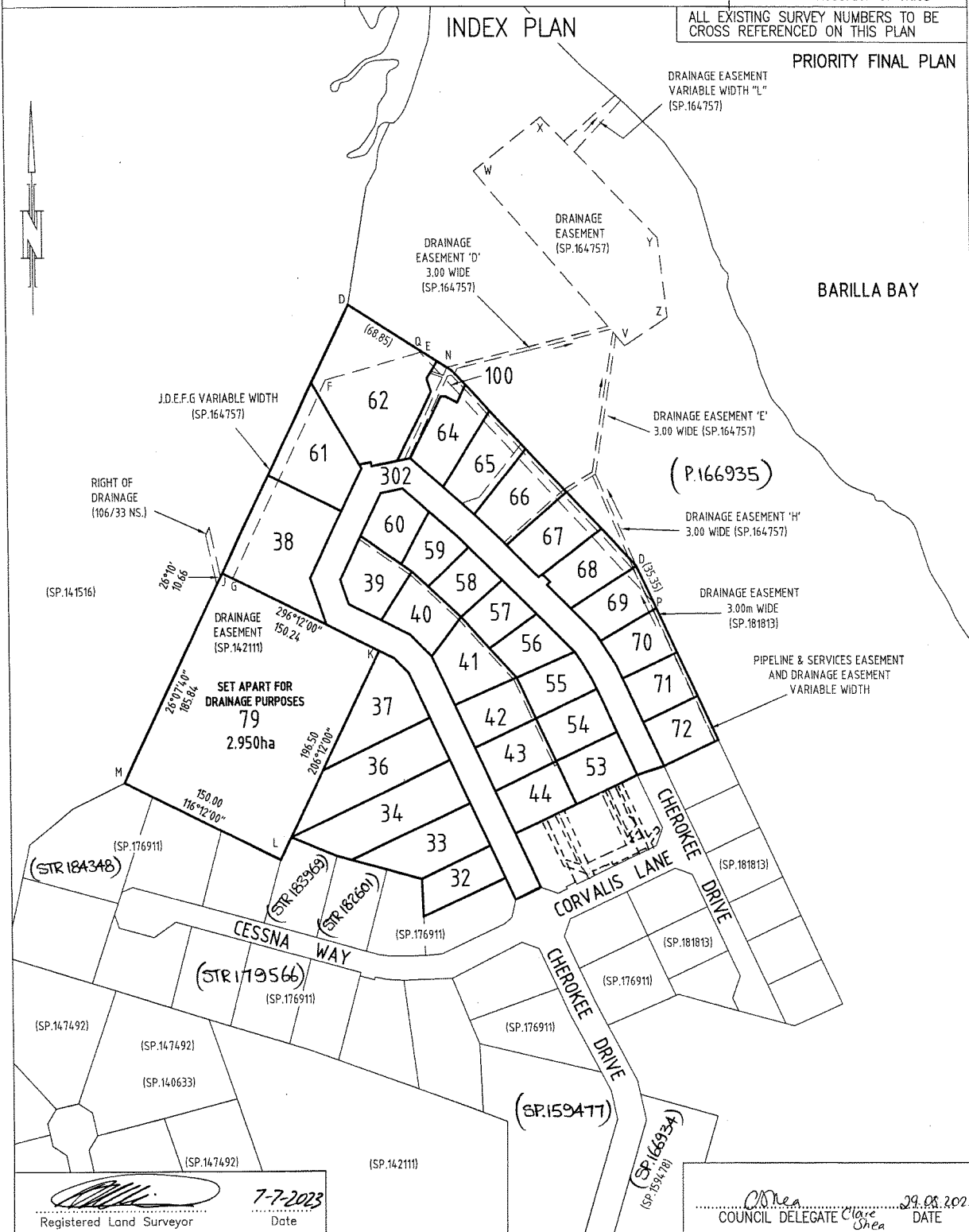
APPROVED EFFECTIVE FROM - 6 SEP 2023

Deena
Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

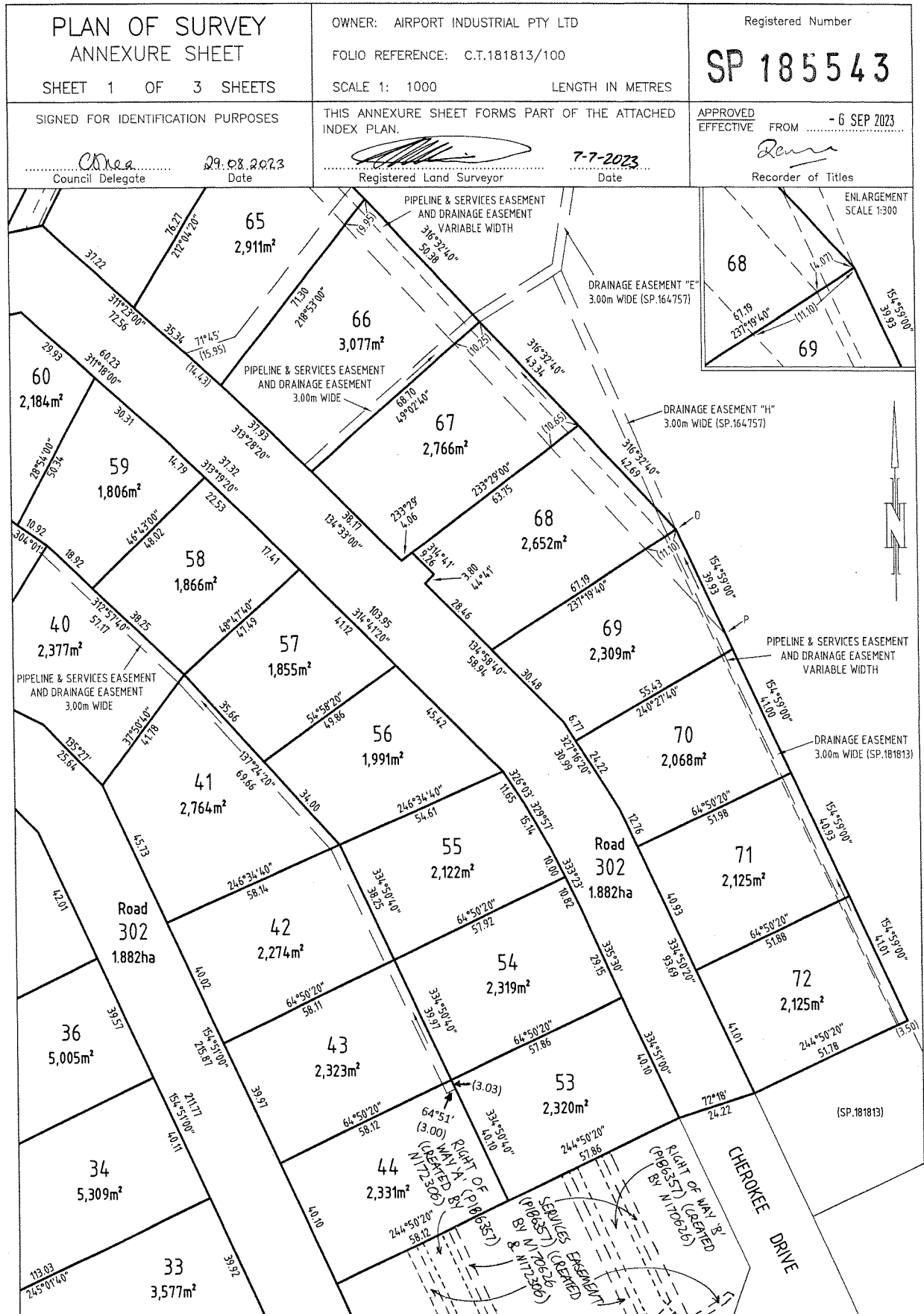
INDEX PLAN

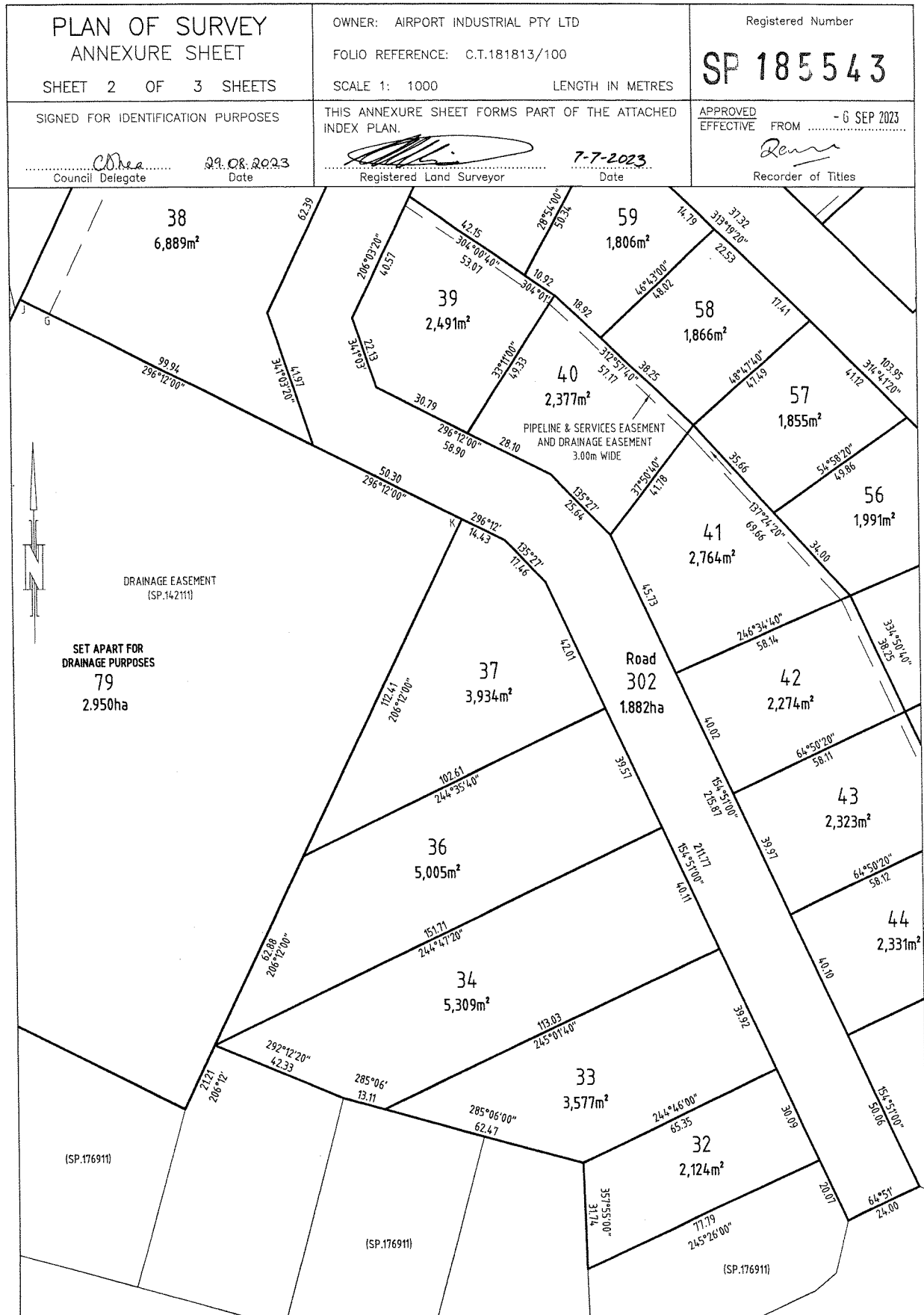
PRIORITY FINAL PLAN

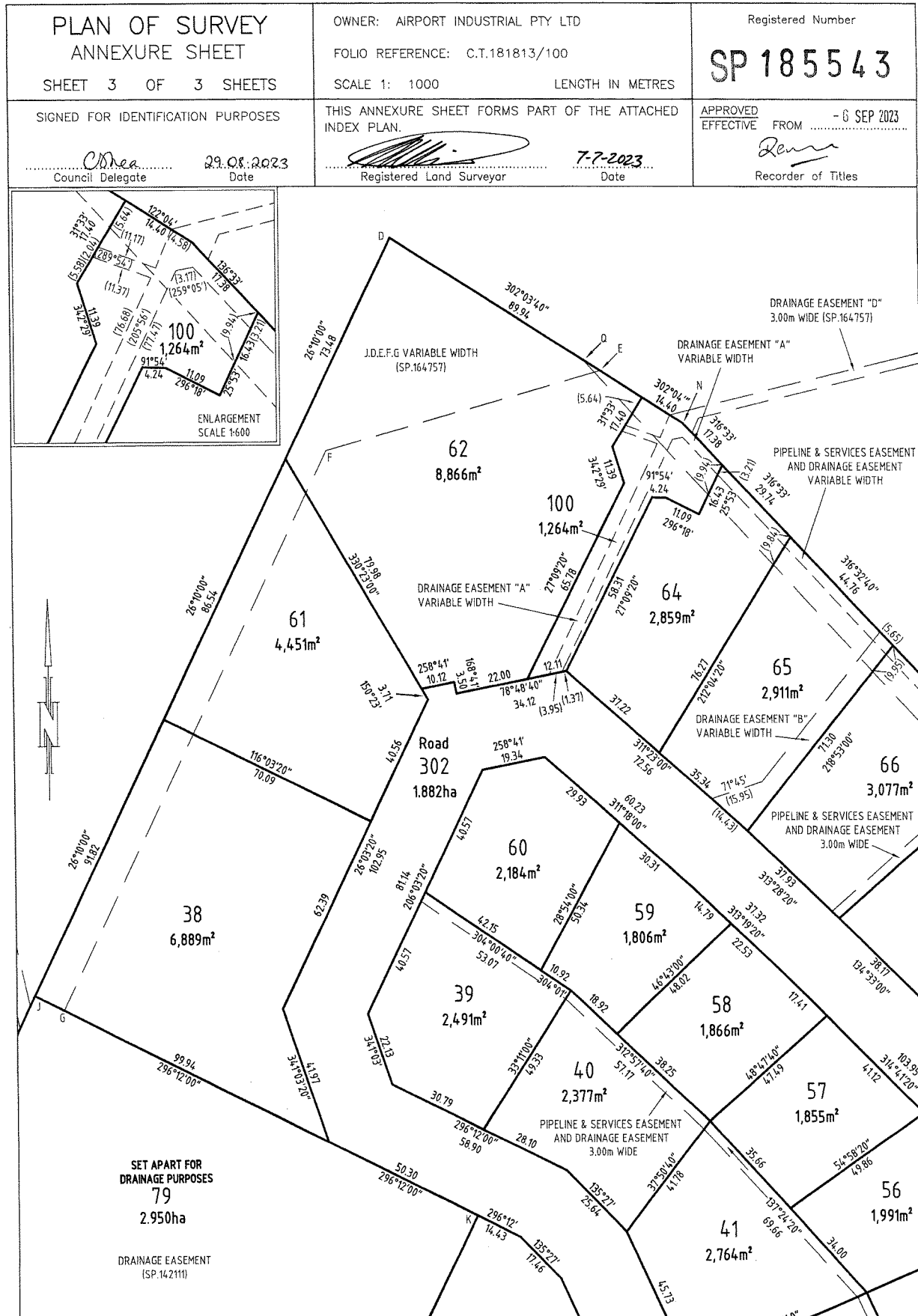


Andrew Stephen Birch
Registered Land Surveyor
7-7-2023
Date

Deena
COUNCIL DELEGATE
29.08.2023
DATE







SCHEDULE OF EASEMENTS	Registered Number SP 185543
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 39 to 44 (inclusive) ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan ("the Easement Land").

Lots 39 to 44 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan.

Lots 64 to 72 (inclusive) ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan ("the Easement Land").

Lots 64 to 72 (inclusive) on the Plan ("the Lot") are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan ("the Easement Land").

Lot 100 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT "A" VARIABLE WIDTH** on the Plan.

Lot 66 ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan ("the Easement Land").

Lot 66 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan.

Lot 65 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT "B" VARIABLE WIDTH** on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REF: CT 181813-100 SOLICITOR & REFERENCE: Page Seager (DAS 120166)	PLAN SEALED BY: Clarence City Council DATE: 29 th August 2023 REF NO. SD-2008/95
Council Delegate <i>Clare Shea</i>	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

Lots 68 to 72 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 3.00m WIDE (SP.181813)** on the Plan.

Each lot on the Plan is together with the right to construct and maintain upon the piece of land marked Right of Drainage on P159487 a drain for the purpose of draining storm and surface water from the said lots and also the right at all times hereafter to enter into and upon the said land for the purpose of cleansing and repairing the said drain and as shown on the Plan as **RIGHT OF DRAINAGE (106/33 NS.)**.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'D' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'E' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'H' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT VARIABLE WIDTH "L" (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the **DRAINAGE EASEMENT (SP.164757)** "VWXYZ" on the Plan.

Lot 79 on the Plan is subject to a right of drainage appurtenant to Lot 2 on Sealed Plan 142111 over the land marked **DRAINAGE EASEMENT (SP.142111) "JKLM"** on the Plan.

COVENANTS

The owners of each lot on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any such lot for any use which is inconsistent with airport activity and which results in the attraction of birds or vermin.
- 2) Not to permit the external surfaces of any building or structure to be finished with external materials other than non-glare external colours and finishes.
- 3) Not to permit any external lighting for any development on any of the lots unless it is shielded to prevent upward illuminations,

The owners of lots 62, 64, 65, 66, 67, 68, 69 and 100 on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the


Director


Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

07

