



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061698

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 8 Esplanade, Lindisfarne

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 03/08/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 03/08/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 03/08/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Alterations and addition, demolition, new carport and garage

Location: 8 Esplanade, Lindisfarne

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Existing dwelling and outbuildings**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 145275	FOLIO 2
EDITION 8	DATE OF ISSUE 09-Aug-2025

SEARCH DATE : 27-May-2026

SEARCH TIME : 12.28 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Sealed Plan [145275](#)(formerly Lots 3 and 4 on Sealed Plan No. [110484](#))

Derivation : Part of 970 Acres Gtd. to E.P. Wilson & Ors.

Prior CTs [110484/5](#) and [110484/6](#)SCHEDULE 1

[N272637](#) TRANSFER to RICHARD PHILLIPSON COTTON and ROSEMARY
JANE COTTON Registered 09-Aug-2025 at 12.01 pm

SCHEDULE 2

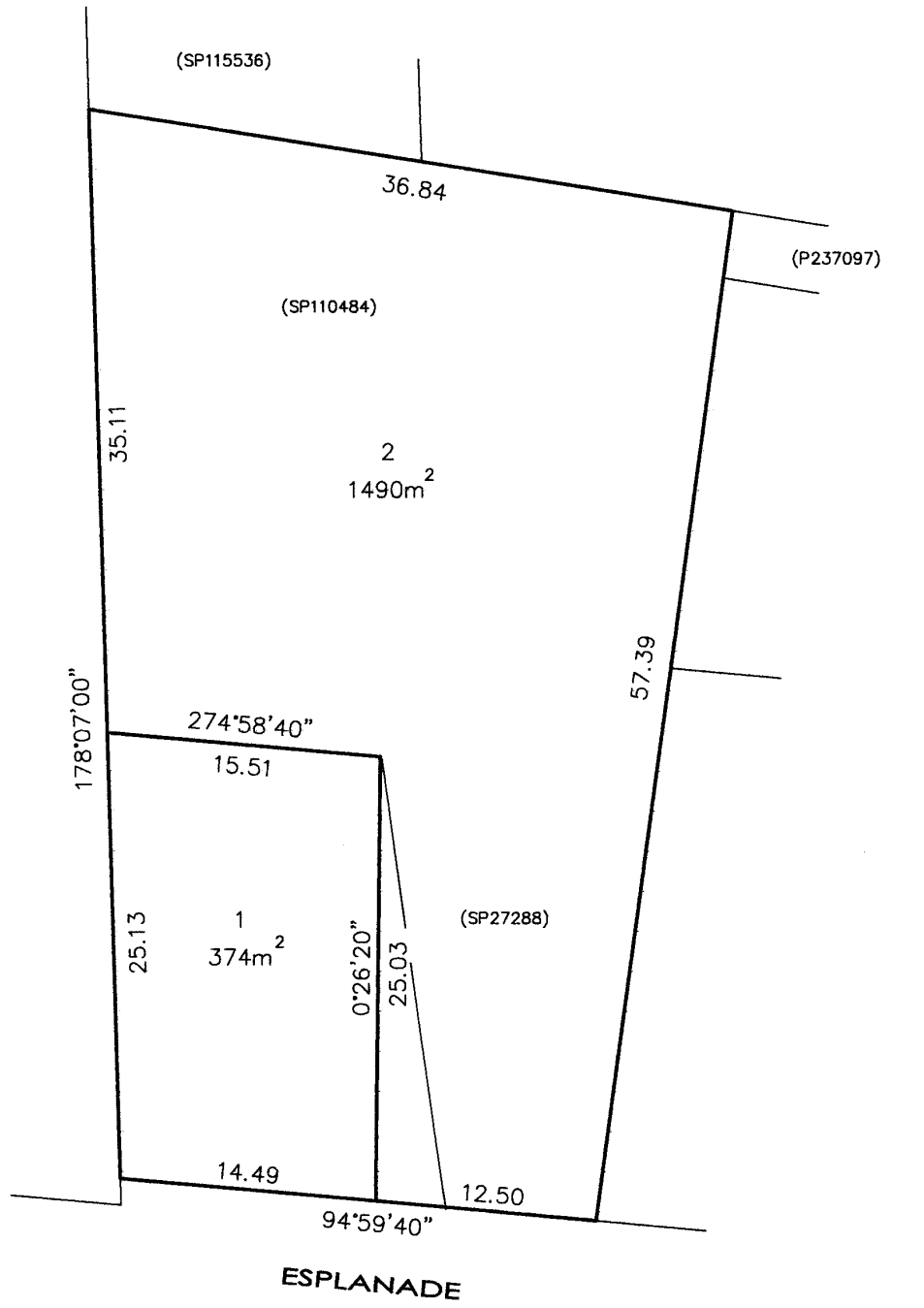
Reservations and conditions in the Crown Grant if any
SP[110484](#) FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: P.J.E. & G.M.M. FONE AND P.R. & E.A. FONE FOLIO REFERENCE: C.T. 110484/5 & 6 GRANTEE: PART OF 970ac. GTD TO EDMUND PHILIP WILSON, ALEXANDER GEORGE WEBSTER & CHARLES PERCY DAMS		PLAN OF SURVEY BY SURVEYOR: R.FORD LOCATION CITY OF CLARENCE SCALE: 1:250		REGISTERED NUMBER SP145275 APPROVED EFFECTIVE FROM 24 JAN 2006 <i>Mick Hanna</i> Recorder of Titles	
MAPSHEET MUNICIPAL CODE No. 107 (5225-33)	LAST UPI No. 1423116 1423117	LAST PLAN No. SP110484	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

