



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061693

PROPOSAL: Warehouse & Contractors Yard (Storage)

LOCATION: 21 Abernant Way, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 10/08/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 10/08/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 10/08/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Storage (Contractors yard)

Location:

Address..... 21 Abernant Way

Suburb/Town Cambridge

Postcode 7170

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site: Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 186541	FOLIO 2
EDITION 2	DATE OF ISSUE 06-Dec-2025

SEARCH DATE : 06-Jan-2026

SEARCH TIME : 10.47 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Sealed Plan [186541](#)

Derivation : Part of 50 Acres Loc. to William Smith & Part of

50 Acres Loc. to William Blay

Prior CTs [184018/26](#) and [185377/1](#)SCHEDULE 1

[N292394](#) TRANSFER to ABERNANT PROPERTY PTY LTD Registered
06-Dec-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP186541](#) EASEMENTS in Schedule of Easements[SP186541](#) FENCING PROVISION in Schedule of Easements[SP179339](#) & [SP184018](#) FENCING PROVISION in Schedule of Easements[C30987](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 24-June-1997 at noon[C762554](#) AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
05-Jan-2007 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: GARDNER PROPERTY INVESTMENTS PTY LTD FOLIO REFERENCE: FR 185377/1 & FR184018/26 GRANTEE: PART OF 50 ACRES LOC. GRANTED TO WILLIAM BLAY PART OF 50 ACRES LOC. WILLIAM SMITH.	PLAN OF SURVEY BY SURVEYOR: OPDA SURVEYORS, ENGINEERS & PLANNERS C. M. Terry of 127 BATHURST STREET, HOBART LOCATION: CITY OF CLARENCE	Registered Number SP 186541 APPROVED EFFECTIVE FROM - 3 JUN 2024 <i>[Signature]</i> Recorder of Titles
SCALE 1: 750 LENGTHS IN METRES SURVEYORS REF 51837CT		

LOT 1 & 2 IS COMPILED FROM SP184018 & THIS SURVEY.

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

The map shows two main lots: Lot 1 (7028m², SP185377) and Lot 2 (2917m², SP184018). Lot 1 is bounded by Richmond Road to the west and a drainage easement to the south. Lot 2 is bounded by a drainage easement to the west and a right of way to the east. A pipeline and services easement (4.00 wide, SP184018) runs along the northern boundary of Lot 1. A drainage easement (4.00 wide, SP184018) runs along the southern boundary of Lot 1. A right of way (3.00 wide, SP184018) runs along the eastern boundary of Lot 2. The map also shows surrounding roads: Barilla, Rivulet, Spark Drive, and Abernant Way. A north arrow is located in the top right corner.

[Signature]
Registered Land Surveyor

15/1/2024
Date

[Signature]
Council Delegate

4/4/24
Date

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP186541

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and

(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and

(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

1. EASEMENTS**1.1 Lot 1**

- (a) **Lot 1** on the Plan is subject to a Right of Drainage (in gross in favour of Clarence City Council) over the area marked 'DRAINAGE EASEMENT 4.00 WIDE (SP184018) shown passing through Lot 1 on the Plan.
- (b) **Lot 1** on the Plan ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT 4.00 WIDE (SP184018)** shown on the Plan ("the Easement Land")

1.2 Lot 2

(PRIVATE)

- (a) **Lot 2** on the Plan is subject to a Right of Carriageway (in gross in favour of Clarence City Council) over the land marked 'RIGHT OF WAY 'A' 3.00 WIDE (CREATED BY N100620) and 'RIGHT OF WAY (PRIVATE) 3.00 WIDE (SP184018) shown on the Plan. ✕
- (b) **Lot 2** on the Plan is subject to a Right of Drainage (in gross in favour of Clarence City Council) over the area marked 'DRAINAGE EASEMENT 4.00 WIDE (SP184018) shown passing through Lot 2 on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Gardner Property Investments Pty Ltd	PLAN SEALED BY: Clarence City Council
FOLIO REF: CT 185377/1 & 184018/26	DATE: 4 th April 2024
SOLICITOR	POPLANDMTD - 2022/
& REFERENCE: C Wootton 234738	REF NO. 033265
	Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number 
SUBDIVIDER: Gardner Property Investments Pty Ltd FOLIO REFERENCE: 185377/1 & 184018/26	

2. FENCING PROVISION

In respect of each and every lot on the Plan the Vendor (**Gardner Property Investments Pty Ltd**) shall not be required to fence.

3. INTERPRETATION

“Pipeline and Services Easement” means:

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and

Signed by **Gardner Property Investments Pty Ltd**:  

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP186541
SUBDIVIDER: Gardner Property Investments Pty Ltd FOLIO REFERENCE: 185377/1 & 184018/26	

- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietors of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove anything that supports, protects or covers any infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“Right of Carriageway” means a right of carriage way as set out in long form within Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

“Right of Drainage” means a right of drainage as set out in long form within Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

“TasWater” means Tasmanian Water and Sewerage Corporation Pty Limited (ACN 162 220 653), trading TasWater, established under the provisions of the *Water and Sewerage Corporations Act 2012* (Tas).

Signed by **Gardner Property Investments Pty Ltd:**

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP186541
SUBDIVIDER: Gardner Property Investments Pty Ltd FOLIO REFERENCE: 185377/1 & 184018/26	

4. EXECUTION**Signed on behalf of Gardner Property Investments Pty Ltd**

(ACN 604 545 182) ATF the Gardner Property Investment

Trust in accordance with section 126

of the *Corporations Act 2001 (Cth)* by:

Signature**DIRECTOR**

Authorised Agent



Witness Signature

Witness Signature

Lynley McLure

Name of Witness

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PINNACLE

Type of construction required C2D2 NCC Vol. I 2022		
Rise in storeys	Class of building 2, 3, 9	Class of building 5, 6, 7, 8
4 or more	A	A
3	A	B
2	B	C
1	C	C



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

Changes List			
Issue	Description of change	Date	Designer
Ch - 01	Client Changes	21.01.26	JRN
Ch - 02	Client changes	29/01/26	JRN
Ch - 03	Screening to fence	21.07.26	JRN



21 Abernant Way, Cambridge, 7170

Owner(s) or Clients	Abernant Property Pty Ltd	Title Reference	186541/2
Building Classification	7	Zoning	Light Industrial
Construction Type	C	Land Size	2917m ²
No. of Storeys	2	Design Wind Speed	TBA
Designer	Jason Nickerson CC6073Y	Soil Classification	TBA
Total Floor Area (Combined)	337.86m ²	Climate Zone	7
Alpine Area	N/A	Corrosion Environment	Low
Other Hazards	Airport obstacle limitation area, Waterway and coastal protection area, Flood-prone areas, Bushfire-prone areas	Bushfire Attack Level (BAL)	TBA

ID	Sheet Name	Issue
A.01	Site Plan	DA - 02
A.02	Floor Plan - Lower	DA - 02
A.03	Floor Plan - Upper	DA - 02
A.04	Elevations	DA - 02
A.05	Elevations	DA - 02
A.06	Roof Plan	DA - 02

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Spotlight with sensor

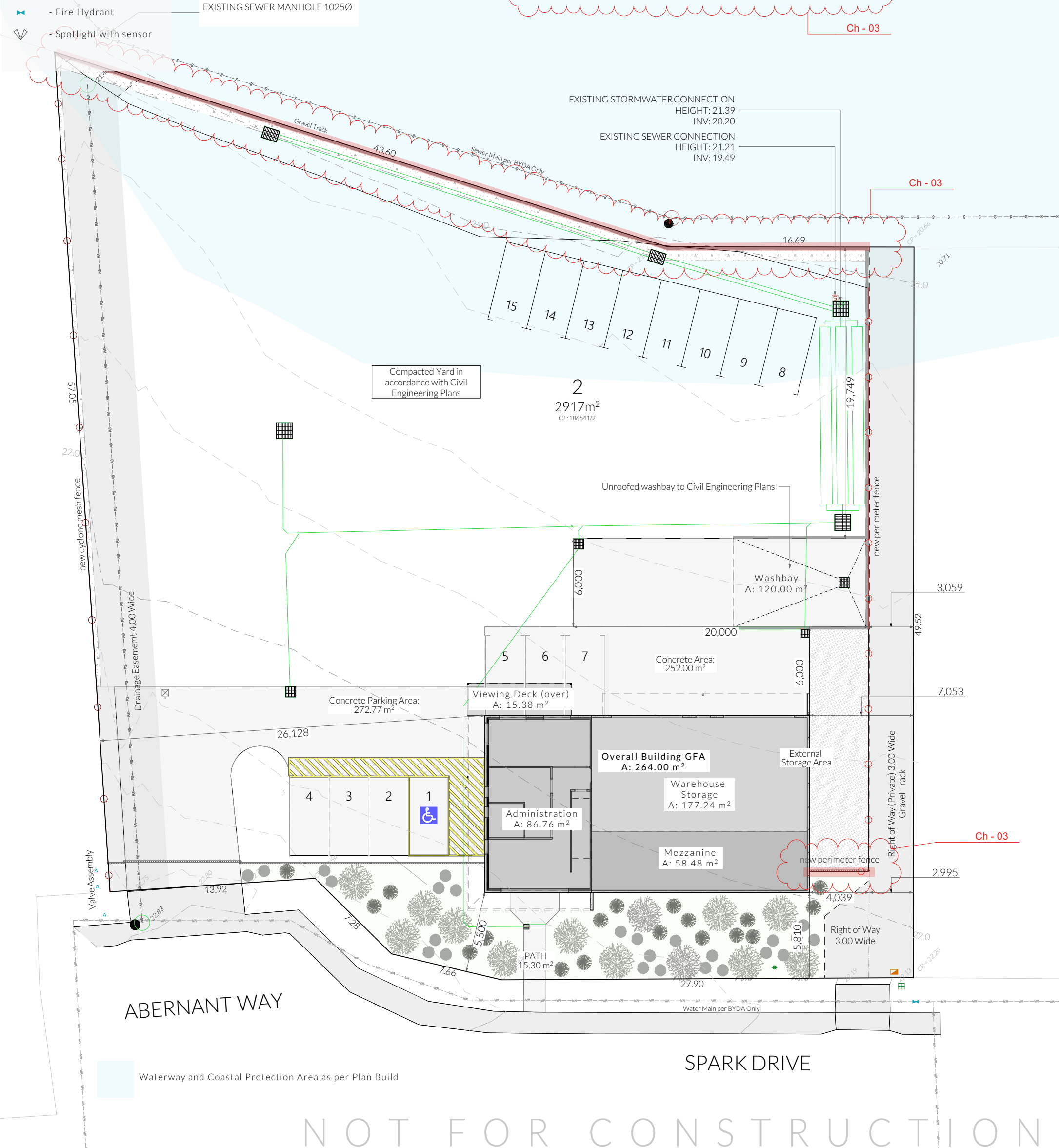


Proposed Screening to Fence

(fence type and screening may change on final design)

Site Areas

Administration	86.76
Mezzanine	58.48
Viewing Deck (over)	15.38
Warehouse	177.24
Washbay	120.00
	457.86 m²



PINNACLE

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7/3 Abernant Way, Cambridge 7170
03 6248 4218
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www.pinnacledrafting.com.au
Licence Number: CC6073Y

Issue Ch - 03 Date 21.07.26 Designer JRN

NOTE: Refer to cover page for further details on changes.