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to erect or cause to ~~the~~^{be} erected or place any building or structure which exceeds a height of 8 metres above natural ground level within the area marked "NOPQ" on the Plan.

The owners of lots 38, 61 and 62 on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any part of their lot within the area marked "J.D.E.F.G VARIABLE WIDTH (SP.164757)" on the Plan other than by way of driveway and services access and landscaping.

FENCING PROVISION

In respect of the Lots shown on the plan the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) shall not be required to fence.

DEFINITIONS

In this Schedule of Easements, the following terms have the meanings ascribed to them below:

Drainage Easement means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;


Director


Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;


Director


Director/Secretary

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07

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



Director



Director/Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 10 PAGES	Registered Number SP 185543
SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100	

EXECUTED by **AIRPORT INDUSTRIAL PTY LTD**)
(**ACN 159 442 234**) as registered proprietor of the land)
comprised in Folio of the Register Volume 181813)
Folio 100 pursuant to section 127 of the *Corporations Act*)
2001 (Cth) by:)


.....
Director Signature

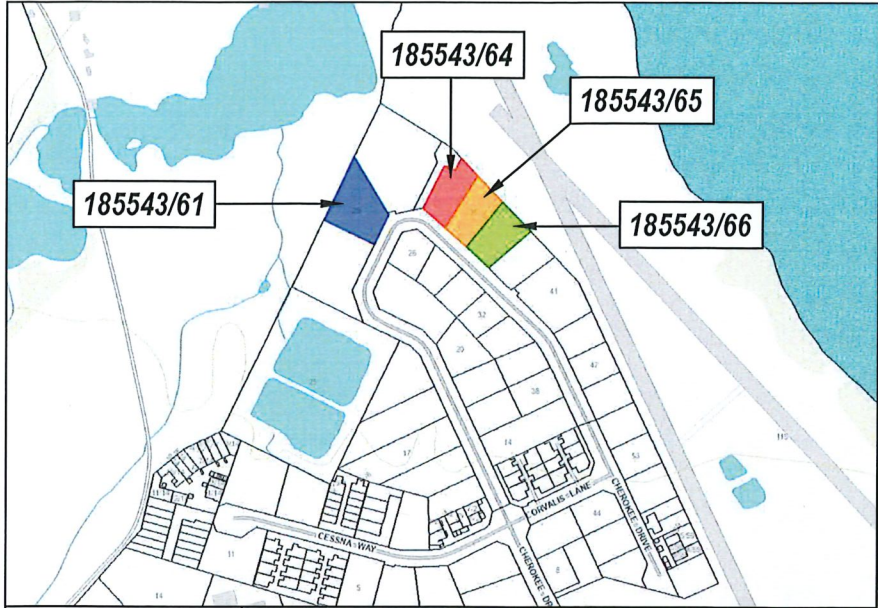
RONALD AULBEN BROOKS
.....
Director Full Name (print)


.....
Director/Secretary Signature

PAUL ROBERT BROOKS
.....
Director/Secretary Full Name (print)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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LOCATION PLAN

This plan has been prepared only for the purpose of obtaining preliminary subdivisional approval from the local authority and is subject to that approval.

All measurements and areas are subject to the final survey.

Base image by Nearmap (www.nearmap.com/au), © Geoscape Australia
Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania

Staging

Stage 1-	
Stage 2-	
Stage 3-	

Clarence Council
18.0 Light Industrial
18.6 Development Standards for Subdivision

18.6.1 Lot Design

- A1
- (a)- All lots comply - Min. 1000m²
 - (i)- All lots comply - Contain min. area of 15m x 20m w/ gradient < 1:5
 - a- All lots comply - All required setbacks
 - b- All lots comply - Clear of easements
 - (ii)- All existing buildings comply - All required setbacks
- A2- Lot 1, 3, 5 & 7 comply - Min. 20m frontage
P2- Lot 2, 4, 6 & 8 comply
- (a)- The number of other lots which have the land subject to the right of carriageway as their sole or principal means of access;
 - (b)- The topography of the site;
 - (c)- The functionality and useability of the frontage;
 - (d)- The anticipated nature of vehicles likely to access the site;
 - (e)- The ability to manoeuvre vehicles on the site;
 - (f)- The ability for emergency services to access the site; and
 - (g)- The pattern of development existing on established properties in the area

E	Add planning scheme requirements + add right of ways	LH	25/06/26	LH
D	Add electrical turret location	LH	15/04/26	LH
C	Adjust boundary between Lot 1 & 2	LH	15/04/26	LH
B	Update lot numbers + add staging information + add As-con data	LH	14/04/26	LH
A	Update proposed boundaries	LH	13/04/26	LH
REV	AMENDMENTS	DRAWN	DATE	APPR.