LOT 2 COMPILED FROM C.T. 110484/6 AND THIS SURVEY





COUNCIL DELEGATE
1-12-05
DATE

All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

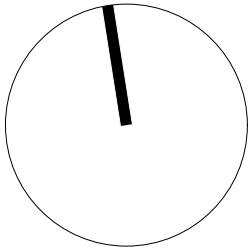
Note:
Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings.
All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

Katie Court
a : 76 Gillies Road,
Granton. TAS. 7030
m : 0400 598 990
e : katie.court1@gmail.com



- 9am 21 June
- 10am 21 June
- 11am 21 June
- Noon 21 June
- 1pm 21 June
- 2pm 21 June
- 3pm 21 June



JOB : ALTERATONS &
ADDITION

AT : #8 ESPLANADE,
LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :

**EXISTING
SUN DIAGRAMS**

DRAWN:	DATE:	DWG NO. :
KC	10.07.26	02
SCALE:		
A3 1:300		

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- Site to be vegetated and planted according to the satisfaction of the Hobart Regional soil and water management code of practice.
- Site to be disturbed as minimal as possible, (i.e. only building, drainage and immediate adjoining areas).
- Install all drainage lines prior to placement of roof and guttering. Connect immediately once dwelling is roofed.
- Apply temporary covering (eg, waterproof blankets, vegetation or mulch) to all disturbed areas where construction is only partially completed, which will remain exposed for a period of 14 days or more.
- Protect any nearby or on-site drainage pits from sediment by installing sediment traps around them.
- Limit entry/exit to one point and stabilise. Install facilities to remove dirt/mud from vehicle wheels before they leave the site.
- All soil/excavated matter to be retained on site, to be used as battered fill required for the landscaping areas.

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
6. HORIZONTAL DATUM IS MGA (GDA94).
7. VERTICAL DATUM IS AHD.
8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.
9. SURVEY BY ROBOTIC TOTAL STATION AND RTK GPS.
10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.
11. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain

12. BOUNDARIES ARE COMPILED ONLY FROM SP145275 AND RELEVANT SURVEY INFORMATION OBTAINED FROM LAND TITLES OFFICE AND ARE APPROXIMATE AND SUBJECT TO SURVEY.