Site Plan

Revision: DA - 02
Approved by: JRD

Scale: 1:250 @ A3
Pg. No: A.01

Proposal: Storage (Contractors Yard)
Client: Abernant Property Pty Ltd
Address: 21 Abernant Way, Cambridge, 7170

Date: 26/09/2025
Drawn by: JN
Job No: 072-2025
Engineer: TBA
Building Surveyor: TBA



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LEGEND

-  Access Panel
-  Articulation Joint
-  TGSi
-  Exit Sign
-  Fire Hose Reel
-  Fire Extinguisher
-  Batts to wall
-  Sound insulation

Internal Room Areas

Viewing Deck	15.39
Reception	20.72
WC (amb)	1.70
Stairwell	8.33
Airlock	6.09
Office	25.80
Warehouse	171.06
Boardroom	22.02
WC Handicapped	5.45
Open Office	40.03
Lunchroom	10.89
Mezzanine	58.48

Building Area

264.00

264.00 m²

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Floor Plan - Lower

Revision:
Approved by:

DA - 02
JRD

Scale:
1:100 @ A3
Pg. No:
A.02

Proposal: Storage (Contractors Yard)
Client: Abernant Property Pty Ltd
Address: 21 Abernant Way, Cambridge, 7170

Date: 26/09/2025
Drawn by: JN
Job No: 072-2025
Engineer: TBA
Building Surveyor: TBA

Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		



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NOT FOR CONSTRUCTION



LEGEND

-  Access Panel
-  Articulation Joint
-  TGSi
-  Exit Sign
-  Fire Hose Reel
-  Fire Extinguisher
-  Batts to wall
-  Sound insulation

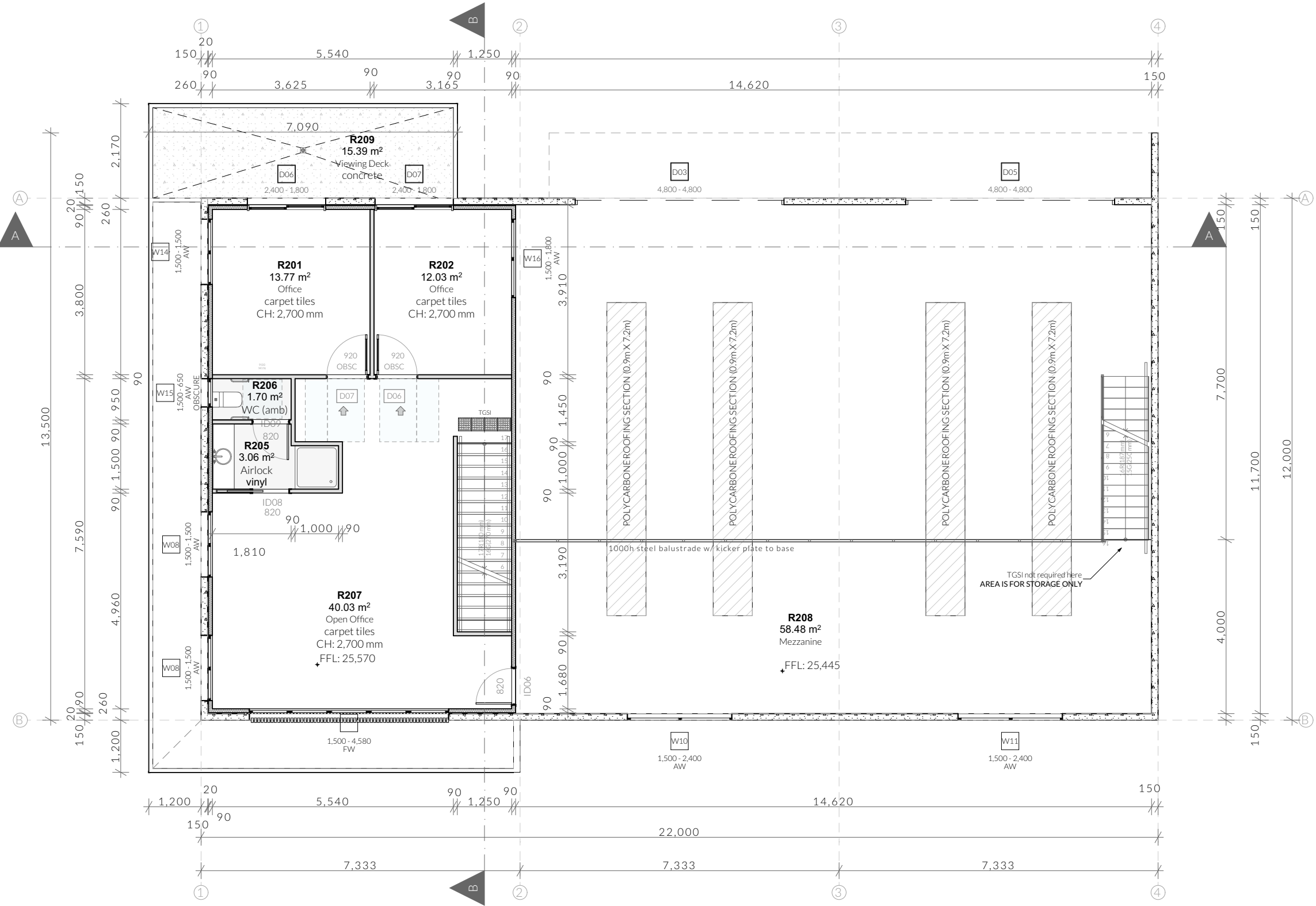
Internal Room Areas

Viewing Deck	15.39
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Stairwell	8.33
Airlock	6.09
Office	25.80
Warehouse	171.06
Boardroom	22.02
WC Handicapped	5.45
Open Office	40.03
Lunchroom	10.89
Mezzanine	58.48

Building Area

264.00

264.00 m²



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Floor Plan - Upper

Revision: DA - 02
Approved by: JRD

Scale: 1:100 @ A3
Pg. No: A.03

Proposal: Storage (Contractors Yard)
Client: Abernant Property Pty Ltd
Address: 21 Abernant Way, Cambridge, 7170

Date: 26/09/2025
Drawn by: JN
Job No: 072-2025
Engineer: TBA
Building Surveyor: TBA

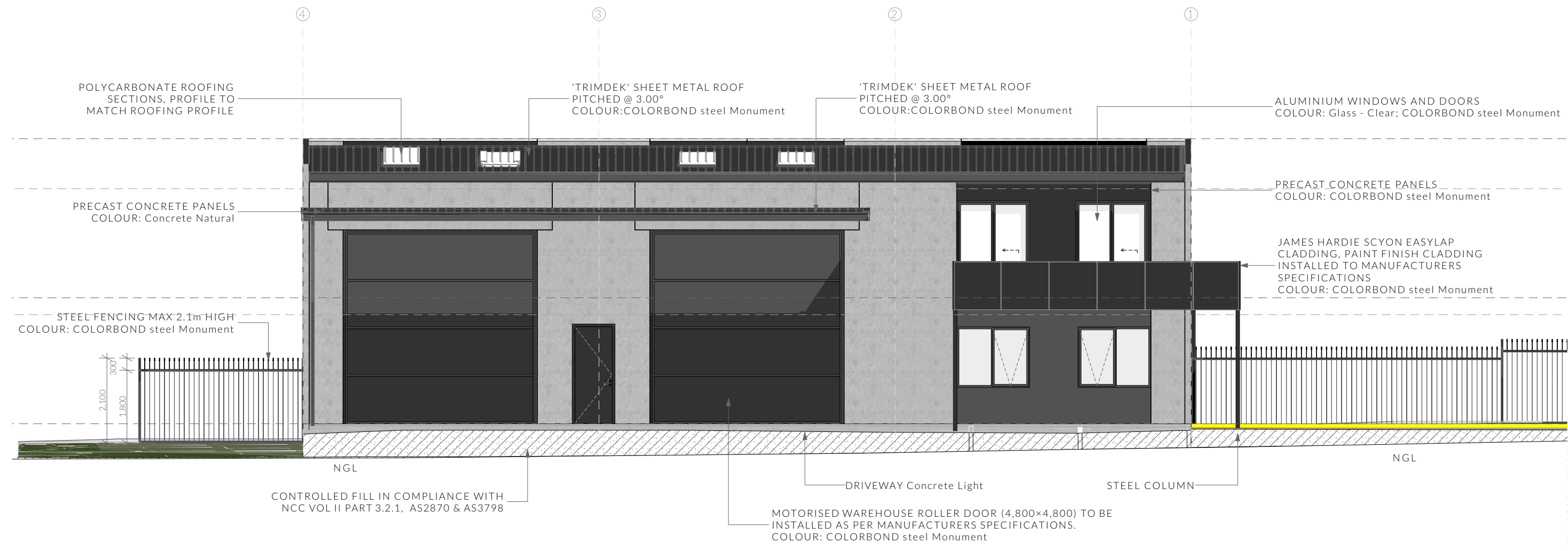
Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		



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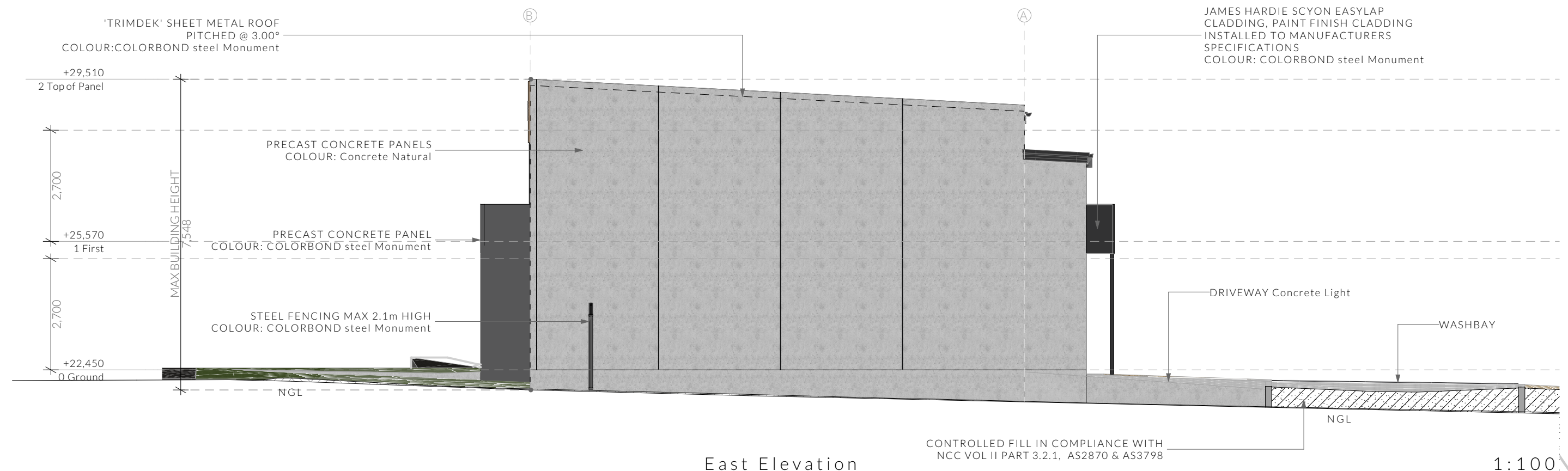
bdga
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

NOT FOR CONSTRUCTION



North Elevation

1:100



East Elevation

1:100

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Elevations

Revision:
Approved by:

DA - 02
JRD

Scale:
1:100 @ A3
Pg. No:
A.04

Proposal: Storage (Contractors Yard)
Client: Abernant Property Pty Ltd
Address: 21 Abernant Way, Cambridge, 7170

Date: 26/09/2025
Drawn by: JN
Job No: 072-2025
Engineer: TBA
Building Surveyor: TBA

Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



West Elevation														1:100	
NOT FOR CONSTRUCTION															
PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y		Elevations		Scale: 1:100 @A3	Proposal: Storage (Contractors Yard)		Date: 26/09/2025		Issue		Date	Designer	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
			Revision: DA - 02		Pg. No: A.05	Client: Abernant Property Pty Ltd		Drawn by: JN							
			Approved by: JRD			Address: 21 Abernant Way, Cambridge, 7170		Job No: 072-2025							
								Engineer: TBA							
							Building Surveyor: TBA				NOTE: Refer to cover page for further details on changes.				