UNIT 1, 2 KENNEDY DRIVE
CAMBRIDGE 7170
PHONE: (03)6248 5898
EMAIL: admin@rbsurveyors.com
WEB: www.rbsurveyors.com

OWNER: AIRPORT INDUSTRIAL PTY LTD
TITLE REFERENCE: 185543/61, 185543/64, 185543/65 & 185543/66
LOCATION: 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE

Proposed Subdivision

Date:	07/04/2026	Reference:	AIRIN04 16975-01
Scale:	1:1,000 (A3)	Municipality:	CLARENCE

J,D,E,F,G
Variable Width
(SP164757)

15m x 20m Min.
Compliance Area

Proposed Right of
Ways variable width

CHEROKEE DRIVE

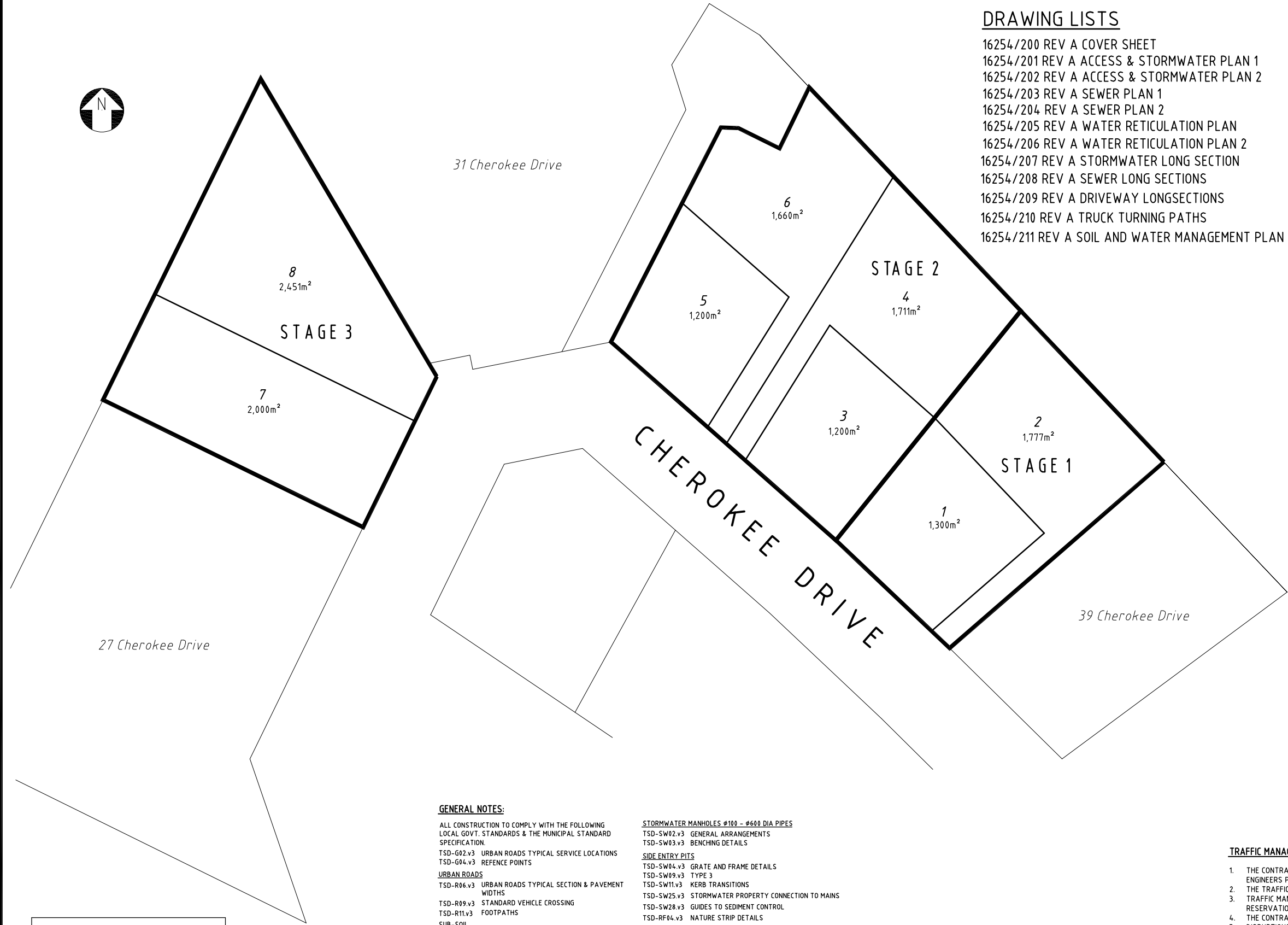
Restrictive Covenant:
Not to construct
buildings over 8m
above NGL

Drainage
Easement 'B'
variable width

Pipeline & Services
Easement and Drainage
Easement variable width

Pipeline & Services
Easement and Drainage
Easement 3.00 wide

Proposed Right of
Way variable width



16254/200 REV A COVER SHEET
16254/201 REV A ACCESS & STORMWATER PLAN 1
16254/202 REV A ACCESS & STORMWATER PLAN 2
16254/203 REV A SEWER PLAN 1
16254/204 REV A SEWER PLAN 2
16254/205 REV A WATER RETICULATION PLAN
16254/206 REV A WATER RETICULATION PLAN 2
16254/207 REV A STORMWATER LONG SECTION
16254/208 REV A SEWER LONG SECTIONS
16254/209 REV A DRIVEWAY LONGSECTIONS
16254/210 REV A TRUCK TURNING PATHS
16254/211 REV A SOIL AND WATER MANAGEMENT PLAN

1. ALL WATER SUPPLY WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE WATER CODE OF AUSTRALIA WSA 03-2011-3.1 MRWA EDITION V2.0, TASWATER'S SUPPLEMENTS TO THESE CODES & ALL RELEVANT 'H & S' STANDARDS.
2. GENERALLY WATER MAINS TO BE INSTALLED AFTER THE CONSTRUCTION OF STORM WATER AND SEWER ASSETS.
3. FOR MINIMUM COVER OVER PIPES AND TRENCH WIDTHS, REFER TASWATER TW WSA03-2011-3.1 MRWA v2 TABLE 1 MRWA-W-202
4. PIPE TRENCHFILL SHALL BE IN ACCORDANCE WITH MRWA-W-202
5. PIPE EMBEDMENT SHALL BE IN ACCORDANCE WITH MRWA-W-202
 - FOR PIPES GRADES GREATER THAN 10% EMBEDMENT WILL BE 20mm CEMENT TREATED CLASS 3 FCR. PLANT MIXED 3% CEMENT
 - FOR PIPES GRADES LESS THAN 10% EMBEDMENT WILL BE 7mm FCR AND AS NOTED ON THE APPROVED WATER MAIN PLANS & LONG SECTIONS WHERE SHOWN
6. ALL WATER SUPPLY WORKS MUST BE TESTED AND INSPECTED BY 'TASWATER' PRIOR TO BACKFILL.
7. ALL LIVE WATER CONNECTIONS ARE TO BE DONE BY TASWATER AT THE DEVELOPERS COST.
8. ALL WORK TO BE DONE BY CONTRACTOR AT DEVELOPERS COST U.N.O.
9. LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND ADVISE THE ENGINEER OF ANYTHING THAT APPEARS NOT BE HAD BEEN CONSIDERED IN THE DESIGN.
10. BULKHEADS AND TRENCH STOPS TO BE IN ACCORDANCE WITH DRG. MRWA-W-208 & 209 AND AS NOTED ON THE APPROVED WATER LONG SECTIONS WHERE SHOWN
11. WATER MAIN CLEARANCES SHALL BE IN ACCORDANCE WITH WSA 03-2011-3.1, 5.12.5.2 TABLE 5.5
12. THRUST AND ANCHOR BLOCKS SHALL BE CONSTRUCTED IN ACCORDANCE MRWA-W-204 & 205
13. LOT CONNECTIONS TO BE IN ACCORDANCE WITH TASWATER DRG. No. TW-SD-W-002 SHEET 5 OF 19 FOR DN20 & DN25 BELOW GROUND CONNECTIONS
14. FOR LOT CONNECTIONS TO RETICULATION MAINS REFER MRWA-W-110
15. STOP VALVES AND HYDRANTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TASWATER DRG. No. TW-T-306
16. HYDRANT MARKINGS TO BE IN ACCORDANCE WITH TASWATER DRG. No. TW-W-311 FOR KERBS
17. CUL-DE-SAC POOLY LOOPS TO BE INSTALLED IN ACCORDANCE WITH TASWATER DRG. No. TW-W-360

1. ALL SEWER WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE SEWER CODE OF AUSTRALIA WSA 02-2014-31.MRWA EDITION V2.0. TASWATER'S SUPPLEMENT TO THESE CODES & ALL RELEVANT W. H. & S. STANDARDS.
2. ALL SEWER PIPES TO BE 150 ϕ UPVC CLASS S8 AT 165% MINIMUM FALL U.N.O.
3. FOR MINIMUM COVER OVER PIPES, REFER MRWA- S- 201, TABLE 201-C
4. ALL PRODUCTS USED IN CONSTRUCTION TO COMPLY WITH THE CITY WEST WATER MATERIAL LIST
5. ALL SEWER WORKS MUST BE TESTED AND INSPECTED BY 'TASWATER' PRIOR TO BACKFILL.
6. ALL LIVE SEWER CONNECTIONS ARE TO BE DONE BY TASWATER AT THE DEVELOPERS COST.
7. ALL MAINTENANCE STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING
 - MRWA-S-309 MAINTENANCE HOLES - GENERAL CONSTRUCTION REQUIREMENTS
 - MRWA-S-310 CONCRETE MAINTENANCE HOLES - BASE CONSTRUCTION
 - MRWA-S-311 CONCRETE MAINTENANCE HOLES - INTRENAL DROP
8. ALL WORK TO BE DONE BY CONTRACTOR AT DEVELOPERS COST U.N.O.
9. LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ADVISE THE ENGINEER OF ANYTHING THAT APPEARS NOT TO HAVE BEEN CONSIDERED IN THE DESIGN.
10. ALL MAINTENANCE/INSPECTION MHS IN TRAFFICABLE AREAS TO HAVE MIN. CLASS 'D' LIDS.
11. PIPE EMBEDMENT TO BE IN ACCORDANCE WITH MRWA-S-202.
12. FOR PIPES GRADES GREATER THAN 10% EMBEDMENT WILL BE 20mm CEMENT TREATED CLASS 3 FCR. PLANT MIXED 3% CEMENT
13. FOR PIPES GRADES LESS THAN 10% EMBEDMENT WILL BE 7mm FCR
14. BULKHEADS AND TRENCH STOPS TO BE IN CONSTRUCTED ACCORDANCE WITH DRG. MRWA-S-205
15. AND AS NOTED ON THE APPROVED SEWER PLANS AND LONG SECTIONS.
11. LOT CONNECTIONS TO BE IN ACCORDANCE WITH MRWA-S-301 TO MRWA-S-304 AND AS NOTED ON THE ABOVE DRAWINGS. PROVIDE A MINIMUM OF 100mm FOR LOT CONNECTIONS GREATER THAN 150mm IN DEPTH INSTALL "JUMP UP" TYPE 2 CONNECTIONS IN ACCORDANCE WITH MRWA-S-303 I.O. TO SURFACE
12. SEWER PIPE CLEARANCES TO BE IN ACCORDANCE WITH WSA 02-2014-31.MRWA vER. 2 SECTION 5.4, TABLE 5.4 AND TASWATER'S SUPPLIMENT.

1. THE CONTRACTOR IS TO PREPARE A TRAFFIC MANAGEMENT PLAN FOR APPROVAL BY THE SUPERVISING ENGINEERS PRIOR TO COMMENCING WORKS ON SITE.
2. THE TRAFFIC MANAGEMENT PLAN SHALL COMPLY WITH THE REQUIREMENTS OF AS 1742.
3. TRAFFIC MANAGEMENT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF ALL WORKS WITHIN THE ROAD RESERVATION.
4. THE CONTRACTOR SHALL MAINTAIN ONE TRAFFICABLE LANE AT ALL TIMES.
5. DISRUPTIONS TO TRAFFIC SHALL BE MINIMIZED.
6. ALL PERSONS INVOLVED IN TRAFFIC MANAGEMENT MUST HOLD APPROPRIATE QUALIFICATIONS - TO COUNCIL APPROVAL.
7. APPROPRIATE SAFETY GEAR SHALL BE WORN BY ALL PERSONS WORKING IN THE ROAD RESERVATION.