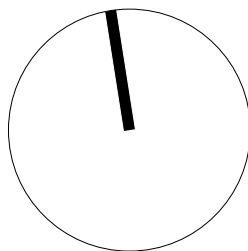
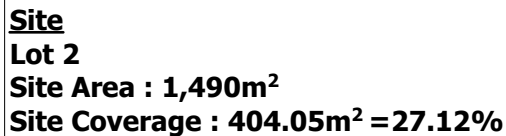
13. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION.

WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.

14. 3D DATA TURNED OFF IN LAYER CONTROL..

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

1. Strip topsoil and level.
2. Compact subgrade.
3. Cover area with needle-punched geotextile.
4. Construct 200mm thick pad over geotextile using roadbase or 40mm aggregate. Minimum length 5 metres or to building alignment. Minimum width 3 metres.
5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.



FOR : MRS J COTTON

DRAWING TITLE :

SITE PLAN

DRAWN:	DATE:	DWG NO. :
KC	10.07.26	

SCALE:
A3 1:300

03

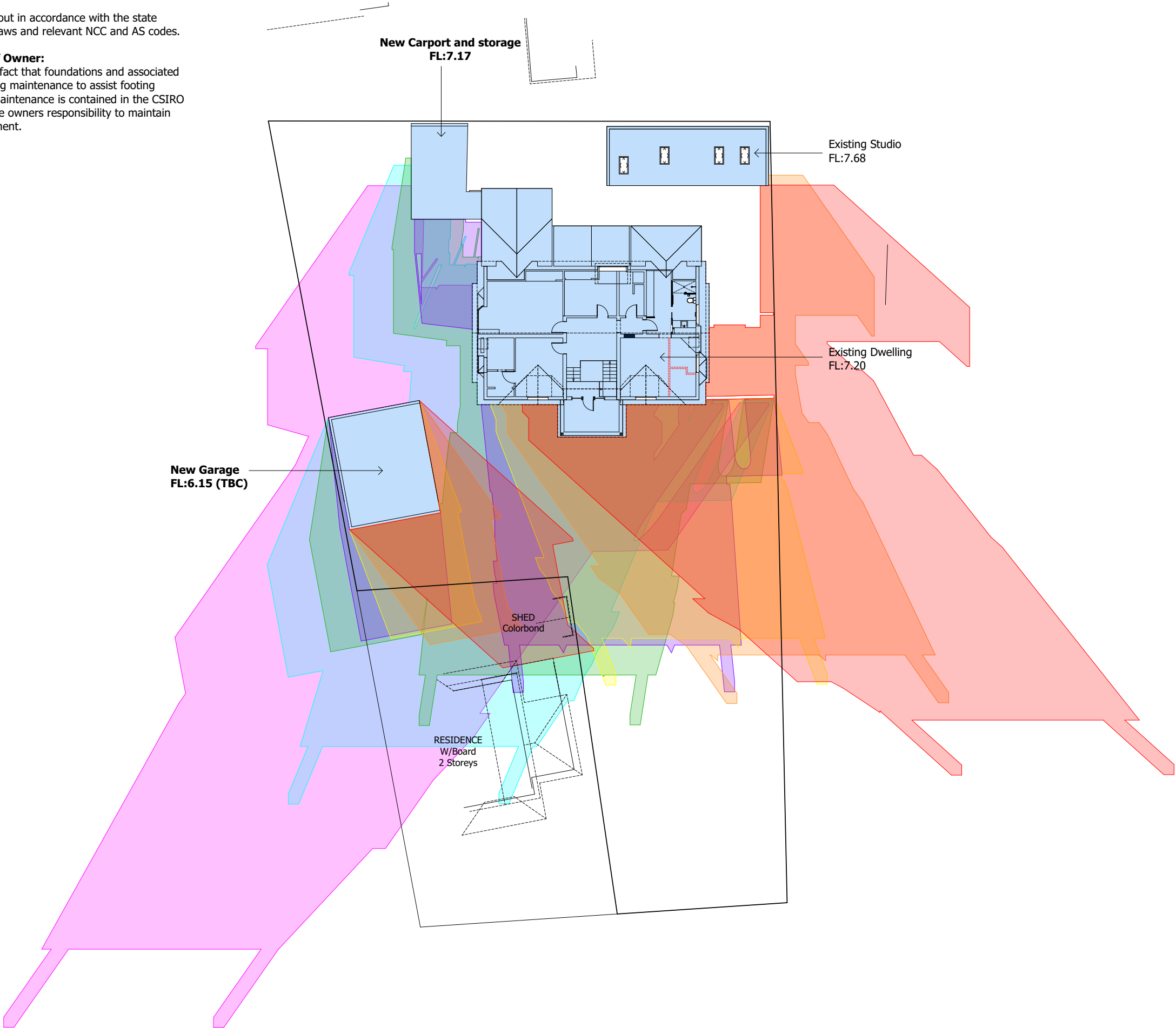


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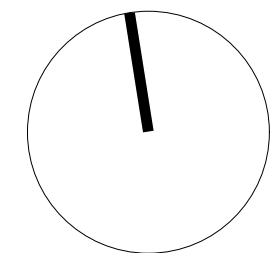
JOB : ALTERATONS &
ADDITION

AT : #8 ESPLANADE,
LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :
**PROPOSED
SUN DIAGRAMS**

DRAWN:	DATE:	DWG NO. :
KC	10.07.26	04
SCALE:	A3 1:300	



JOB : ALTERATONS &
ADDITION

AT : #8 ESPLANADE,
LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :