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3.

Downpipes shown are indicative only, builder to refer to Civil/Hydraulic plans for exact location.

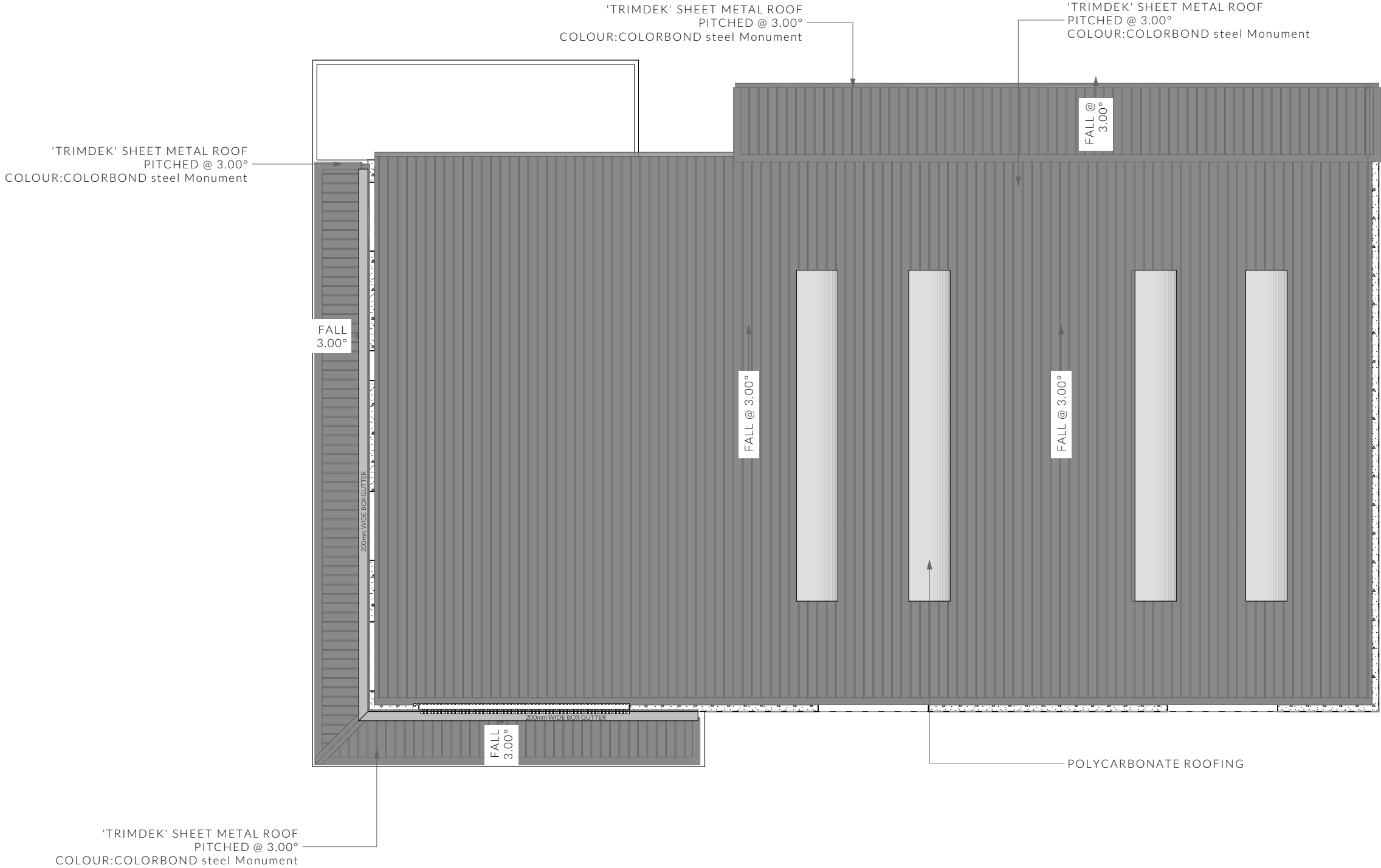
Roofing Cladding

All metal roof cladding, including flashing, capping, and fixings, must be designed and installed in strict accordance with:

- AS 1562.1 - Design and installation of sheet roof and wall cladding: Metal.
- AS 2179.1 – Specifications and performance – Flashing and cappings – Manufactured flashings and cappings.
- AS 3566.1 – Self-drilling screws for the building and construction industries – General requirements and mechanical properties.
- Relevant provisions of the National Construction Code (NCC) 2022.

Material Selection: Materials for roof cladding, flashings, cappings, and fixings must be suitable for the intended application, compliant with the aforementioned standards, and consider local environmental factors and corrosive environment classification to ensure performance and durability.

Installation: Adhere to manufacturer’s recommendations and methods prescribed in the standards, ensuring waterproofing, wind resistance, and structural integrity. This encompasses correct fixing methods, support spacings, sealing, flashing techniques, and the use of appropriate cappings



NOT FOR CONSTRUCTION

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DRAWING INDEX			
DRG No.	DRAWING TITLE	REV.	ISSUE DATE
C001	DRAWING INDEX AND NOTES	A	13.05.2026
C200	SITEWORKS PLAN	A	13.05.2026
C400	STORMWATER PLAN	A	13.05.2026
C500	SEWER AND WATER PLAN	A	13.05.2026
C700	DETAILS 01	A	13.05.2026
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LOCALITY PLAN

SCALE 1:2000

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REV	DESCRIPTION	APP'D	DATE

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THIS DRAWING HAS NOT BEEN
APPROVED FOR CONSTRUCTION

GENERAL

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO GANDY AND ROBERTS FOR CLARIFICATION.
- SETTING OUT DIMENSIONS AND LEVELS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN EXCAVATIONS AND STRUCTURES IN A STABLE CONDITION AND ENSURE THAT NO PART IS OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CREATION AND MAINTENANCE OF TEMPORARY SITE ACCESSES. STRENGTHENING OF DESIGN PAVEMENTS TO CARRY CONSTRUCTION VEHICLES (IN EXCESS OF THE DESIGN ALLOWANCE) SHALL BE AT THE CONTRACTOR'S EXPENSE.
- LOCATION AND VERIFICATION OF EXISTING SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. REFER ANY SERVICES DISCOVERED ONSITE WHICH ARE NOT SHOWN ON THE DRAWINGS, OR ARE IN A DIFFERENT LOCATION TO THAT SHOWN, TO GANDY AND ROBERTS. THE CONTRACTOR SHALL UNDERTAKE ALL NECESSARY INVESTIGATIONS, INCLUDING LIAISON WITH SERVICE AUTHORITIES, TO DETERMINE IF THE DISCOVERED SERVICES ARE LIVE. THE CONTRACTOR SHALL NOTIFY GANDY AND ROBERTS IN WRITING THAT REDUNDANT SERVICES HAVE BEEN LOCATED AND REQUEST APPROVAL TO SEAL AND ABANDON THOSE SERVICES.
- PROTECT ALL EXISTING SERVICES AND OTHER INFRASTRUCTURE FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR, ADVISE GANDY AND ROBERTS IMMEDIATELY ALONG WITH DETAILS OF PROPOSED REMEDIAL ACTION. THE COST OF REMEDIAL WORK (INCLUDING REDESIGN IF REQUIRED) SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR UNDERTAKING WHATEVER DILAPIDATION SURVEYS OF EXISTING BUILDINGS/INFRASTRUCTURE THEY CONSIDER NECESSARY PRIOR TO CONSTRUCTION COMMENCING, AND CONSULTATION WITH ADJOINING LAND OWNERS TO MINIMISE DISRUPTION TO SERVICES/ACCESS ETC. DURING CONSTRUCTION.
- ALL SURPLUS CONSTRUCTION MATERIALS (INCLUDING EXCESS CUT AND FILL MATERIAL) SHALL BE REMOVED FROM THE SITE (UNLESS INSTRUCTED OTHERWISE) AT COMPLETION OF THE WORKS.
- SURVEY INFORMATION HAS BEEN SUPPLIED BY ROGERSON AND BIRCH SURVEYORS FOR THE PURPOSES OF PREPARING THE DESIGN DRAWINGS. ALL OTHER SURVEY REQUIRED TO SETOUT AND CONSTRUCT THE WORKS SHALL BE PROVIDED BY THE CONTRACTOR USING A REGISTERED SURVEYOR.
- ALL WORKS ARE TO BE UNDERTAKEN BY THE CONTRACTOR AND THEIR SUBCONTRACTORS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- PROPOSED CHANGES TO THE DESIGN OF ANY PART OF THE WORKS SHALL BE SUBMITTED TO GANDY AND ROBERTS FOR REVIEW. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE DESIGN CHANGE.
- THE CONTRACTOR IS TO ALLOW FOR ALL TESTING OF RAW MATERIALS AND CONSTRUCTED WORKS THAT IS REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE NOMINATED AUSTRALIAN STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS. RESULTS OF TESTS SHALL BE PROVIDED TO GANDY AND ROBERTS ON REQUEST.
- IF PROTECTION WORKS ARE REQUIRED THE CONTRACTOR SHALL ADVISE THE PROPERTY OWNER THAT THEY ARE REQUIRED TO NOTIFY ADJOINING PROPERTY OWNERS OF THEIR INTENTION TO UNDERTAKE PROTECTION WORKS IN ACCORDANCE WITH PART 6 OF THE BUILDING ACT 2016. THE CONTRACTOR SHALL REFER THE PROPERTY OWNER TO FORM 6 - NOTICE FOR PROPOSED PROTECTION WORK AVAILABLE ON THE CBOS WEBSITE. THE CONTRACTOR SHALL NOT COMMENCE WORKS UNTIL CONFIRMATION HAS BEEN RECEIVED FROM THE PROPERTY OWNER THAT THIS PROCESS HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT 2016.
- THE IDENTIFICATION OF A PROPRIETARY ITEM DOES NOT NECESSARILY IMPLY EXCLUSIVE PREFERENCE FOR THE ITEM IDENTIFIED BUT SHALL BE DEEMED TO INDICATE THE REQUIRED PROPERTIES OF THE ITEM, SUCH AS QUALITY, PERFORMANCE AND THE LIKE. SIMILAR ITEMS HAVING THE REQUIRED PROPERTIES MAY BE OFFERED BY THE CONTRACTOR FOR APPROVAL. WHEN OFFERING AN ALTERNATIVE FOR APPROVAL, THE CONTRACTOR MUST PROVIDE ALL AVAILABLE TECHNICAL INFORMATION REQUESTED BY THE SUPERINTENDENT.
- PROPRIETARY ITEMS SHALL BE USED, FITTED, INSTALLED AND FINISHED IN ACCORDANCE WITH THE WRITTEN INSTRUCTIONS AND RECOMMENDATIONS OF THE SUPPLIER OR MANUFACTURER.
- ON COMPLETION, THE CONTRACTOR SHALL SUPPLY AS CONSTRUCTED DRAWINGS (PREPARED BY A REGISTERED SURVEYOR IN ACCORDANCE WITH AS 1100.011 IN ELECTRONIC (PDF AND DWG) FORMATS AS CONSTRUCTED DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH TASWATER'S, THE LOCAL AUTHORITY'S AND/OR THE CLIENT'S REQUIREMENTS.

THE CONTRACTOR IS REQUIRED TO CARRY OUT ALL TEMPORARY WORKS NECESSARY TO ENABLE COMPLETION OF THE WORKS (INCLUDING THE ENGAGEMENT OF SUITABLY QUALIFIED DESIGNERS AND IS RESPONSIBLE FOR ALL ASSOCIATED COSTS). THIS INCLUDES (BUT IS NOT LIMITED TO) THE FOLLOWING: PRECAST PANEL PROPPING, FORMWORK, SCAFFOLDING, SHORING, BACK PROPPING OF SUSPENDED SLABS.