STAGING OF DEVELOPMENT		
STAGE	NO. OF LOTS	LOT NUMBERS
STAGE 1	2	LOTS 1 & 2
STAGE 2	4	LOTS 3-6
STAGE 3	2	LOTS 7 & 8

ALL CONSTRUCTION TO COMPLY WITH THE FOLLOWING
LOCAL GOV. STANDARDS & THE MUNICIPAL STANDARD
SPECIFICATION

TSD-602.v3 URBAN ROADS TYPICAL SERVICE LOCATIONS
TSD-604.v3 REFERENCE POINTS

URBAN ROADS

TSD-R06.v3 URBAN ROADS TYPICAL SECTION & PAVEMENT
WIDTHS

TSD-R09.v3 STANDARD VEHICLE CROSSING
TSD-R11.v3 FOOTPATHS

SUB-SOIL

TSD-R12.v3 CONSTRUCTION DETAILS
TSD-R13.v3 PIT CONNECTION - TYPE FD

CONCRETE KERB AND CHANNELS

TSD-R14.v3 PROFILE DIMENSIONS
TSD-R15.v3 CONSTRUCTION DETAILS
TSD-R16.v3 VEHICULAR CROSSINGS - TYPE KCR-B1

TSD-R23.v3 SIGNS

TSD-SW02.v3 GENERAL ARRANGEMENTS
TSD-SW03.v3 BENCHING DETAILS

SIDE ENTRY PITS

TSD-SW04.v3 GRATE AND FRAME DETAILS
TSD-SW09.v3 TYPE 3
TSD-SW11.v3 KERB TRANSITIONS
TSD-SW25.v3 STORMWATER PROPERTY CONNECTION TO MAINS
TSD-SW28.v3 GUIDES TO SEDIMENT CONTROL
TSD-RF04.v3 NATURE STRIP DETAILS

THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES IN THE VICINITY OF THE WORKS PRIOR TO UNDERTAKING ANY EXCAVATION.

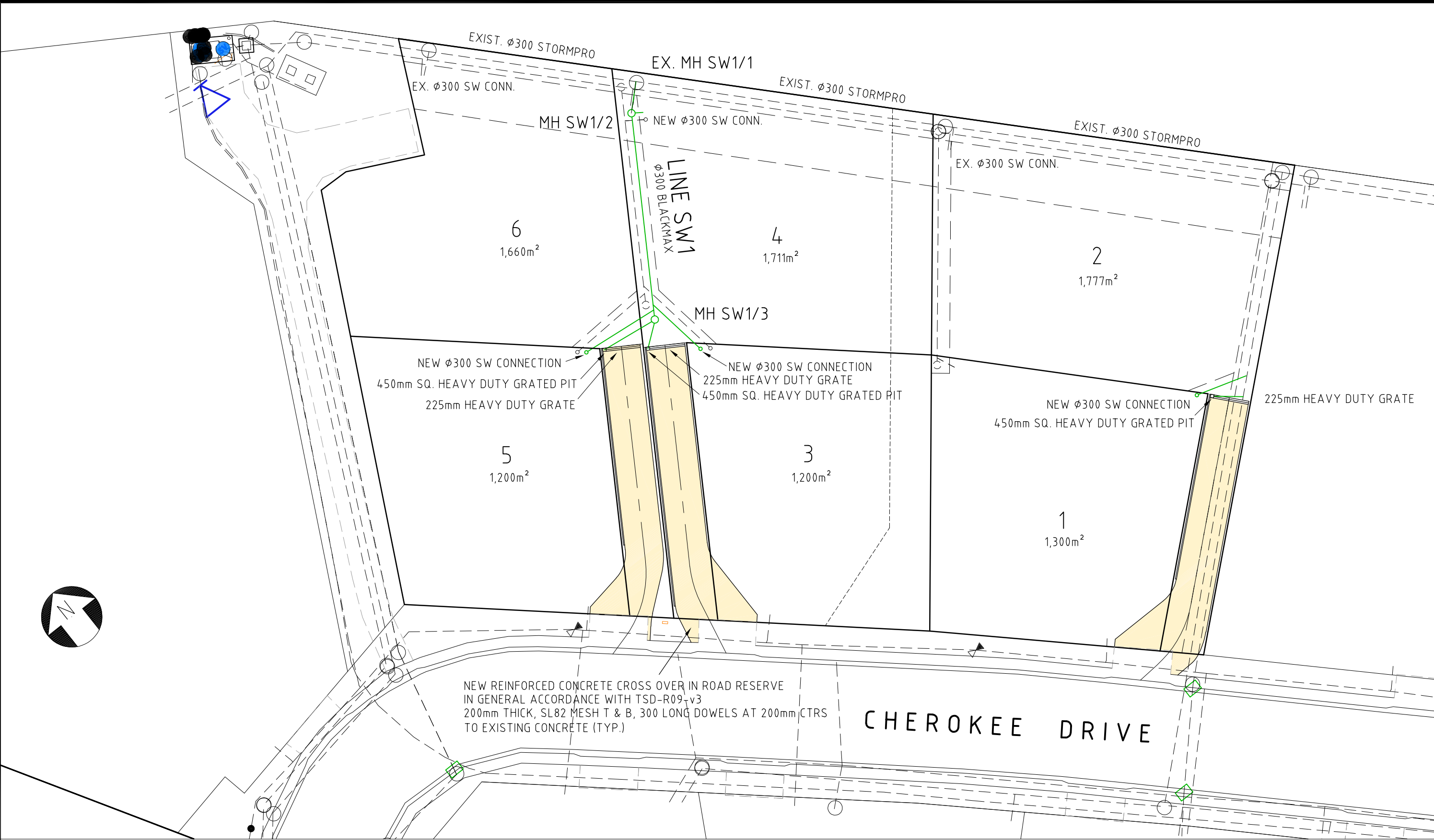
ALL STOCKPILES TO BE LOCATED CLEAR OF ANY WATERCOURSE.

FCR BACKFILL OVER ALL PIPES UNDER PROPOSED DRIVEWAYS & ROADWAYS

STORM WATER LOT CONNECTIONS TO BE @300 AT 1% GRADE

CLIENT:			
AIRPORT INDUSTRIAL PTY LTD			
No.	AMENDMENT	DATE	DRG No.
A	ISSUED FOR DA	16.04.2026	

 HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, 7000. A.C.N. 009508525 PHONE (03) 6223 5020 FAX (03) 6223 5347	^ STRUCTURAL ^ CIVIL ^ MUNICIPAL ^ MECHANICAL ^ MARINE ^ ELECTRICAL	
	No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3 COVER SHEET	
SCALE 1:250 (A3)	DRAWING No. REVISION	
DRAWN B. STANFORD DATE 29/01/2025	24078/200 (A)	
APPROVED	No. 1 OF SHEETS	



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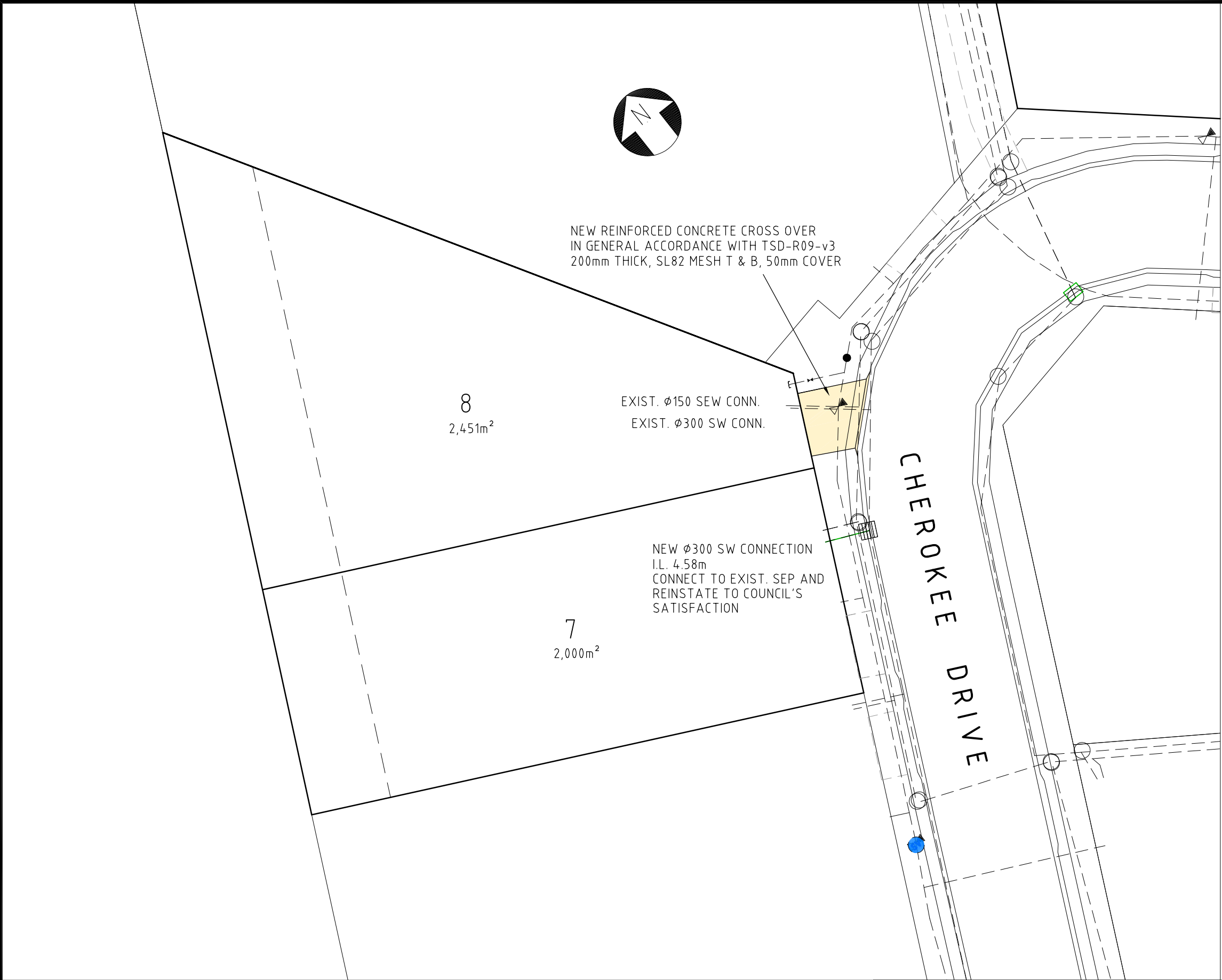
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~ MECHANICAL
~ MARINE
~ ELECTRICAL

AMENDMENT		DATE	DRG No.	REFERENCE
No.				No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3 ACCESS & STORMWATER PLAN 1
A	ISSUED FOR DA	16.04.2026		

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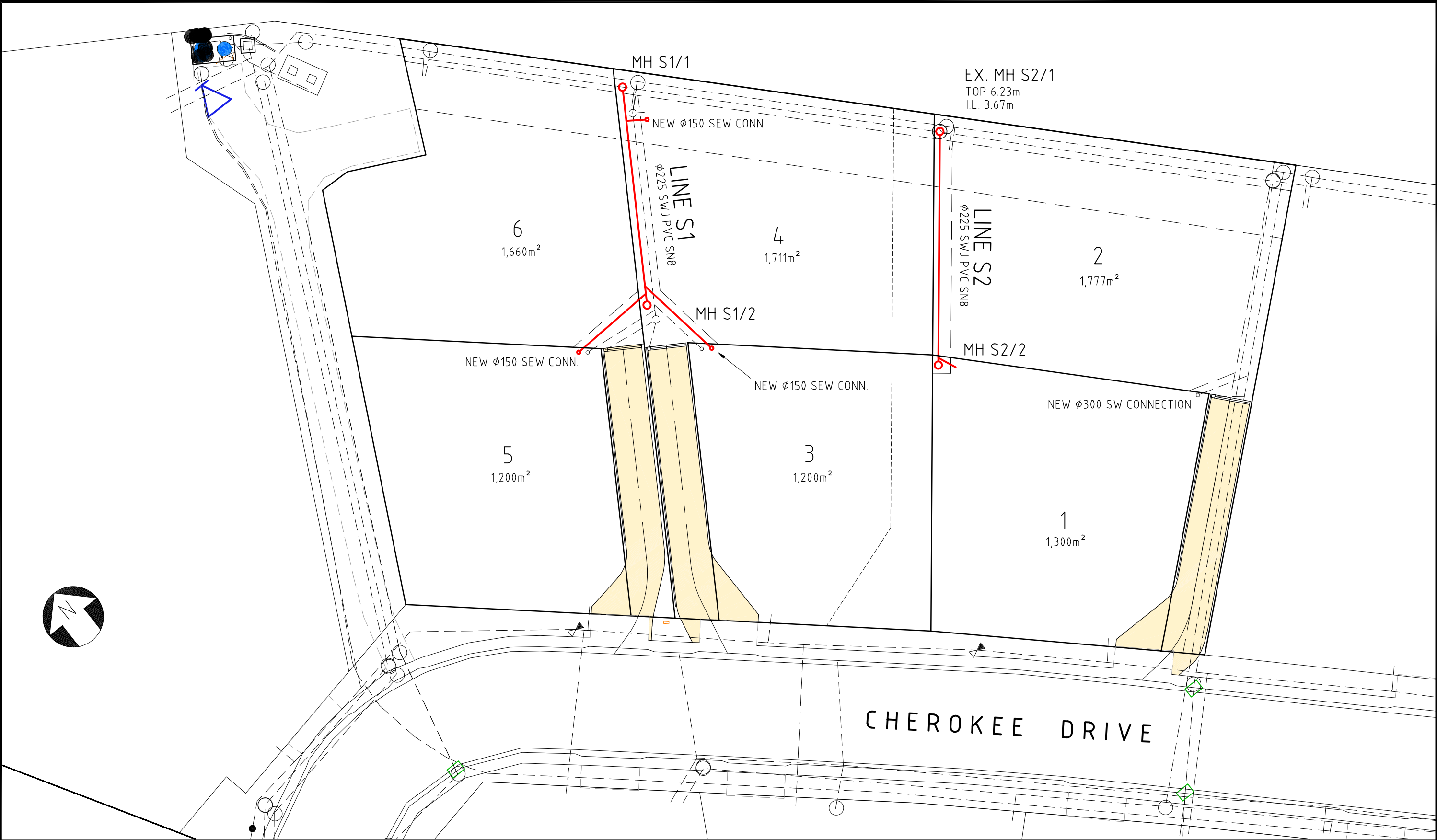
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^ CIVIL
^ MUNICIPAL
^ MECHANICAL
^ MARINE
^ ELECTRICAL