**EXISTING GROUND
FLOOR PLAN**

DRAWN:	DATE:	DWG NO. :
KC	10.07.26	

SCALE:
A3 1:100

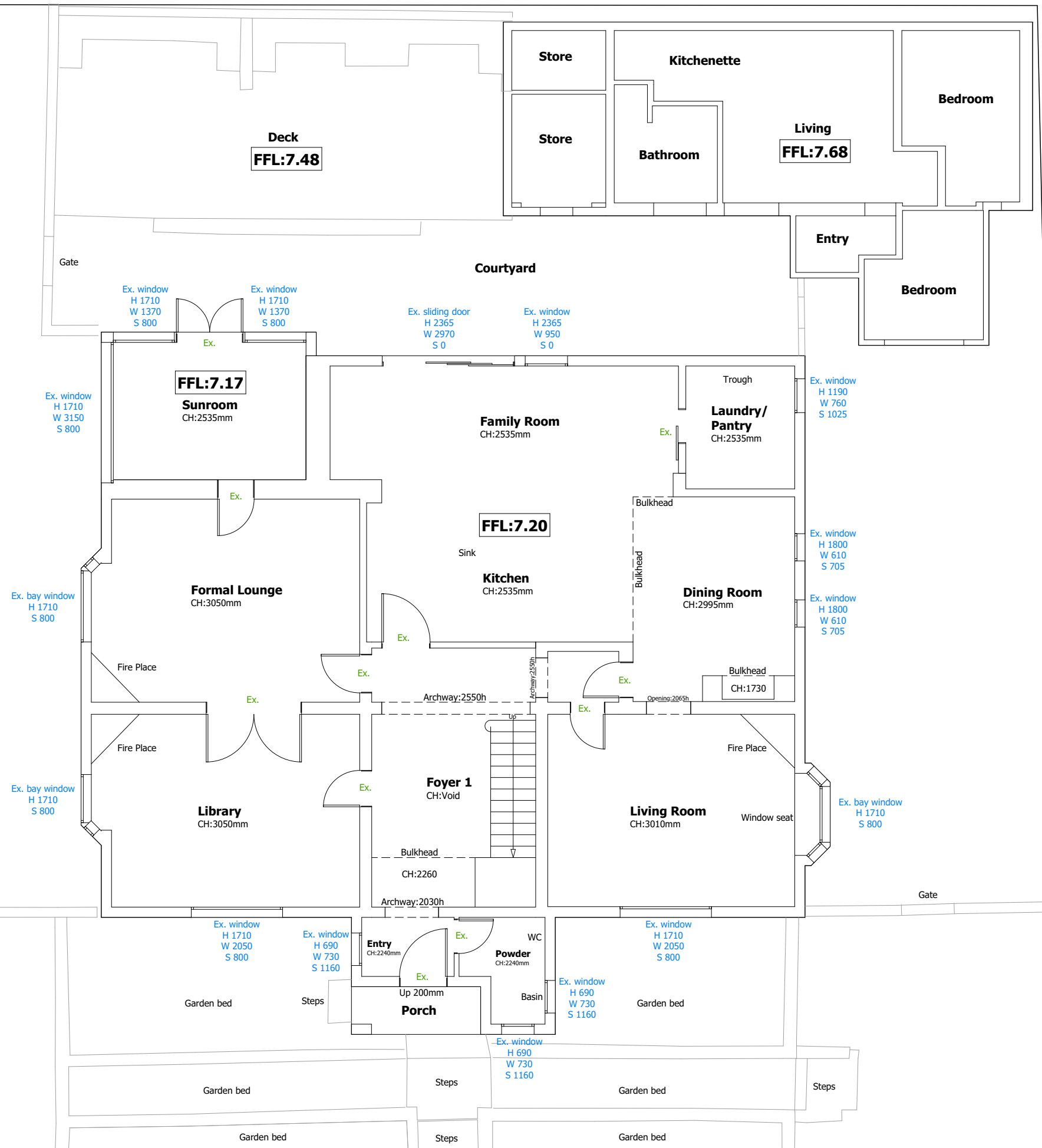
05

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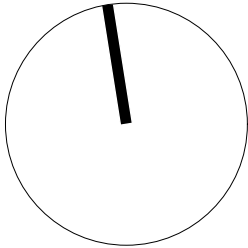
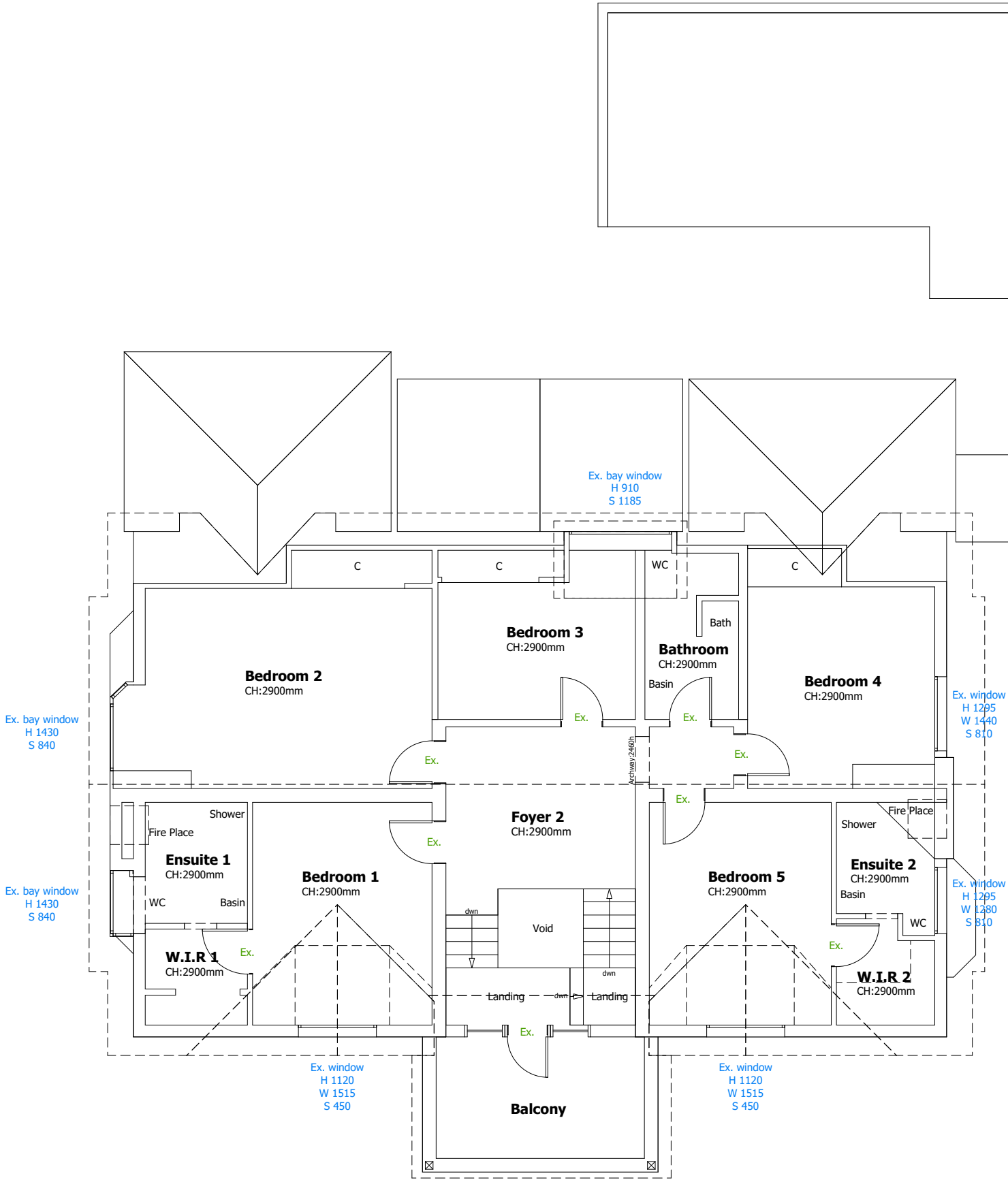
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JOB : ALTERATONS &
ADDITION

AT : #8 ESPLANADE,
LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :

**EXISTING UPPER
FLOOR PLAN**

DRAWN:	DATE:	DWG NO. :
KC	10.07.26	