A1. PRIOR TO CONSTRUCTION COMMENCING, THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND ENGINEERING PERMIT IS IN PLACE FOR THE WORK AND THAT THE RELEVANT AUTHORITIES ARE NOTIFIED AND ALLOWED TO INSPECT AT THE NOMINATED HOLD POINTS

A2. WHERE PUBLIC WORKS ARE BEING UNDERTAKEN THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE LOCAL AUTHORITY AND/OR TASWATER PERMIT TO CONSTRUCT, AS APPLICABLE, PRIOR TO CONSTRUCTION COMMENCING. THIS INCLUDES SUBMITTING REQUESTS FOR LOCAL AUTHORITY ROAD OPENING, STORMWATER CONNECTIONS AND TASWATER SERVICE CONNECTIONS.

A3. UNLESS NOMINATED OTHERWISE, THE FOLLOWING INSPECTION REGIME SHALL BE ADOPTED:

- ROAD FORMATIONS
- INSPECTION OF SUBGRADE, SUBBASE AND BASE LIFTS, KERBING, PRE-SEAL BY THE LOCAL AUTHORITY AND GANDY AND ROBERTS,
- STORMWATER
- INSPECTION OF STORMWATER LINES BY THE LOCAL AUTHORITY,
- SEWER AND WATER
- SEWER AND WATER INFRASTRUCTURE TO BE OWNED BY TASWATER TO BE INSPECTED AND SELF-CERTIFIED BY CIVIL CONTRACTOR OR THEIR SUBCONTRACTOR SEWER PIPELINE PRIOR TO BACKFILLING BY GANDY AND ROBERTS ,
- AS-BUILT SERVICES SURVEYS
- WATER, SEWER, STORMWATER SURVEYS UNDERTAKEN BY CONTRACTOR'S REGISTERED LAND SURVEYOR (OR DEPTH OF WATER RETICULATION RECORDED PRIOR TO BACKFILLING),
- INSTALLATION OF OTHER IN-GROUND SERVICES
- POWER, COMMUNICATIONS, GAS ETC. UNDERTAKEN BY THE RELEVANT MANAGING AUTHORITY,
- DEFECT'S LIABILITY INSPECTION
- BY GANDY AND ROBERTS.

A4. A MINIMUM OF 24 HOURS NOTICE IS REQUIRED FOR GANDY AND ROBERTS TO ATTEND THE SITE. DO NOT RELY UPON FACSIMILE OR EMAIL TO COMMUNICATE REQUESTS - MAKE CONTACT WITH OUR OFFICE TO CONFIRM ATTENDANCE

A5. INSPECTION OF ROAD FORMATIONS MAY INVOLVE PROOF ROLLING WITH A TEST VEHICLE. CONFIRM WITH GANDY AND ROBERTS AND ENSURE A SUITABLE VEHICLE IS AVAILABLE AT THE TIME OF INSPECTION. REFER NOTE R11 FOR ADDITIONAL REQUIREMENTS

A6. PHOTOGRAPHIC DOCUMENTATION IS NOT AN ADEQUATE BASIS TO PROCEED BEYOND A HOLD POINT UNLESS APPROVED BY GANDY AND ROBERTS

H51. THE MAIN CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT, REGULATIONS, AND ALL RELEVANT CODES OF PRACTICE

H52. THE GANDY AND ROBERTS DESIGN SAFETY REPORT 26.0015 REVISION A FORMS AN INTEGRAL PART OF THIS DOCUMENTATION. THIS REPORT IDENTIFIES SAFETY RISKS AND PROPOSES CONTROL MEASURES TO BE FOLLOWED BY THE CONTRACTOR AND THE BUILDING OPERATOR. CONTROLS AND HAZARDS REQUIRING MORE EXPLANATION THAN IN THE SAFETY REPORT ARE HIGHLIGHTED IN OUR DRAWINGS WITH AN EXCLAMATION MARK IN THE TRIANGLE SYMBOL AS SHOWN

H53. SHOULD THE MAIN CONTRACTOR OR SUB-CONTRACTORS IDENTIFY OMISSIONS OR ERRORS IN THE REPORT RELATED TO THE SCOPE OF GANDY AND ROBERT'S WORK ON THE PROJECT, OR HAVE SAFER WAYS OF WORKING, THEY SHOULD CONTACT GANDY AND ROBERTS PRIOR TO CONSTRUCTION

H54. SHOULD THE CONTRACTOR PROPOSE AN ALTERNATIVE DESIGN, THIS SHALL BE PRESENTED WITH APPROPRIATE SAFETY RISK PLANNING TO GANDY AND ROBERTS FOR REVIEW



E1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS" WITH TESTING METHODS IN ACCORDANCE WITH AS1289 "METHODS OF TESTING SOILS FOR ENGINEERING PURPOSES"

E2. THE EXISTING SURFACE INCLUDING VEGETATION AND DEBRIS UNDER THE BUILDING AND PAVED AREAS SHALL BE TOTALLY REMOVED OR REMOVED TO A DEPTH OF NOT LESS THAN 200 mm WHICHEVER IS THE LESSER TREATMENT. THE LAYER TO BE REMOVED INCLUDES ANY MATERIAL THAT MAY BE UNSUITABLE TO SUPPORT THE PROPOSED WORKS. TOP SOIL TO BE STOCKPILED AS DIRECTED, AND VEGETATION AND DEBRIS REMOVED FROM SITE UNLESS NOTED OTHERWISE. TREE STUMPS SHALL BE FULLY GRUBBED, MINIMUM DEPTH OF 300 mm, AND HOLES FILLED WITH MATERIAL SIMILAR TO THE SURROUNDING MATERIAL AND COMPACTED TO THE SAME DEGREE AS THE SURROUNDING MATERIAL.

E3. FOR EXCAVATION PURPOSES, ROCK IS DEFINED AS HARD OR STRONGLY CEMENTED BEDS OR MASSES WHICH CANNOT BE RIPPED AT THE FOLLOWING PRODUCTION RATES (INSITU VOLUMES) FOR THE PARTICULAR CLASS OF EQUIPMENT, AS DEFINED IN AS2868

GENERAL EXCAVATION

MACHINE EQUIPPED WITH A HEAVY DUTY, SINGLE TINE PARALLELOGRAM RIPPER (APPROVED BY THE MACHINE MANUFACTURER FOR USE ON THE PARTICULAR MACHINE IN ROCK)

EXCAVATOR OPERATING MASS $\geq 27T$ -38T EXCAVATION RATE SOLID 10 m³ PER HOUR

EXCAVATOR OPERATING MASS $\geq 38T$ -44T EXCAVATION RATE SOLID 15 m³ PER HOUR

TRENCH EXCAVATION

MACHINE FITTED WITH A HEAVY DUTY BUCKET AND TEETH WITH HIGH PENETRATION BOOTS (APPROVED BY THE MACHINE MANUFACTURER FOR USE ON THE PARTICULAR MACHINE IN ROCK)

EXCAVATOR OPERATING MASS $\geq 12.5T$ -15T, 450mm WIDE BUCKET, MAXIMUM PRODUCTION RATE SOLID OF 15 m³ PER HOUR

EXCAVATOR OPERATING MASS $\geq 19T$ -23T, 600mm WIDE BUCKET, MAXIMUM PRODUCTION RATE SOLID OF 3 m³ PER HOUR

E4. ANY INTERFACE BETWEEN CUT AND FILL SHALL BE NO STEEPER THAN 1V:4H CUT HORIZONTAL BENCHES FOR ANY FILL PLACED ON GROUND STEEPER THAN 1V:4H

E5. ALL EXCAVATIONS SHALL BE INSPECTED BY GANDY AND ROBERTS AND/OR THE LOCAL AUTHORITY BEFORE PROCEEDING ANY FURTHER. INSPECTION AND TESTING SHALL OCCUR AFTER EACH LIFT DURING FILLING. TESTING IN ACCORDANCE WITH TABLE 8.1 OF AS 3798) SHALL BE ARRANGED BY THE CONTRACTOR SUCH THAT THE RESULTS ARE AVAILABLE AT THE TIME OF INSPECTION. THE CONTRACTOR SHALL ENGAGE A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER TO UNDERTAKE LEVEL 1 INSPECTION AND TESTING OF COMPACTED FILL WITHIN COMMERCIAL AND RESIDENTIAL PROPERTIES IN ACCORDANCE WITH AS 3798 AND PROVIDE A STATEMENT OF COMPLIANCE. EARTHWORKS WITHIN PUBLIC ROAD RESERVATIONS ARE NOT REQUIRED TO BE SUPERVISED BY THE GEOTECHNICAL ENGINEER.

- THE SUBGRADE SHALL BE COMPACTED TO ACHIEVE 98% STANDARD DENSITY RATIO TO A DEPTH OF 300 mm PRIOR TO FILLING, SUBGRADE IS TO BE PROOF ROLL TESTED THE TEST SHALL CONSIST OF WITNESSING SOIL DEFLECTION FROM THE TYRE OF A SINGLE REAR AXLE TRUCK DRIVEN AT WALKING SPEED WITH A MINIMUM 8 TONNE REAR AXLE LOAD AND A TYRE PRESSURE OF 550 kPa. EACH LAYER SHALL BE PROOF ROLL TESTED WITH NO VISIBLE MOVEMENT OBSERVED OTHER VEHICLES THAT MAY BE ALLOWED BY GANDY AND ROBERTS ARE A 12 TONNE STATIC ROLLER WITH 6 TONNE/mL LOAD, OR 20 TONNE PLANT WITH 450 kPa TYRES AND GREATER THAN 0.035 m² CONTACT AREA PER TYRE
- E7. FILL SHALL BE PLACED IN HORIZONTAL LAYERS OF 200 TO 300 mm DEEP LOOSE MEASUREMENT, UNLESS TESTING CAN DEMONSTRATE TO GANDY AND ROBERTS THAT COMPACTION IS ADEQUATE WITH LARGER LIFTS. COMPACT EACH LAYER OF FILL WITHIN 1% OF ITS OPTIMUM MOISTURE CONTENT. MAXIMUM PARTICLE SIZE IS TWO THIRDS DEPTH OF EACH LIFT. EACH LAYER IS TO BE PROOF ROLL TESTED, NUCLEAR DENSITY TESTING TO BE UNDERTAKEN AT A FREQUENCY BASED ON AS3998 (TYPICALLY THE GREATER OF FOUR TESTS PER INSPECTION OR ONE TEST PER 1000 m³) FOR MATERIAL 60 mm AND COARSER, IN-LIEU OF DENSITY TESTING A TEST BY DEFLECTION SHALL BE DONE USING SPOUT LEVEL DIFFERENCE AT REPRESENTATIVE LOCATIONS BEFORE AND AFTER ROLLING THREE TIMES WITH A 12 TONNE STATIC ROLLER, WITH ACCEPTABLE DIFFERENCES BEING LESS THAN 2 mm
- E8. ALL PROOF ROLLING SHALL BE WITNESSED BY GANDY AND ROBERTS. A MINIMUM OF TWO PASSES FOR EACH SECTION BEING TESTED IS REQUIRED, WITH A PASS DEFINED AS TRAVEL ACROSS ONE FULL LENGTH OF THE AREA BEING TESTED. COMPLIANCE WITH PROOF ROLLING REQUIREMENTS SHALL BE WHEN AN AREA WITHSTANDS PROOF ROLLING WITHOUT VISIBLE DEFORMATION OR SPRINGING
- E9. CONELESSNESS (GRANULAR) FILL SHALL BE USED UNLESS OTHERWISE APPROVED BY GANDY AND ROBERTS. CONELESSNESS (GRANULAR) FILL SHALL HAVE LESS THAN 15% PASSING THE 75 MICRON SIEVE, WITH GRADING CURVES SUBMITTED FOR APPROVAL. CONELESSNESS FILL SHALL BE COMPACTED TO THE REQUIREMENTS OF TABLE 5.1 OF AS 3998. COHESIVE FILL SHALL HAVE A MINIMUM 4 DAY SOAKED CBR OF 5% AND A MAXIMUM CBR SWELL OF 1%. MINIMUM STANDARD DENSITY RATIOS FOR COHESIVE MATERIAL SHALL BE AS PER TABLE 5.1 OF AS 3998. REACTIVE CLAY SHALL HAVE A MAXIMUM STANDARD DENSITY RATIO OF 100% (LANDSCAPING ZONES SHOULD BE COMPACTED TO STANDARD DENSITY RATIO OF 85% UNLESS NOTED OTHERWISE).
- ## ROADWORKS
- R1. ALL ROADWORKS, FOOTPATHS & DRIVEWAYS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT ASSOCIATION TASMANIA "TASMANIAN MUNICIPAL STANDARDS" INCLUDING TMS SPECIFICATIONS, DRAWINGS AND SUBDIVISION GUIDELINES. IPWEA STANDARD DRAWINGS ARE REFERENCED IN THIS DRAWING SET BY THE ABBREVIATION "TSO"
- R2. IT IS ASSUMED ROADS ACCESSING THE DEVELOPMENT SITE ARE ADEQUATE TO TAKE THE DESIGN TRAFFIC LOAD DURING THE DESIGN LIFE OF 40 YEARS.
- R3. PAVEMENT DEPTH SHALL BE AS SHOWN ON THE TYPICAL CROSS SECTION BUT SHALL BE SUBJECT TO CBR TESTING OF THE SUBGRADE OR PROOF ROLLING BY THE CONTRACTOR, WITH FINAL DEPTH TO BE CONFIRMED BY GANDY AND ROBERTS.
- R4. KERB AND CHANNEL SHALL BE FORMED ON A MINIMUM OF 100 mm SUB-BASE WHICH SHALL EXTEND A MINIMUM 150 mm BEYOND THE BACK OF THE KERB
- R5. SUBSOIL DRAINS SHALL BE PROVIDED AT ALL LOCATIONS WHERE THE PAVEMENT IS BELOW GROUND LEVEL AND AS SHOWN ON THE DRAWINGS. PIPE AND FITTINGS SHALL BE PROPRIETARY ITEMS COMPLYING WITH AS2439.1
- R7. ALL RADII ARE TO THE BACK OF KERB UNLESS NOTED OTHERWISE