No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE
PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3
ACCESS & STORMWATER PLAN 2

SCALE 1:250 (A1) 1:500 (A3)
DRAWN B. STANFORD DATE 29/01/2025
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DRAWING No. REVISION
24078/202 **A**
No. 1 OF SHEETS

Document Set ID: 5920300
Version: 1, Version Date: 28/05/2026



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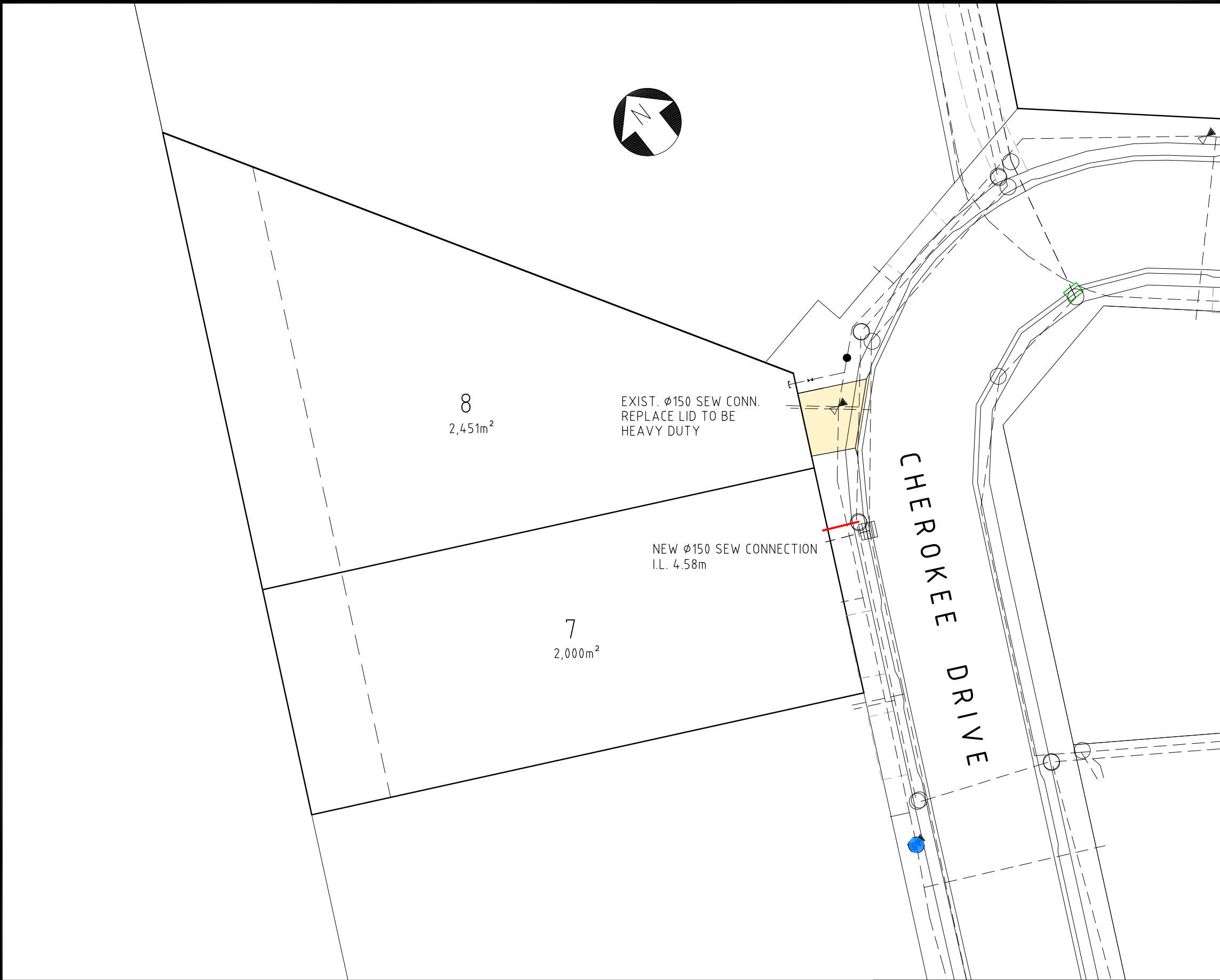
No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE
PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3
SEWER PLAN 1

SCALE 1:250 (A1) 1:500 (A3)
DRAWN B. STANFORD DATE 29/01/2025
APPROVED

DRAWING No.
24078/203
No. 1 OF SHEETS

REVISION
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Document Set ID: 5920300
Version: 1, Version Date: 28/05/2026



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^ MECHANICAL

^ MARINE

^ ELECTRICAL

No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE

PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3

SEWER PLAN 2

SCALE 1:250 (A1) 1:500 (A3)

DRAWN B. STANFORD DATE 29/01/2025

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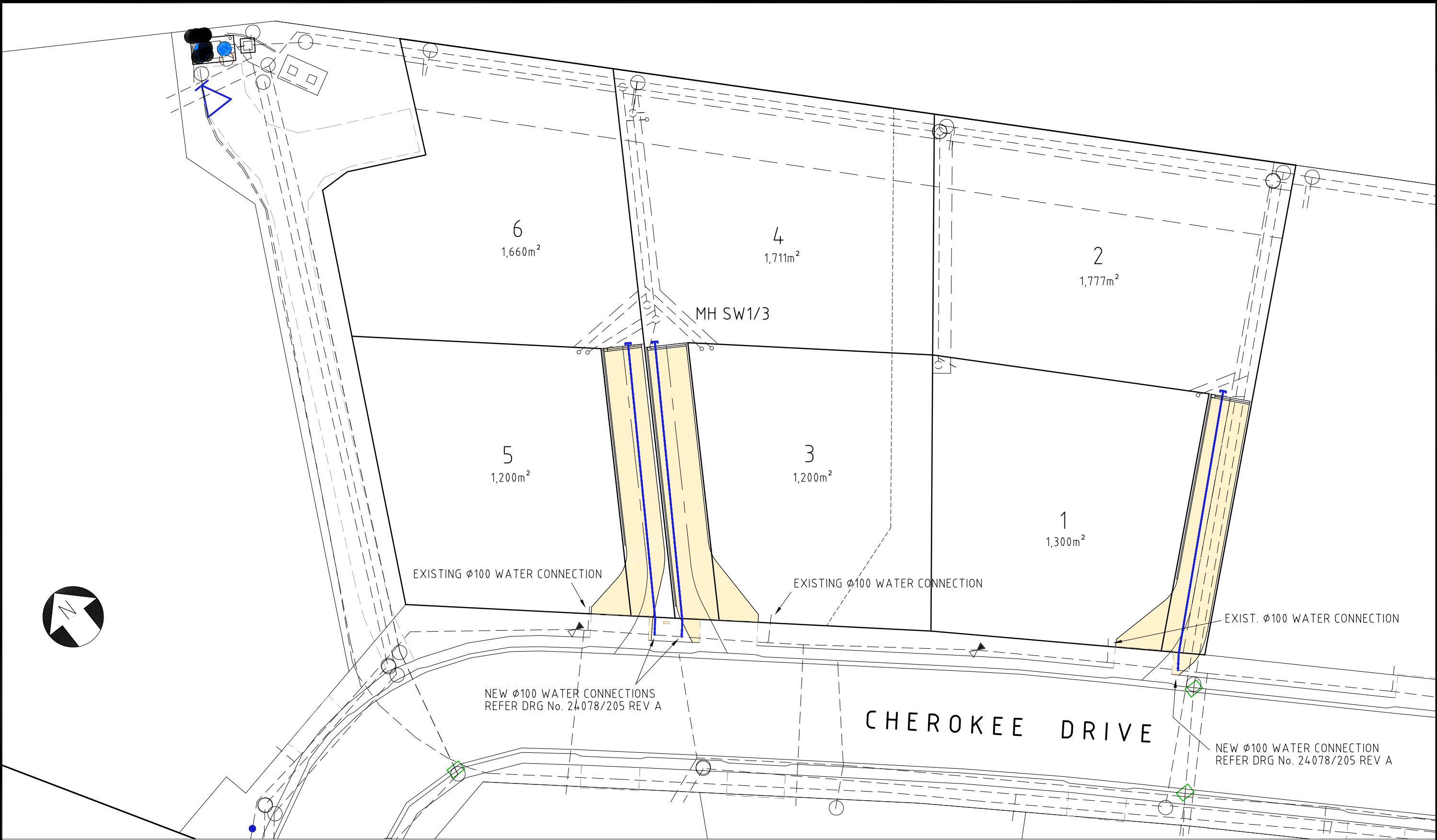
DRAWING No.

24078/204

REVISION

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No. 1 OF SHEETS



CLIENT:

AIRPORT INDUSTRIAL PTY LTD

No.

AMENDMENT

DATE

DRG No.

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~ CIVIL

~ MUNICIPAL

~ MECHANICAL

~ MARINE

~ ELECTRICAL

No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE

PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3

WATER RETICULATION PLAN 1

SCALE 1:250 (A1) 1:500 (A3)

DRAWN B. STANFORD DATE 29/01/2025

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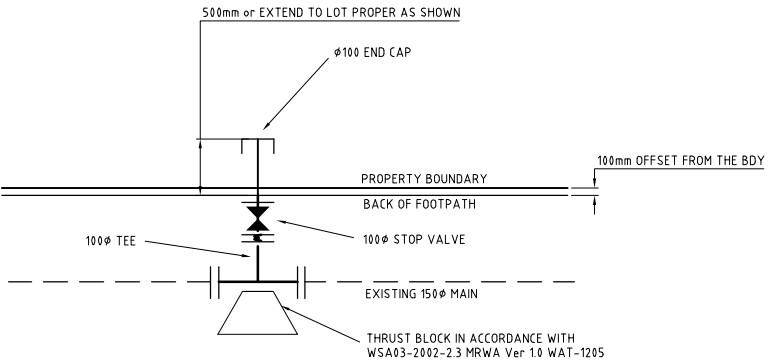
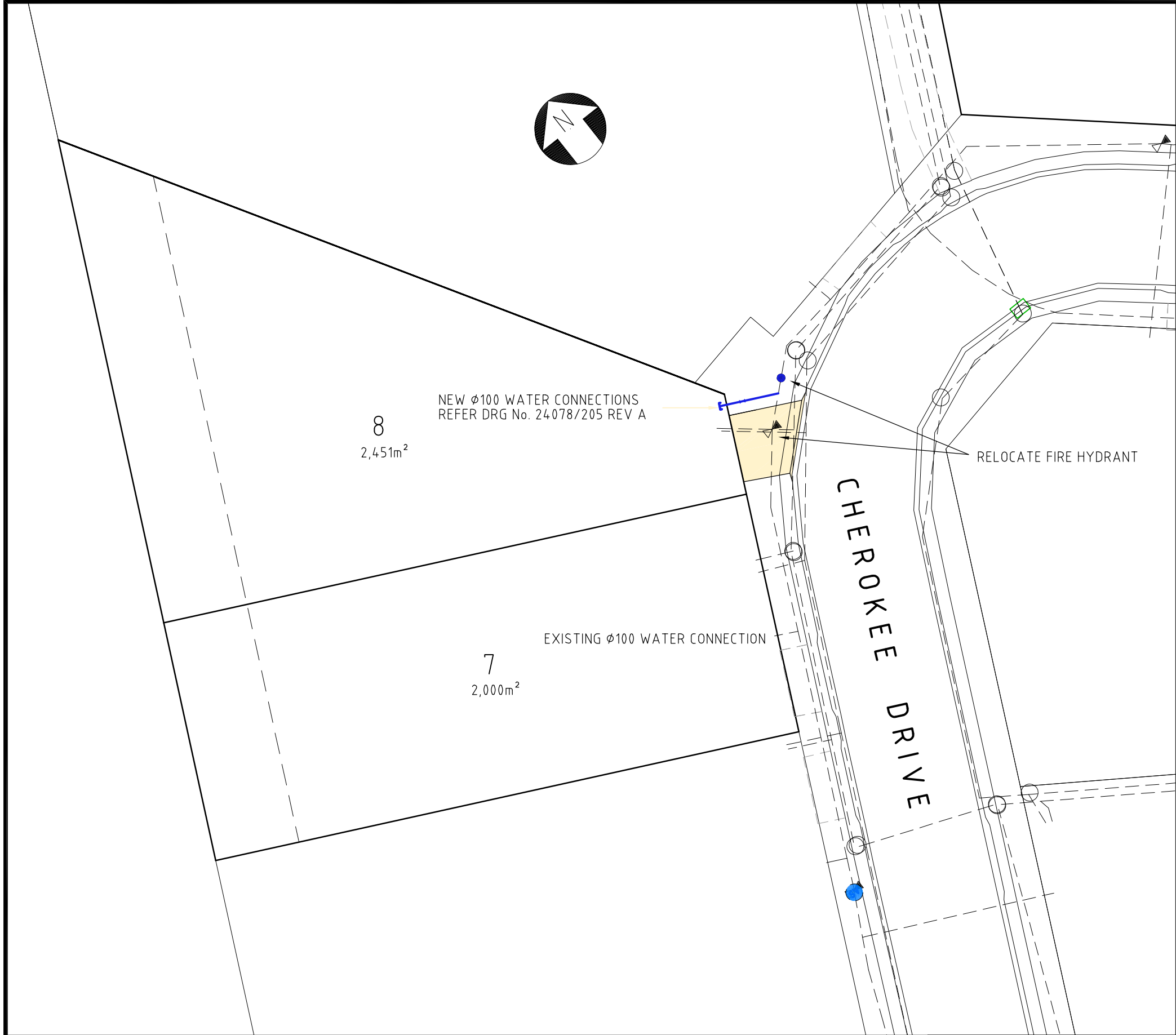
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24078/205

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LOT CONNECTION DETAIL

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CLIENT: AIRPORT INDUSTRIAL PTY LTD			
No.	AMENDMENT	DATE	DRG No.
A	ISSUED FOR DA	16.04.2026	



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CONSULTING ENGINEERS
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PHONE (03) 6223 5020 FAX (03) 6223 5347

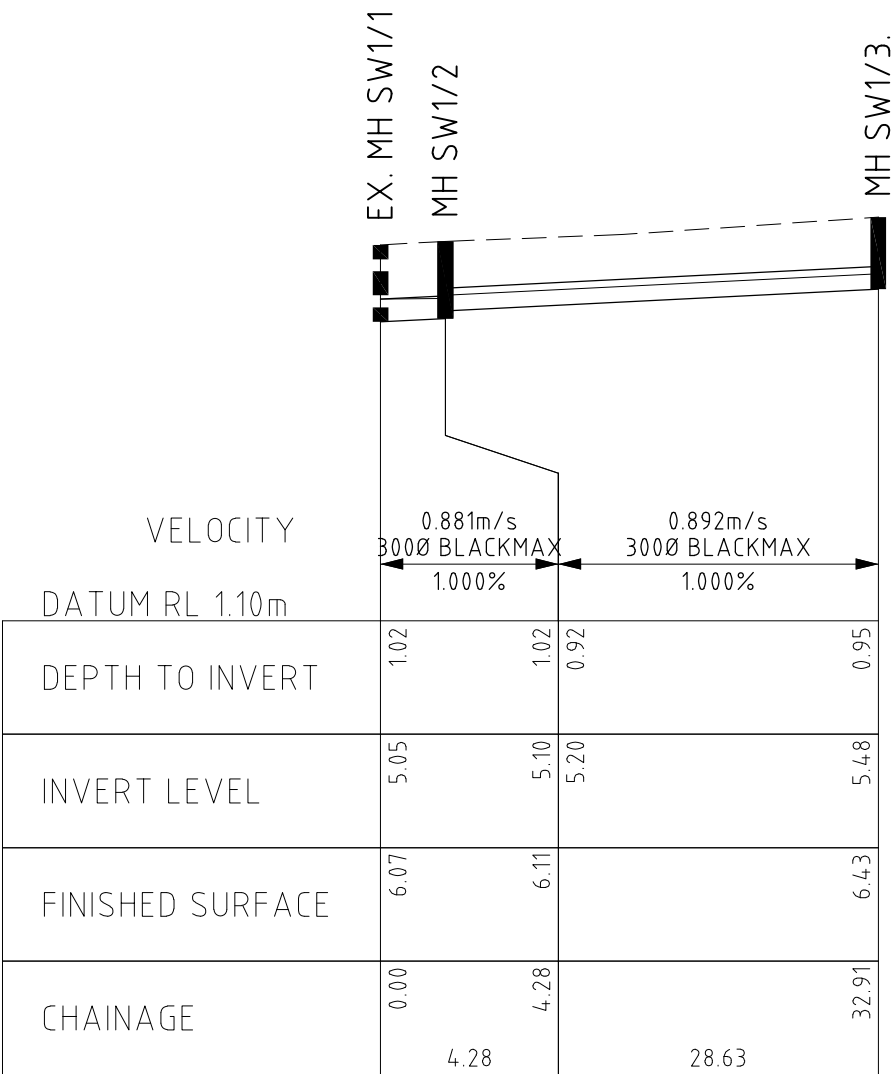
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~ CIVIL
~ MUNICIPAL
~ MECHANICAL
~ MARINE
~ ELECTRICAL

No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE
PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3
WATER RETICULATION PLAN 2

SCALE 1:250 (A1) 1:500 (A3)
DRAWN B. STANFORD | DATE 29/01/2025
APPROVED

DRAWING No. 24078/206
No. 1 OF SHEETS

REVISION
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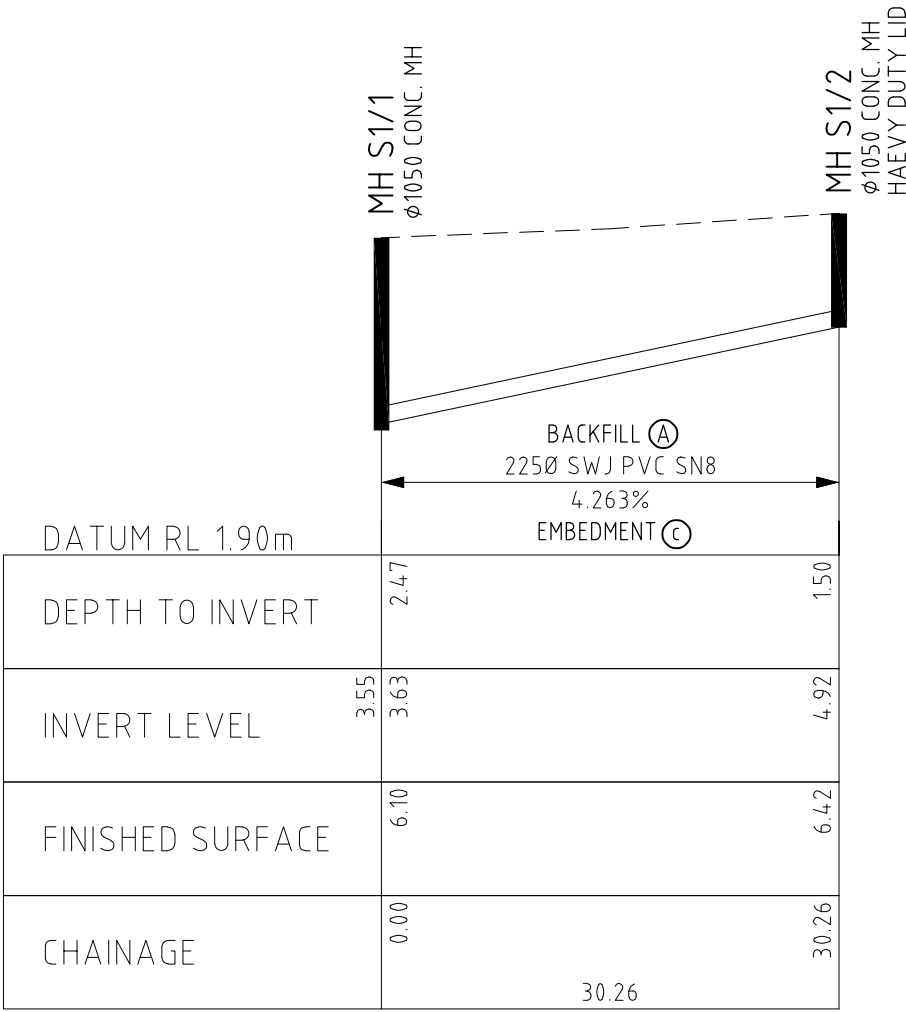


Line SW1

SCALES HOR 1:500 VER 1:100 (A3)