R1. ALL ROADWORKS, FOOTPATHS & DRIVEWAYS SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNMENT ASSOCIATION TASMANIA "TASMANIAN MUNICIPAL STANDARDS" INCLUDING TMS SPECIFICATIONS, DRAWINGS AND SUBDIVISION GUIDELINES. IPWEA STANDARD DRAWINGS ARE REFERENCED IN THIS DRAWING SET BY THE ABBREVIATION "TSD".

R2. IT IS ASSUMED ROADS ACCESSING THE DEVELOPMENT SITE ARE ADEQUATE TO TAKE THE DESIGN TRAFFIC LOAD DURING THE DESIGN LIFE OF 40 YEARS.

R3. PAVEMENT DEPTH SHALL BE AS SHOWN ON THE TYPICAL CROSS SECTION BUT SHALL BE SUBJECT TO CAB TESTING OF THE SUBGRADE OR PROOF ROLLING BY THE CONTRACTOR, WITH FINAL DEPTH TO BE CONFIRMED BY GANDY AND ROBERTS.

R4. KERB AND CHANNEL SHALL BE FORMED ON A MINIMUM OF 100 mm SUB-BASE WHICH SHALL EXTEND A MINIMUM 150 mm BEYOND THE BACK OF THE KERB.

R5. SUBSOIL DRAINS SHALL BE PROVIDED AT ALL LOCATIONS WHERE THE PAVEMENT IS BELOW GROUND LEVEL AND AS SHOWN ON THE DRAWINGS. PIPE AND FITTINGS SHALL BE PROPRIETARY ITEMS COMPLYING WITH AS2439.1

R7. ALL RADII ARE TO THE BACK OF KERB UNLESS NOTED OTHERWISE

R8. THE ROAD PROFILE AND CROSS FALL SHALL BE FINISHED TO THE SATISFACTION OF GANDY AND ROBERTS AND SHALL BE TO THE LINE AND LEVEL INDICATED ON THE DRAWINGS, FREE OF ANY LOCAL HIGH OR LOW AREAS WHICH MAY HOLD WATER

R9. ALL GRAVEL SHALL COMPLY WITH THE FOLLOWING TASMANIAN DEPARTMENT OF STATE GROWTH (DSG) SPECIFICATIONS

BASE COURSE CLASS 2 FINE CRUSHED ROCK (FCR) (PREVIOUSLY R40 CLASS A - 20 mm)

SUB-BASE COURSE CLASS 3 FCR (PREVIOUSLY SUB-BASE 1 - 40 mm)

R10. SUB-BASE AND BASE SHALL HAVE A MINIMUM DRY DENSITY RATIO OF 95% AND 98% MODIFIED COMPACTION RESPECTIVELY, WITH NUCLEAR DENSITY TEST RESULTS AVAILABLE AT THE PROOF ROLL INSPECTION TESTS TO BE TAKEN AT A FREQUENCY BASED ON AS3799 (TYPICALLY THE GREATER OF FOUR TESTS PER INSPECTION OR ONE TEST PER 1000 m²)

R11. EACH PAVEMENT COURSE SHALL BE PROOF ROLL TESTED. ALL PROOF ROLL TESTING SHALL BE WITNESSED BY GANDY AND ROBERTS. THE TEST SHALL CONSIST OF WITNESSING DEFLECTION FROM THE TYRE OF A SINGLE REAR AXLE TRUCK DRIVEN AT WALKING SPEED WITH A MINIMUM 8 TONNE REAR AXLE LOAD AND A TYRE PRESSURE OF 550 kPa. COMPLIANCE WITH THE TEST ROLLING REQUIREMENTS SHALL BE WHEN AN AREA WITHSTANDS TEST ROLLING WITHOUT VISIBLE DEFORMATION OR SPRINGING

R12. PAVEMENT COURSE TOLERANCES SHALL COMPLY WITH THE DSG SPECIFICATION, SECTION 304, CLAUSE 304.06 WITH SCALE C SURFACE LEVEL REQUIREMENTS APPLYING

R13. TRENCHES AND EXCAVATIONS WITHIN TRAFFICABLE PAVEMENTS SHALL BE BACKFILLED TO SUBGRADE LEVEL WITH 20 mm FCR TO A MINIMUM DENSITY OF 95% STANDARD COMPACTION MATCH EXISTING PAVEMENT ABOVE SUBGRADE. NUCLEAR DENSITY TESTING TO BE UNDERTAKEN AS DIRECTED WITHIN COMMERCIAL SITES AND PUBLIC ROAD RESERVES

R14. ASPHALT SEALS SHALL BE A TYPE B MIX WITH CLASS 170 BITUMEN IN ACCORDANCE WITH AAPA ADVISORY NOTE 5, UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE SEAL SHALL BE PLACED ON A CLEAN SWEEPED SURFACE WITH A BITUMEN EMULSION COAT APPLIED

R15. SPRAYED BITUMINOUS SURFACINGS SHALL BE IN ACCORDANCE WITH DSG SPECIFICATION SECTION 408. REMOVAL OF LOOSE AGGREGATE SHALL BE UNDERTAKEN IN ACCORDANCE WITH CLAUSE 408.1% OF THE SPECIFICATION

R17. PRIOR TO SEALING THE GROUND TEMPERATURE AND MOISTURE CONTENT OF THE BASE COURSE SHALL BE MEASURED. SEALING SHALL ONLY TAKE PLACE IF TEST RESULTS ARE IN ACCORDANCE WITH THE PREVIOUS STATE GROWTH CONSTRUCTION SPECIFICATIONS - SECTION R40 AND R51

R16. ALL LANDSCAPE AREAS AFFECTED BY THE WORKS SHALL BE REINSTATED TO MATCH EXISTING REFER LANDSCAPE ARCHITECT FOR SPECIFIC REQUIREMENTS

SW1 ALL WORKS SHALL BE IN ACCORDANCE WITH LOCAL GOVERNMENT ASSOCIATION TASMANIA - IPWEA STANDARD DRAWINGS, REFERENCED IN THIS DRAWING SET BY THE ABBREVIATION "TSD"

SW2 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS, BY-LAWS AND AS/NZS 3500.3

SW3 PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO PROVIDE 5% ANNUAL EXCEEDANCE PROBABILITY (AEP) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 1% AEP STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 5% AEP STORMS AND THE ROAD RESERVE FOR 100 YEAR ARI STORMS. FOR STORMS UP TO 24 HOURS DURATION, AN ALLOWANCE OF 16% EXTRA ON THE DESIGN STORM RAINFALLS HAS BEEN APPLIED CONSISTENT WITH RCP 8.5 2090 PREDICTIONS, AS ENDORSED BY ARR

SW4 STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING SHALL COMPLY WITH AS/NZS 3725 INSTALLATION REQUIREMENTS FOR TYPE HS2 SUPPORT.

SW5 BELOW GROUND PIPEWORK AND FITTINGS, SHALL BE PVC-U DWN SM10 FOR DN100 AND SN8 FOR DN150 OR GREATER, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS UNLESS OTHERWISE STATED ON THE DRAWINGS

SW6 ALL TRENCHES UNDER TRAFFICKED AREAS, INCLUDING FUTURE DRIVEWAY EXTENSIONS, SHALL BE BACK FILLED WITH APPROVED COMPACTED CLASS 2 FCR OR CEMENT STABILISED SAND WITH NOT LESS THAN 4% CEMENT BY WEIGHT OF CEMENT.

SW7 MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100. PAVED AREAS SHALL BE SHAPED TO DRAIN TO GRATED PITS AND TRENCHES WITHOUT PONDING (ACCEPTABLE LIMIT IS 3 mm under A 2 m straight edge).

SW8 SURFACE WATER DRAINS, CATCH PITS/GRATED PITS AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER. GRATED PITS TO HAVE SUMPS AS NOTED ON THE DRAWINGS. PITS AND LIDS TO BE CLASS A IN NON-TRAFFICKED AREAS AND CLASS B IN RESIDENTIAL DRIVEWAYS. PRE-CAST CONCRETE PITS AND LIDS WITH CLASS C OR CLASS D RATING SHALL BE USED ELSEWHERE OR AS NOTED ON THE DRAWINGS. ALL COVERS AND GRATES SHALL COMPLY WITH AS3739. CEMENT TRENCH WATER INTO PITS/MANHOLEs THROUGH WEEP HOLES ON UPSTREAM SIDE USING 2 m OF DN100 SUBSOIL DRAIN WITH FILTER SOCK

SW9 SUBSOIL DRAINS SHALL BE INSTALLED TO THE REQUIREMENTS OF AS/NZS 3500 AND PART 312 OF THE B.C. PERFORMED PVC DRAINAGE PIPE AND FITTINGS SHALL COMPLY WITH AS2439.1. ALL CONNECTIONS AND FITTINGS SHALL BE MADE USING PURPOSE SPECIFIC PROPRIETARY ITEMS

SW10 ALL HYDRAULIC CONNECTIONS SHALL BE CLEAR OF DRIVEWAYS AND TRAFFICKED AREAS

SW11 WHERE BOTH STORMWATER AND SEWER LINES ARE ALONG REAR AND SIDE BOUNDARIES THEY SHALL BE LOCATED TO FIT INSIDE A 3.0 m EASEMENT UNLESS NOTED OTHERWISE. A SINGLE STORMWATER LINE SHALL FIT WITHIN A 2.5 m EASEMENT

SW12 ALL MANHOLES SHALL BE LOCATED CLEAR OF FUTURE FENCE LINES

SW13 PROPERTY CONNECTIONS SHALL BE CLEAR OF DRIVEWAYS, CLEAR OF FUTURE FENCE LINES AND BE LOCATED 600mm INSIDE THE BOUNDARY