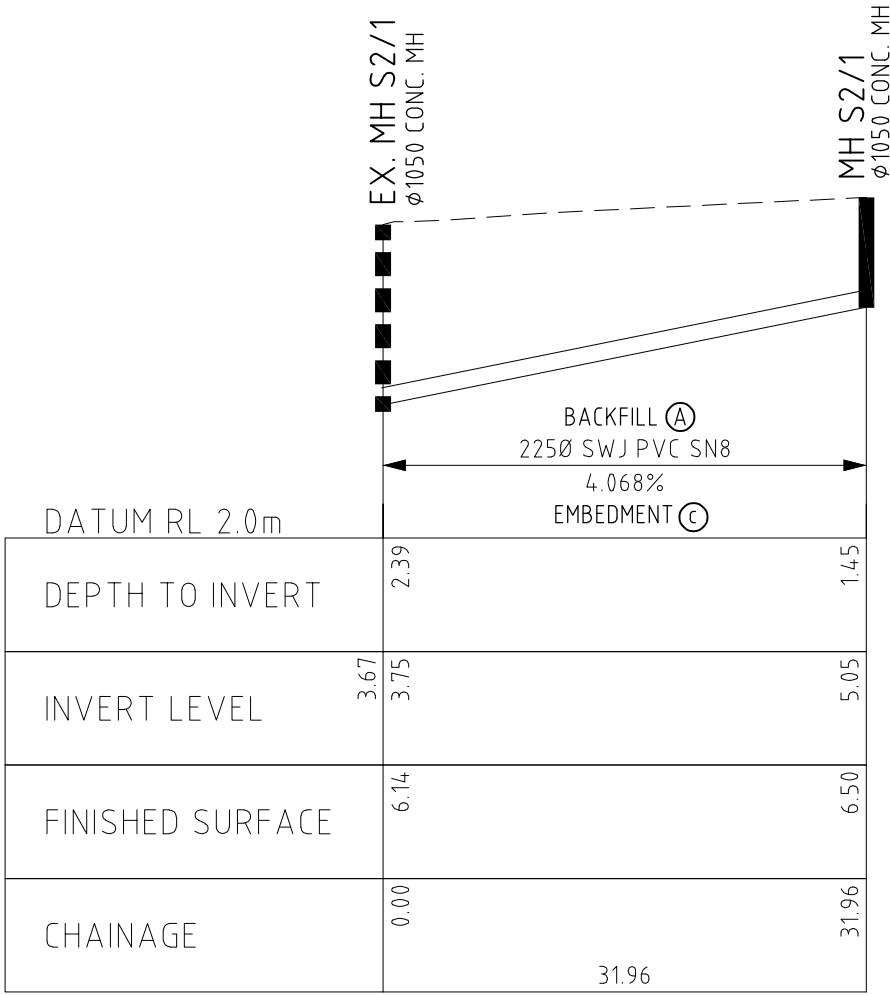
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No.	AMENDMENT	DATE	DRG No.	No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3 STORMWATER LONGSECTION		
A	ISSUED FOR DA	16.04.2026		SCALE AS SHOWN		
				DRAWN B. STANFORD DATE 29/01/2025		
				APPROVED		
				DRAWING No. REVISION 24078/207 (A)		
				No. 1 OF SHEETS		



Line S1

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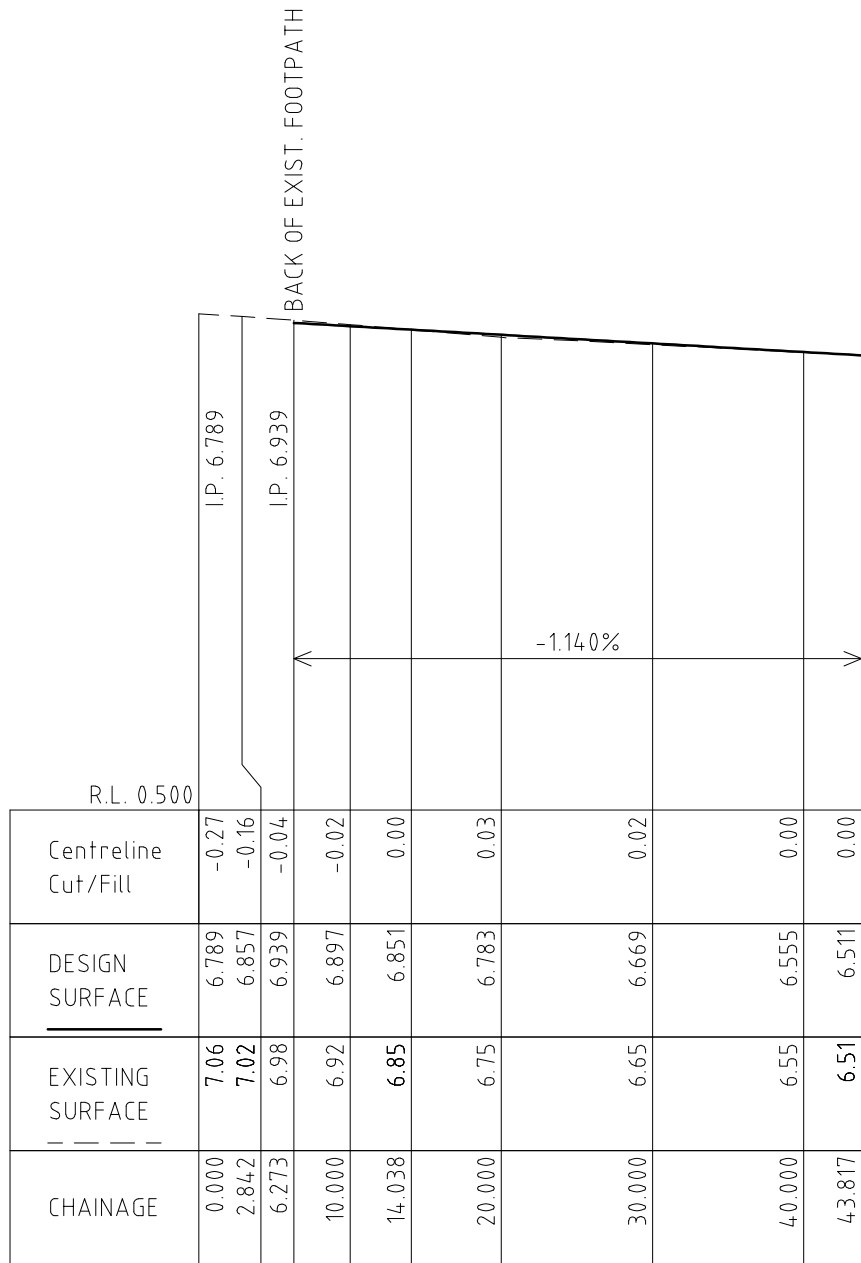


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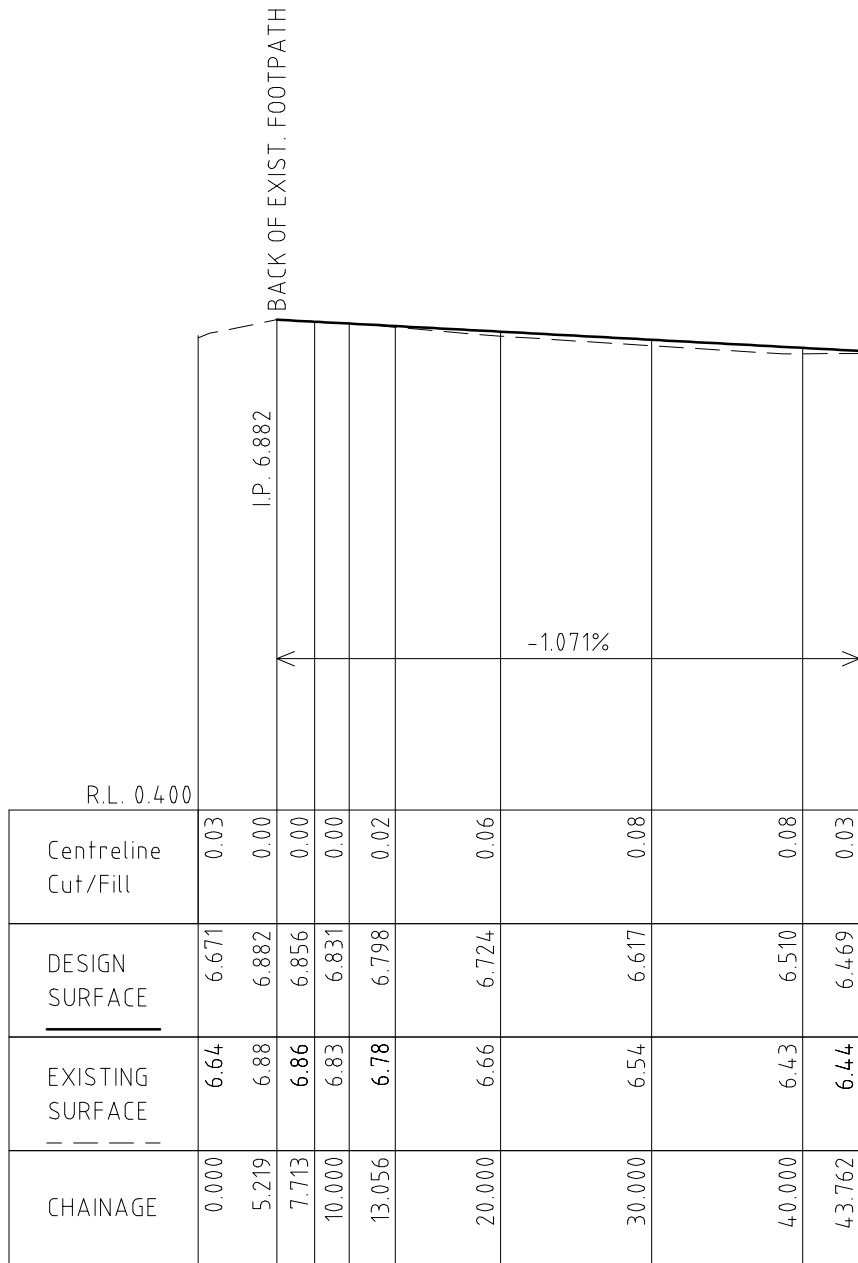
SCALES HOR 1:500 VER 1:100 (A3)

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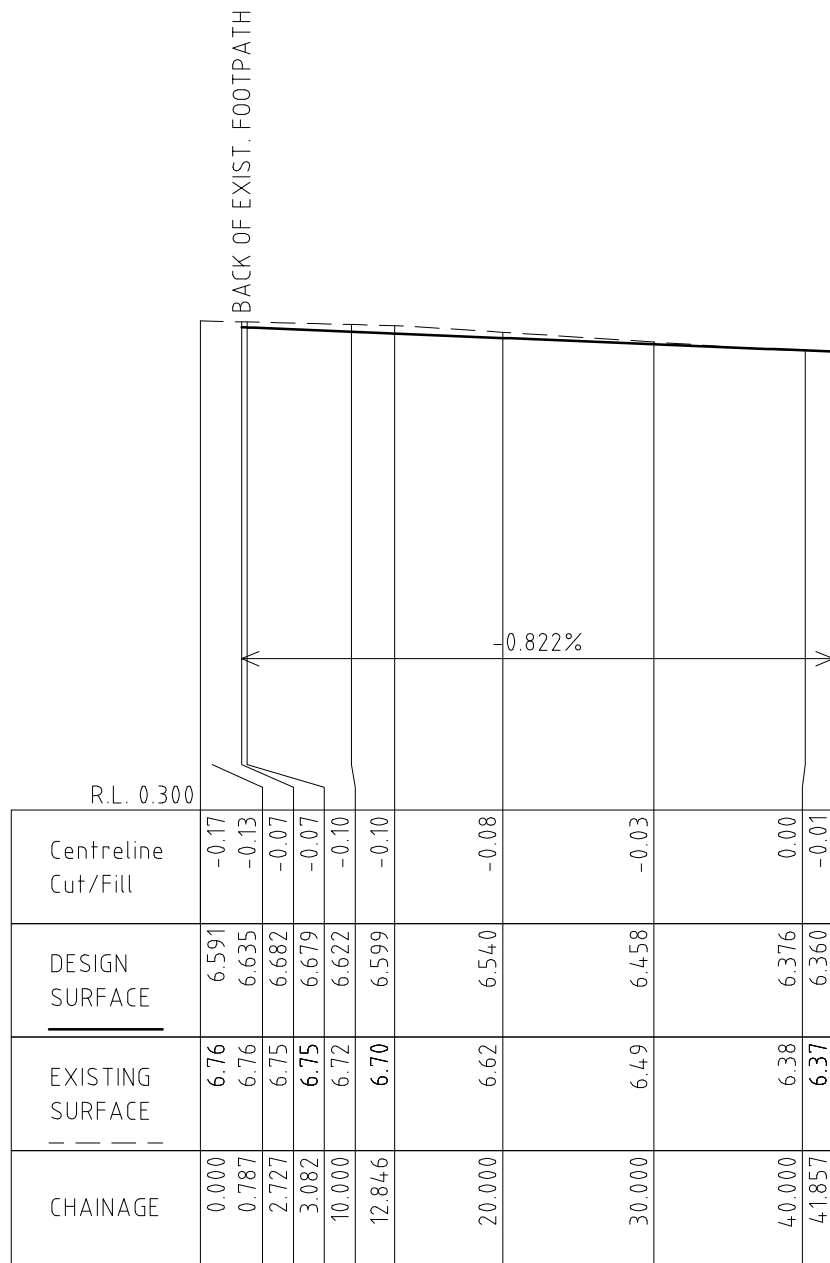
CLIENT: AIRPORT INDUSTRIAL PTY LTD				HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, 7000. A.C.N. 009508525 PHONE (03) 6223 5020 FAX (03) 6223 5347		^ STRUCTURAL ^ CIVIL ^ MUNICIPAL ^ MECHANICAL ^ MARINE ^ ELECTRICAL	
AMENDMENT		DATE	DRG No.	REFERENCE			
No.				No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE			
A	ISSUED FOR DA	16.04.2026		PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3			
				SEWER LONG SECTIONS			
				SCALE AS SHOWN		DRAWING No.	
				DRAWN B. STANFORD		DATE 29/01/2025	REVISION
				APPROVED		24078/208 (A)	
						No. 1 OF SHEETS	