SW14 ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996.2019

S1 ALL WORKS SHALL BE IN ACCORDANCE WITH THE SEWAGE CODE OF AUSTRALIA (SCA) W 5 A
02-2014-31MR W A EDITION - VERSION 2 AND TASWATER'S CURRENT SUPPLEMENT TO THE CODE
S2 PROPERTY CONNECTIONS SHALL BE DN100 PVC-U WITH A MINIMUM GRADE OF 1 IN 60 (REFER ABOVE TO CODE FOR DETAILS) AND SHALL BE LOCATED CLEAR OF TRAFFICKED AREAS, DRIVEWAYS AND FENCES.
S3 WHERE BOTH STORMWATER AND SEWER LINES ARE LOCATED ALONG A REAR OR SIDE BOUNDARY
THEY SHALL BE LOCATED IN AN EASEMENT THAT WHOLLY CONTAINS BOTH SERVICES AND THEIR
RESPECTIVE APPROPRIATIONS. EASEMENTS AND OFFSETS SHALL BE IN ACCORDANCE WITH TABLE
111-C DRAWING MPA-5-111 IN THE ABOVE CODE AND TASWATER'S SUPPLEMENT (CLAUSE 5.2
CLEARANCES TO OTHER SERVICES SHALL BE IN ACCORDANCE WITH TABLE 5.4 IN THE ABOVE CODE
S4 ALL MAINTENANCE STRUCTURES SHALL BE LOCATED CLEAR OF FUTURE FENCE LINES WITH END OF
LINES TO BE 12 m PAST THE BOUNDARY FOR ANY FUTURE EXTENSION.
S5 ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996:2019

W1	ALL WORKS SHALL BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA (WSCA) V 5 A 03-2011-31 M R W A EDITION - VERSION 2 AND TASWATER'S CURRENT SUPPLEMENT TO THE CODE
W2	UNLESS NOTED OTHERWISE, SINGLE JOINT CONNECTIONS SHALL BE DN25 HOPE PN16 TO TASWATER'S STANDARD DRAWINGS TW-0002 SERIES WITH VALVE, SENSUS' WATER METER, AND BOX TO EACH LOT CONNECTIONS SHALL BE 500mm DEEPATED 500mm INSIDE DEGREE AND 500mm FROM EDGE OF DRIVEWAY ON MIDDLE SIDE OF LOT, UNLESS NOTED OTHERWISE
W3	ALL WATER MAINS SHALL BE TESTED AND WITNESSED BY TASWATER TO STATIC PRESSURE PLUS 50% PRIOR TO BACKFILLING
W4	ALL HYDRAULIC CONNECTIONS AND TAPPINGS TO BE CLEAR OF DRIVEWAYS AND TRAFFICKED AREAS

W5 FOR MINIMUM COVER OVER PIPES REFER WSCA DRAWING MRWA-W-202

W6 FOR MINIMUM CLEARANCES TO OTHER SERVICES REFER TO TASWATER'S SUPPLEMENT CLAUSE 5.12.5.2 RECOMMENDATIONS

W7 ALL TRENCHES UNDER TRAFFICKED AREAS SHALL BE BACK FILLED WITH APPROVED COMPACTED CLASS 2 FCR INCLUDING FUTURE DRIVEWAY EXTENSIONS

W8 FLUSHING OF MAINS TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS

W9 ELECTROMAGNETIC TRACKER TAPE SHALL BE PLACED IN ALL WATER MAIN TRENCHES ABOVE THE PIPE

W10 WATER MAINS SHALL BE BEDDED ON 80 mm APPROVED 7 mm CLEAN METAL

W11 CONCRETE ANCHOR BLOCKS SHALL BE PROVIDED AT ALL Sudden CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES. REFER TO WSCA DRAWINGS MRWA-W-205A, MRWA-W-205B AND MRWA-W-205C

W12 ROAD CROSSINGS

D100 PVC-U CONDUITS, CLASS SNA6, FOR ALL HDPE.

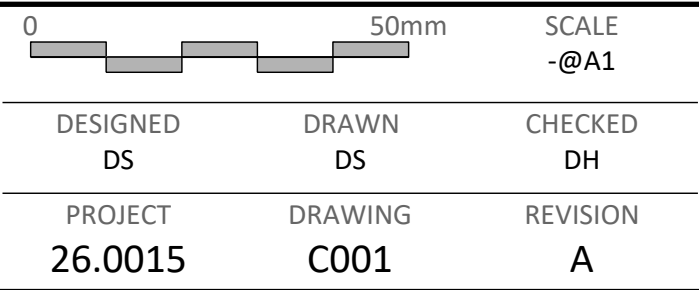
DICL WITH PE WRAPPING SLEEVE TO AS 3680.

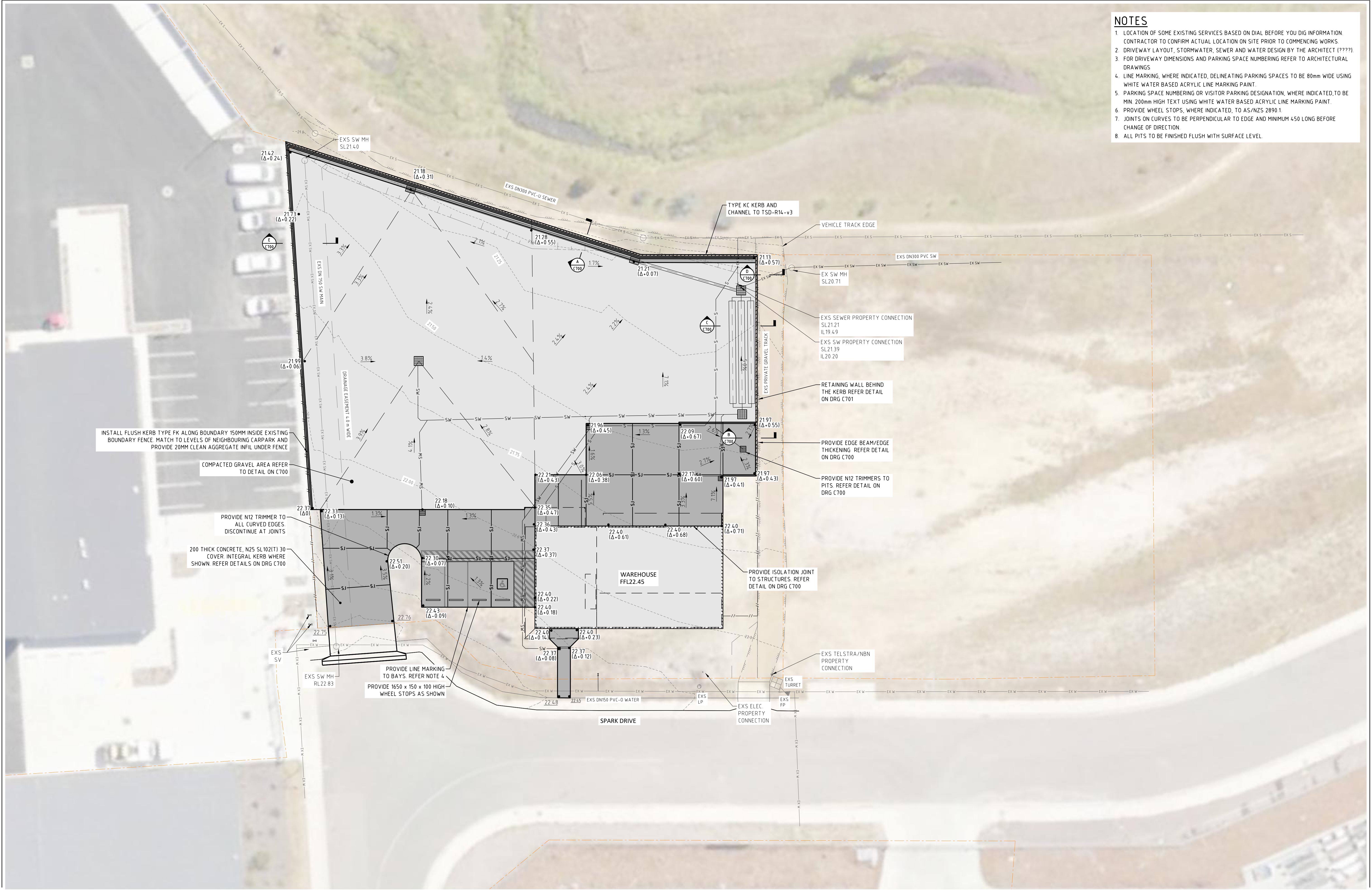
W13 FOR VALVE AND HYDRANT SURFACE BOX MARKINGS REFER TO TASWATER'S SUPPLEMENT CLAUSE 8.8 & CLAUSE 8.10.3 HYDRANT ROAD MARKINGS SHALL COMPLY WITH THE IPWEA TASMANIA DIVISION DOCUMENT TITLED FIRE HYDRANT GUIDELINES - REFER SECTION 8 ALL VALVES AND HYDRANTS TO BE RESILIENT SEATED POWDER COATED CLASS 16 AND ALL COMPONENTS TO BE D1000

W14 ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996.2019

C1	ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600	
C2	CONCRETE GRADES (UNO ON DRAWINGS)	
	ELEMENT	GRADE
	GENERAL	N25
	BLINDING	N15
	FOOTINGS	N20
	PAVEMENT	N5*
C3	CONCRETE SHALL NOT BE POURED WHEN THE SITE TEMPERATURES ARE BELOW 5°C	
C4	CONCRETE SHALL BE CURED BY CONTINUOUS WETTING (WATER SPRAY, PONDING OR IRRIGATED HESSIAN) OR APPLICATION OF AN IMPERMEABLE MEMBRANE (SECURED PLASTIC OR CURING COMPOUND) FOR AN APPROPRIATE PERIOD OF TIME (NOT LESS THAN 3 DAYS) IN HOT DRY AND WINDY WEATHER SPRAY THE SURFACE WITH ALIPHATIC ALCOHOL WHILE CONCRETE IS PLASTIC. WATER CURE FOR AT LEAST 24 HOURS THEN COVER WITH IMPERMEABLE MEMBRANE (OR CONTINUE TO WATER CURE) FOR A FURTHER 2 DAYS	
C5	CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN OR SPECIFICALLY APPROVED BY GANDY AND ROBERTS. SAWN JOINTS SHALL BE CUT ONE THIRD OF THE WAY THROUGH A SLAB. THROUGH THE TOP MESH FOR 100 mm SLABS AND IN THICKER SLABS THE MESH SHALL BE PLACED TO AVOID BEING CUT. UNLESS NOTED ELSEWHERE, SAWN JOINTS SHALL BE AT 4.5 m CENTRES AND AT POINTS OF CHANGES IN GEOMETRY AND CONSTRUCTION JOINTS AT 18 m WITH JOINTED AREAS TO HAVE A PLAN ASPECT RATIO NO SLENDERER THAN 12	
C7	REINFORCEMENT SHALL BE DEFORMED, 500 MPa YIELD STRENGTH, NORMAL IN DUCTILITY IN ACCORDANCE WITH AS/NZS 4671 FOR BARS AND LOW LI DUCTILITY FOR MESH	
C8	FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 3610 AND IS THE RESPONSIBILITY OF THE CONTRACTOR	
C9	ALL STEEL ITEMS TO BE CAST INTO THE CONCRETE SURFACE SHALL BE HOT DIP GALVANISED	

9.00 9.80 9.60 (Δ-2.5)	EXISTING SURFACE LEVEL PROPOSED BULK EARTHWORKS LEVEL PROPOSED FINISHED SURFACE LEVEL CUT (-)/FILL DEPTH
	EXISTING WATER SUPPLY EXTERNAL TO BUILDING
	PROPOSED WATER SUPPLY EXTERNAL TO BUILDING
	EXISTING FIRE SUPPLY
	PROPOSED FIRE SUPPLY
	EXISTING SEWER DRAIN
	PROPOSED SEWER DRAIN
	EXISTING STORMWATER DRAIN
	PROPOSED STORMWATER DRAIN
	PROPOSED STORMWATER (LARGER)
	PROPOSED DN100 SUBSOIL DRAIN WITH GEOTEXTILE SOCK
	PROPOSED CONCRETE CONSTRUCTION JOINT
	PROPOSED CONCRETE KEY JOINT
	PROPOSED CONCRETE SAWN JOINT
	EXISTING BATTER
	PROPOSED BATTER
	PROPERTY BOUNDARY
E J SE J	EXPANSION JOINT SWIVEL EXPANSION JOINT



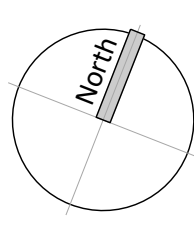


- NOTES**
- 1. LOCATION OF SOME EXISTING SERVICES BASED ON DIAL BEFORE YOU DIG INFORMATION. CONTRACTOR TO CONFIRM ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS.
 - 2. DRIVEWAY LAYOUT, STORMWATER, SEWER AND WATER DESIGN BY THE ARCHITECT (?????).
 - 3. FOR DRIVEWAY DIMENSIONS AND PARKING SPACE NUMBERING REFER TO ARCHITECTURAL DRAWINGS.
 - 4. LINE MARKING, WHERE INDICATED, DELINEATING PARKING SPACES TO BE 80mm WIDE USING WHITE WATER BASED ACRYLIC LINE MARKING PAINT.
 - 5. PARKING SPACE NUMBERING OR VISITOR PARKING DESIGNATION, WHERE INDICATED, TO BE MIN 200mm HIGH TEXT USING WHITE WATER BASED ACRYLIC LINE MARKING PAINT.
 - 6. PROVIDE WHEEL STOPS, WHERE INDICATED, TO AS/NZS 2890.1.
 - 7. JOINTS ON CURVES TO BE PERPENDICULAR TO EDGE AND MINIMUM 450 LONG BEFORE CHANGE OF DIRECTION.
 - 8. ALL PITS TO BE FINISHED FLUSH WITH SURFACE LEVEL.

REV	DESCRIPTION	APP'D	DATE
A	PRELIMINARY ISSUE	DH	13.05.2026

REV	DESCRIPTION	APP'D	DATE

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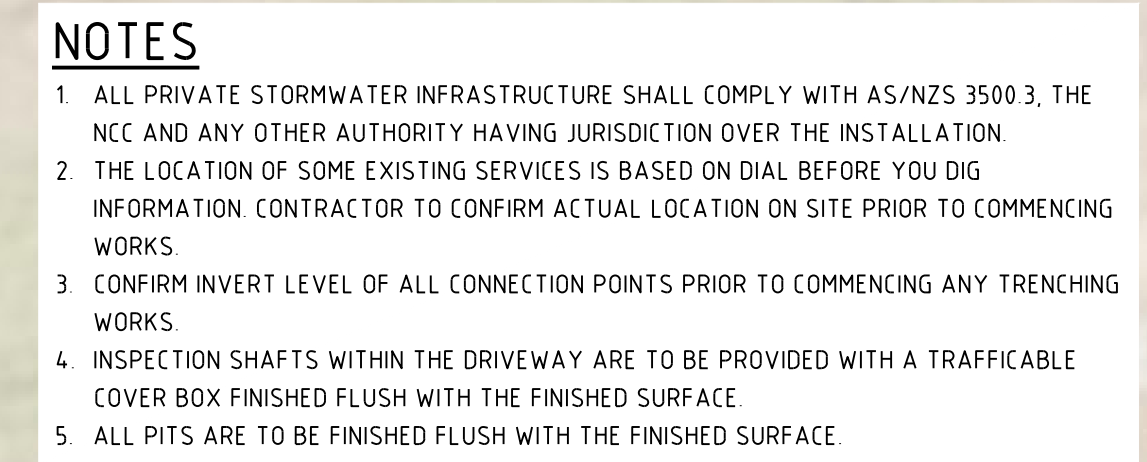


GANDY AND ROBERTS
CONSULTING ENGINEERS

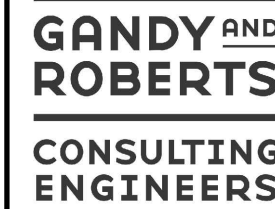
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ph 03 6215 8600

WAREHOUSE
21 ABERNANT WAY, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
SITWORKS PLAN

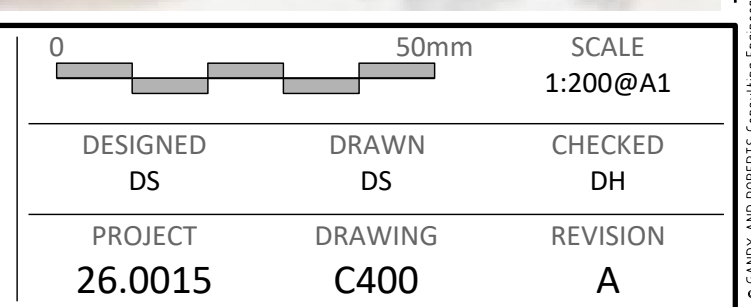
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PROJECT 26.0015	DRAWING C200	REVISION A

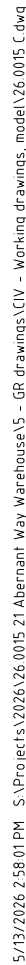


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WAREHOUSE
21 ABERNANT WAY, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
STORMWATER PLAN





1. PUBLIC SEWER INFRASTRUCTURE WORKS SHALL COMPLY WITH THE REQUIREMENTS DETAILED ON DRG C001.
2. PRIVATE SEWER INFRASTRUCTURE WORKS SHALL COMPLY WITH AS/NZS 3500 2, THE NCC AND ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE INSTALLATION.
3. THE LOCATION OF SOME EXISTING SERVICES IS BASED ON DIAL BEFORE YOU DIG INFORMATION. THE CONTRACTOR IS TO CONFIRM THE ACTUAL LOCATION ON SITE PRIOR TO COMMENCING WORKS.
4. CONFIRM INVERT LEVELS OF ALL CONNECTION POINTS PRIOR TO COMMENCING ANY TRENCHING WORKS.
5. INSPECTION SHAFTS WITHIN THE DRIVEWAY ARE TO BE PROVIDED WITH A TRAFFICABLE COVER BOX FINISHED FLUSH WITH THE SURFACE.
6. ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996 2019.

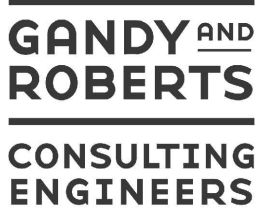
1. PUBLIC WATER INFRASTRUCTURE WORKS SHALL COMPLY WITH THE REQUIREMENTS DETAILED ON DRG C001
2. PRIVATE WATER INFRASTRUCTURE SHALL COMPLY WITH AS/NZS 3500.1, THE NCC AND ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE INSTALLATION
3. ALL ACCESS COVERS, INCLUDING COVER BOXES, SHALL COMPLY WITH AS 3996:2019



NTS

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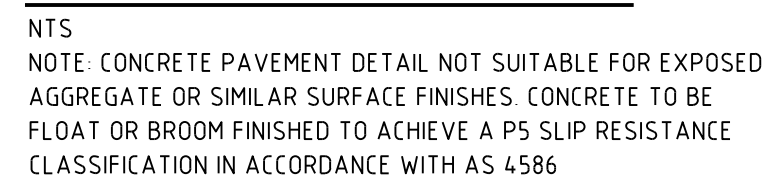
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21 ABERNANT WAY, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
SEWER AND WATER PLAN

• GANDY AND ROBERTS Consulting Engineers



ON-SITE STORMWATER DETENTION			
PERMISSIBLE SITE DISCHARGE ASSESSED USING RATIONAL METHOD FOR 5% AEP 5 MINUTE DURATION DESIGN STORM WITH INTENSITY 85.2 mm/h. SITE STORAGE REQUIREMENT ASSESSED USING RATIONAL METHOD FOR 2% AEP WITH STORM DURATION FROM 1 MIN TO 90 MINS. CRITICAL DURATION DETERMINED TO BE 20 MINS WITH RAINFALL INTENSITY 55.1 mm/h			
TOTAL DEVELOPMENT AREA = 2917 m ²			
PRE-DEVELOPMENT AREAS		DEVELOPMENT AREAS	
ROOF (C=10)	0 m ²	ROOF (C=10)	328 m ²
IMPERVIOUS (C=0.9)	0 m ²	IMPERVIOUS (C=0.98 C=0.6)	1989 m ²
GARDEN (C=0.2)	2917 m ²	GARDEN (C=0.2)	1412 m ²
PERMISSIBLE SITE DISCHARGE	14.1 L/s	PEAK FLOW RATE	32.8 L/s
EQUIV. VOLUME	16939 L	EQUIV. VOLUME (L)	33376 L
SITE STORAGE REQUIREMENT = 17663 L			
AREAS DETAINED		AREAS NOT DETAINED	
ROOF	328m ²	ROOF	0 m ²
IMPERVIOUS	1989 m ²	IMPERVIOUS	0 m ²
GARDEN	0 m ²	GARDEN	1412 m ²
PEAK FLOW TO DETENTION = 40.2 L/s		UNDETAINED PEAK FLOW = 2.9 L/s	
DETENTION DISCHARGE REQUIREMENT = 11.2 L/s MAXIMUM			
DETENTION ACHIEVED USING DN750 PIPE 36 m AND DN300 PIPE 38 m			
MAXIMUM OSD WATER DEPTH = 750 mm			
MAXIMUM CONTROLLED FLOW RATE WITH 76 mm ORIFICE = 10.8 L/s			
SYSTEM MAINTENANCE REQUIREMENTS DETAINED ON THIS DRG			

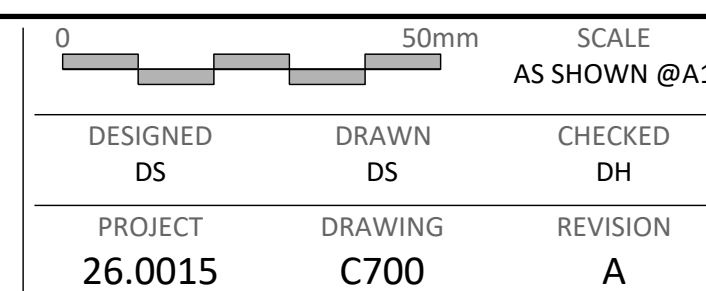
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A	PRELIMINARY ISSUE	DH	13.05.2026				
REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION	APP'D	DATE

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**GANDY AND
ROBERTS**
**CONSULTING
ENGINEERS**

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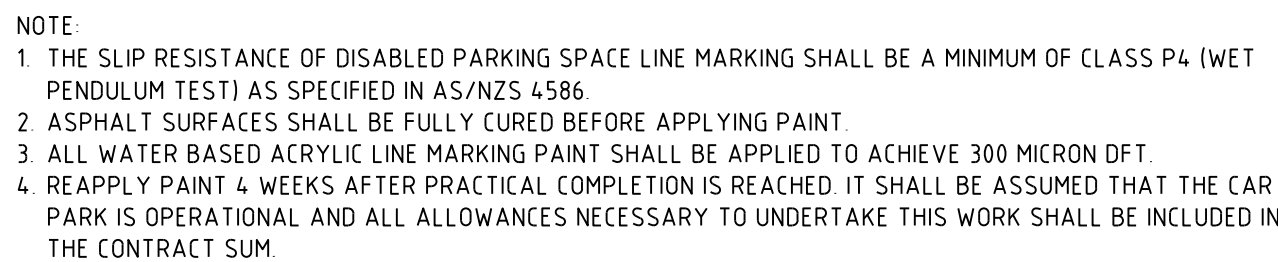
WAREHOUSE
21 ABERNANT WAY, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
DETAILS 01