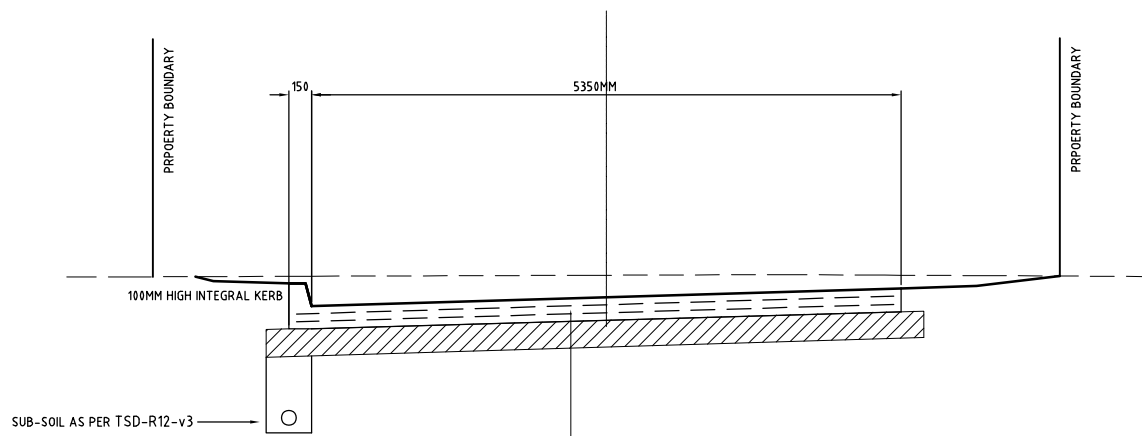
LONGITUDINAL SECTION
LOT A Ch 0.000 to Ch 43.817
SCALES: HORIZONTAL 1:500 VERTICAL 1:100 (A3)



LONGITUDINAL SECTION
LOT B Ch 0.000 to Ch 43.762
SCALES: HORIZONTAL 1:500 VERTICAL 1:100 (A3)



LONGITUDINAL SECTION
LOT C Ch 0.000 to Ch 41.857
SCALES: HORIZONTAL 1:500 VERTICAL 1:100 (A3)

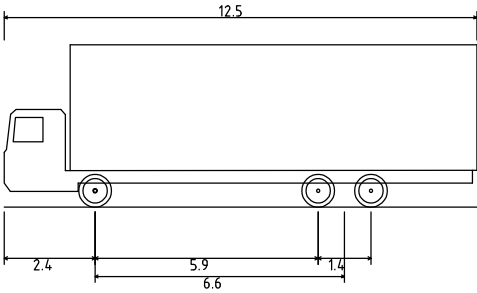
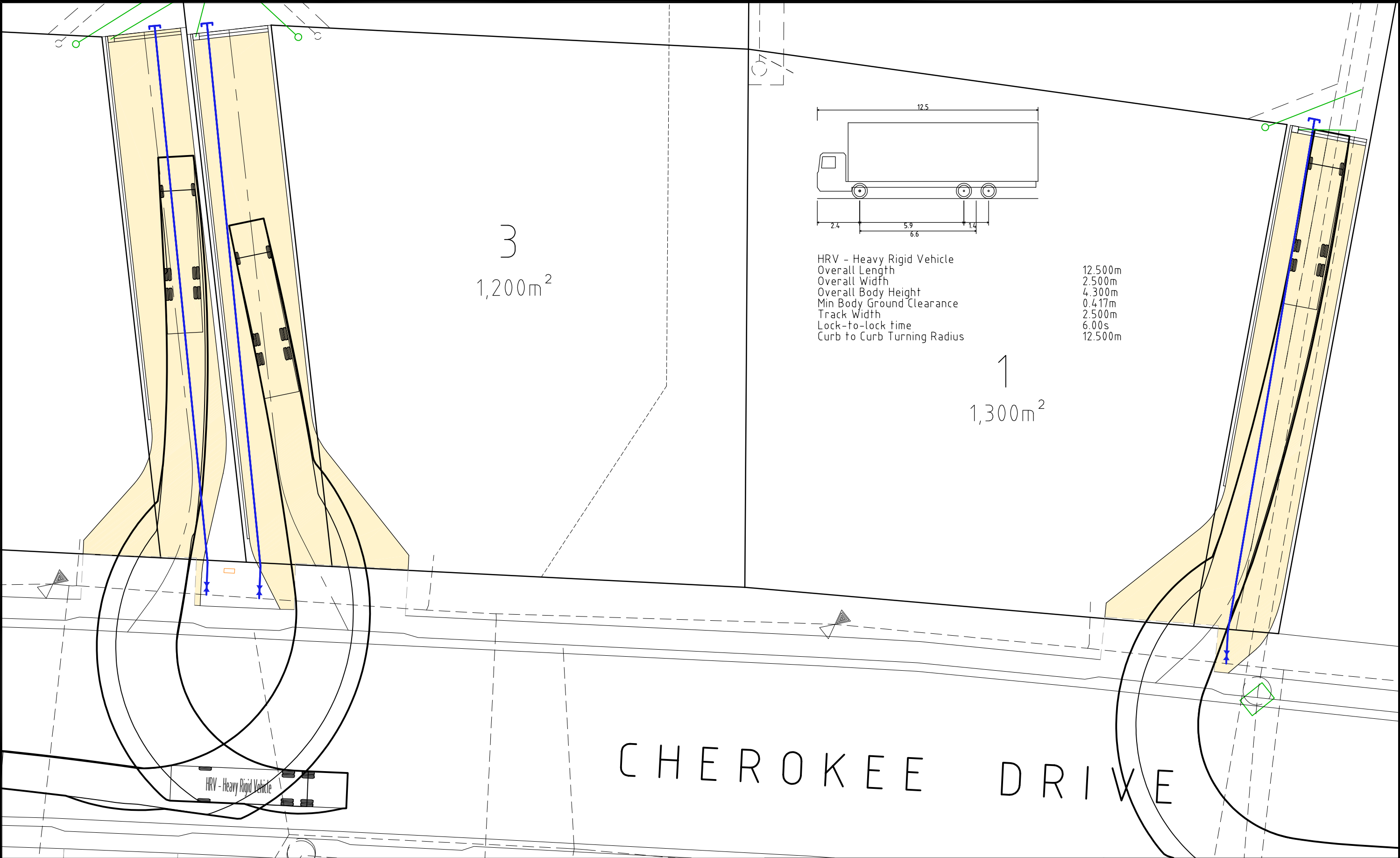


TYPICAL CROSS SECTION
DRIVEWAY ACCESS
SCALE 1:50 (A3)

200MM THICK REINFORCED CONCRETE DRIVEWAY IN GENERAL ACCORDANCE WITH TSD-R09-v3
SL82 (T&B) 50mm COVER, EXPANSION JOINTS AT 12m CTRS R20 @ 300 CTRS, CONTROL JOINTS 4m CTRS
100MM COMPACTED THICKNESS, 20MM FCR BASE COURSE
FOR SUB GRADE WITH CBR VALUE OF < 6 - 5 INCREASE TO 280mm OF 40mm FCR SUB BASE COURSE
FOR SUB GRADE WITH CBR VALUE OF < 5 - 4 INCREASE TO 360mm OF 40mm FCR SUB BASE COURSE
FOR SUB GRADE WITH CBR VALUE OF < 4 REFER TO ENGINEER FOR STRENGTHENING REQUIREMENTS

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No.	AMENDMENT	DATE	DRG No.	No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE PROPOSED 8 LOT SUBDIVISION - STAGES 1, 2 & 3 SEWER LONG SECTIONS		
A	ISSUED FOR DA	16.04.2026		SCALE	AS SHOWN	DRAWING No.
				DRAWN	B. STANFORD	DATE
				APPROVED	29/01/2025	24078/209
						No. 1 OF SHEETS



HRV - Heavy Rigid Vehicle
Overall Length 12.500m
Overall Width 2.500m
Overall Body Height 4.300m
Min Body Ground Clearance 0.417m
Track Width 2.500m
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 12.500m

C H E R O K E E D R I V E

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~ STRUCTURAL
~ CIVIL
~ MUNICIPAL
~ MECHANICAL
~ MARINE
~ ELECTRICAL

No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE
PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3
TRUCK TURNING PATHS

SCALE 1:250 (A3)
DRAWN B. STANFORD DATE 29/01/2025
APPROVED

DRAWING No. **24078/210** (A)
No. 1 OF SHEETS

REVISION

SOIL AND WATER MANAGEMENT PLAN.

1.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING GUIDELINE PUBLICATIONS:-
GUIDELINES FOR SOIL & WATER MANAGEMENT - JUNE 1999.
THE SOIL AND WATER MANAGEMENT CODE OF PRACTICES FOR HOBART REGIONAL COUNCILS.
2.
- EXISTING RUBBISH, GORSE, BLACKBERRIES ETC.. TO BE REMOVED FROM SITE.
3.
- SILT FENCE 2000 TO BE INSTALLED AS DIRECTED BY ENGINEER ON SITE. SILT FENCE TO BE SECURED WITH STAR DROPPERS AT MAX. 2M CENTRES, WITH FENCING TO BE PINNED TO THE GROUND IN BETWEEN.
4.
- PROVIDE TEMPORARY SILT RETENTION TRAPS AT ALL OUTFALLS, WHICH ARE TO BE REINSTATED AT COMPLETION OF WORKS.
5.
- PROVIDE HAY BALES, SECURED IN PLACE, AT ALL OUTFALLS, INCLUDING SILT RETENTION TRAPS.
6.
- DISTURBANCE OF EXISTING SOILS AND VEGETATION TO BE MINIMISED.
7.
- NO SOIL OR MUD IS TO BE TRACKED ONTO COUNCIL ROADS, BY VEHICLES LEAVING THE SITE. MAINTAIN GRAVEL TURNING AREAS AS REQUIRED TO FACILITATE MANOEUVRING.
8.
- ALL DISTURBED AREAS ARE TO BE LOAMED AND GRASSED.
9.
- ANY MATERIAL TRACKED ONTO ROADS SHALL BE REMOVED IMMEDIATELY BY HAND OR MACHINE CLEANING AS APPROPRIATE.



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STRUCTURAL
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No.s 29, 33, 35 & 37 CHEROKEE DRIVE, CAMBRIDGE
PROPOSED 8 LOT SUBDIVISION – STAGES 1, 2 & 3
SOIL & WATER MANAGMENT PLAN

SCALE 1:250 (A3)
DRAWN B. STANFORD DATE 29/01/2025
APPROVED

DRAWING No.
24078/211

REVISION
A

No. 1 OF SHEETS