SCALE 1:20

1. BLOCKWORK WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS4478:2002, AND APPENDIX E OF THE CONCRETE MASONRY ASSOCIATION OF AUSTRALIA PUBLICATION R601 "REINFORCED CONCRETE MASONRY" (CANTILEVER RETAINING WALLS).
2. BACKFILL TO WALLS SHALL BE AN APPROVED GRANULAR MATERIAL (ICLAY SHALL NOT BE USED).
3. PROVIDE A SUITABLE WATERPROOFING SYSTEM TO THE REAR OF THE WALL, UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL SPECIFICATION FOR DETAILS.
4. UNLESS SPECIFIED OTHERWISE, A 300 mm WIDE FREE DRAINING DRAINAGE LAYER SHALL BE PROVIDED BEHIND THE WALL.
5. THE WALL SHALL BE DRAINED WITH A GEOTEXTILE WRAPPED 100 mm PERFORATED PVC PIPE INSTALLED AT 1% FALL (MINIMUM) AND SHALL BE CONNECTED TO THE STORM WATER DISPOSAL SYSTEM AT 15 m MAX CRS (OR DN50 WEEPHOLES AT 12 m CRS INSTALLED AT THE BASE). PERFORATED PVC DRAINAGE PIPE AND FITTINGS SHALL COMPLY WITH AS2639.1 ALL CONNECTIONS SHALL BE MADE USING PURPOSE SPECIFIC PROPRIETARY ITEMS.
6. THE CONTRACTOR SHALL MAINTAIN EXCAVATED BATTERS AT A STABLE SLOPE AND PROVIDE SHORING TO STEEPER EXCAVATIONS UNTIL CONSTRUCTION AND BACKFILLING OF THE WALL IS COMPLETE.
7. RETAINING WALLS THAT RELY ON OTHER STRUCTURAL ELEMENTS FOR STABILITY SHALL BE PROVIDED WITH TEMPORARY SUPPORT UNTIL AFTER THESE ELEMENTS HAVE BEEN CONSTRUCTED. SEEK CLARIFICATION FROM GANDY AND ROBERTS IF UNSURE.
8. THE CONTRACTOR SHALL ALLOW A SUITABLE CURING PERIOD PRIOR TO BACKFILLING. BACKFILLING SHALL BE PERFORMED IN A CONTROLLED MANNER WHICH WILL NOT IMPOSE EXCESSIVE STRESS ON THE WALL FOR BLOCKWORK WALLS TYPICALLY ALLOW A MINIMUM OF 14 DAYS FOR GROUT TO CURE PRIOR TO BACKFILLING.
9. WALLS BUILT ON BOUNDARIES SHALL BE WHOLLY CONTAINED WITHIN THE DEVELOPMENT SITE INCLUDING SUBSOIL DRAINAGE, UNLESS APPROVED BY THE PERMIT AUTHORITY.



SCALE 1:50

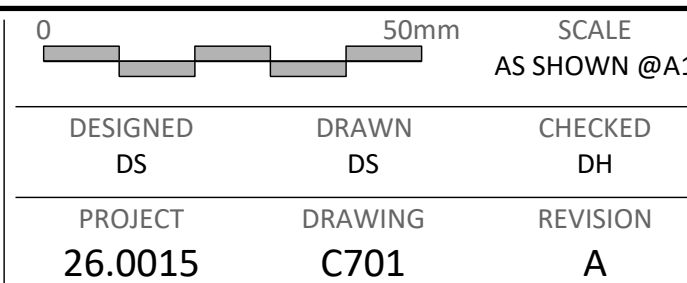


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ROBERTS**
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WAREHOUSE
21 ABERNANT WAY, CAMBRIDGE
TASMANIA 7170
DRAWING TITLE
DETAILS 02



Dear Sir/Madam,

PDPLANPMTD-2026/061693 21 Abernant Way, Cambridge

In response to your correspondence dated 11/06/2026
I have addressed your requests as follows:

ITEM	COUNCIL REQUEST	DEVELOPMENT RESPONSE
1	<i>Please confirm if the current owner listed on the application form is correct. Please update the application form if the owners details are incorrect.</i>	Abernant Property Pty Ltd
2	CLA-S15.7.2 Precinct B – Design <i>Please clarify how the proposed development meets clause CLA-S15.7.2 (A1/P1) in relation to the external building design. Please note amended plans may be required in relation to any proposed blank walls, and insufficient area of window and door openings facing the façade. In addition, please specify the colour palate proposed.</i>	(a) Main pedestrian entrance The proposed development is for a storage yard with associated industrial/storage use. Pedestrian access is provided from the front of the site, with access clearly identifiable from Abernant Way. (b) Windows and door openings to front façade The front façade has been designed to avoid a visually dominant blank wall presentation. The building elevation includes door openings and façade articulation through a combination of painted and natural precast concrete panels, and aluminium battens in an ash wood finish. Given the nature of the proposed storage yard use, large areas of glazing are not considered necessary or practical. The façade treatment provides visual interest and a suitable industrial presentation to Abernant Way. (c) Blank wall areas The front façade is broken up through the use of varied materials, finishes and articulation. The east elevation comprises concrete precast panels only; however, this elevation is not public-facing and is not readily visible from Abernant Way. As such, the concrete panel treatment to

the east elevation is considered appropriate within the industrial context of the site.

(d) Mechanical plant and miscellaneous equipment

Any mechanical plant, air conditioning units, switchboards, hot water units or similar service equipment will be screened from view from Abernant Way and other public spaces where visible with the use of 3 barb cyclone fencing.

(e) Rooftop service infrastructure

No rooftop service infrastructure, service plant, lift structure or similar rooftop equipment is proposed. Should any minor rooftop services be required, these will be integrated into the roof design or otherwise screened from view.

(f) Security shutters

No security shutters are proposed over windows or doors fronting Abernant Way or any public place.

(g) Muted colours

The proposed external colour and material palette consists of:

- painted precast concrete panels in **Colorbond Monument**;
- natural concrete panels; and
- aluminium battens in an **ash wood finish**.

The use of Monument and concrete provides a muted, recessive industrial colour scheme appropriate to the Cambridge industrial area. The ash wood aluminium battens provide warmth and façade articulation while remaining visually subdued and compatible with the surrounding industrial context.

- 3 **CLA-S15.7.4 Outdoor Storage**
Please include on the site plan all defined outdoor storage areas and any screening proposed. Please note, all outdoor storage must be screened from public view, this includes visibility from the public open space located to the rear of the subject site.

The subject site is proposed to be secured by cyclone fencing with 3-strand barbed wire around the property boundary, consistent with the fencing treatment commonly used by other commercial/industrial properties in Abernant Way and the surrounding Cambridge industrial area. No screening is proposed in keeping with neighbouring storage yards.

PINNACLE

9 Spark Dr – Dowell Windows

Large storage area to the area along Abernant Way that is not screened



17 Abernant Way

Large Storage area facing public space behind and visibly from Richmond Rd, with no screening treatment



- 4 **Standard 18.4.5 Landscaping**
Please include a landscape plan or defined landscape areas on the site plan, in accordance with the requirements of clause 18.4.5 A1/P1.

Please refer to updated site plan (A.01) which now shows proposed landscaping.

- 5 **Standard C2.5.1 Car parking numbers**
Please include a sufficient number of onsite parking spaces to meet the requirements of clause C2.5.1 A1 and the parking number requirements as specified in Table C2.1 of the Parking and Sustainable Transport Code. Alternatively, please address the corresponding performance criteria, noting a Traffic Impact Assessment may be required to address clause C2.5.1 P1.1.

The amended site plan provides 15 on-site car parking spaces, satisfying the parking number requirement under C2.5.1 A1.

Based on the site area of 2,900m², the required parking provision is calculated as follows:
 $2,900\text{m}^2 \div 200\text{m}^2 = 14.5$ spaces, rounded up to 15 spaces.

- 6 **Standard C2.6.2 Design and layout of parking areas**
Please provide all driveway and parking gradients, turning path and parking dimension to address clause C2.6.2.

Please refer to engineering civil plans attached by Gandy & Roberts May 2026 for requested information.

- 7 **Standard C2.6.5 Pedestrian access**
In relation to the parking number requirements of clause C2.5.1 A1,

The amended site plan provides 15 on-site car parking spaces in accordance with the requirements of C2.5.1 A1.

PINNACLE

please ensure where there are more than 10 or more car parking spaces, appropriate pedestrian access is provided for in accordance with the requirements of Clause C2.6.5 A1.1/P1.

The car parking spaces are provided for staff parking only and are not intended for general public or customer parking. The proposed storage yard and pedestrian movements within the site are expected to be limited and controlled. Pedestrian access from the car parking area to the building entry is provided and shown on the amended site plan. The pedestrian access path will provide a safe and direct connection between the staff parking area and the building entrance. Where required, the pedestrian access will be delineated from vehicle circulation and manoeuvring areas by line marking and/or a formed pedestrian pathway.

- 8 **Standard C3.5.1 (A1.4)**
Please clarify the vehicle movements anticipated for the subject site in relation to clause C3.5.1 A1.4 of the Road and Railway Assets Code.

Vehicle access to the site will be via the existing/proposed vehicle crossing to Abernant Way. The anticipated vehicle movements associated with the proposal are expected to be low and consistent with the nature of a storage yard use within an established industrial area.

Anticipated vehicle movements will primarily consist of:

- staff arrivals and departures at the beginning and end of the workday;
- occasional operational vehicle movements associated with the storage yard use;
- occasional contractor or service vehicle access; and
- occasional loading and unloading movements within the site.

The proposal is not expected to result in an increase in vehicular traffic to and from the site greater than the amounts specified in Table C3.1 of the Road and Railway Assets Code.

The existing road network and vehicle access arrangement are considered suitable for the anticipated low-intensity traffic generation associated with the proposed storage yard use. The proposal is not expected to adversely impact the safety or efficiency of Abernant Way or the surrounding road network.

- 9 **Standard C7.6.1**
Please clarify if any works, including cut/fill or new stormwater points, are located within the waterway

The amended site plan identifies the waterway protection area located at the rear of the subject site.

PINNACLE

protection area located at the rear of the site.

The proposed stormwater pits are located within the waterway protection area. No buildings or other built structures are proposed within this area.

The proposed stormwater infrastructure is minor service infrastructure associated with the management of site drainage. The location of the proposed stormwater pits is considered appropriate as existing approved Council stormwater and sewer infrastructure is also located within the waterway protection area at the rear of the site.

The proposal is considered to satisfy C7.6.1 P1.1, as the stormwater works are limited in extent and have been located to minimise adverse impacts on natural assets. In particular:

- the works are limited to stormwater pit infrastructure only;
- the proposed stormwater pits are grouped with existing approved service infrastructure where practical;
- no works are proposed within the watercourse itself;
- no removal of riparian vegetation is proposed;
- no land filling of wetlands is proposed;
- natural streambank and streambed conditions will be maintained;
- the works will not significantly impede natural flow or drainage;
- no cut and fill within the waterway protection area;
- erosion, siltation, sedimentation and runoff impacts will be managed through appropriate construction and stormwater management measures; and
- the works will not create a need for future works for the protection of natural assets, infrastructure or property.

The proposal does not involve works within the spatial extent of tidal waters and C7.6.1 P1.2 is not applicable.

Accordingly, the proposal is considered to satisfy C7.6.1 P1.1, as the proposed works within the waterway protection area are limited to minor stormwater infrastructure and have been designed and located to avoid or minimise adverse impacts on natural assets.

PINNACLE

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPA.

Kind Regards,

A handwritten signature in black ink, appearing to read 'J. Nickerson', written in a cursive style.

Jason Nickerson

Director