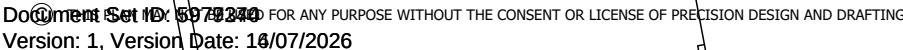
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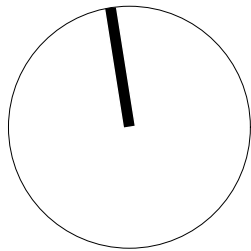
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07





JOB : ALTERATONS &
ADDITION

AT : #8 ESPLANADE,
LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :

**PROPOSED UPPER
FLOOR PLAN**

DRAWN: DATE: DWG NO. :

KC 10.07.26

SCALE:
A3 1:100

08

BOUNDARY

Ex. Parapet

New Block Parapet

New Roof below

Ex. Brick wall

New Roof below

Ex. Roof below

Remove existing skylights

Ex. bay window
H 910
S 1185

Ex. Roof below

550 1,275 90 1,720

Ex. Roof below

Bedroom 3
CH:2900mm
FF:Carpet

Bathroom
CH:2900mm

W.I.R 2
CH:2900mm
FF:Carpet

Ensuite 3
CH:2900mm
FF:Tiled

Ex. window
(New frosted
film over)
H 1295
W 1440
S 810

2nd Living Room
CH:2900mm
FF:Carpet

Ex. bay window
H 1430
S 840

Ensuite 2
CH:2900mm

Bedroom 2
CH:2900mm

Ex. bay window
H 1430
S 840

W.I.R 1
CH:2900mm

Foyer 2
CH:2900mm
FF:Carpet

New opening:
2460h x 900w

Bedroom 4
CH:2900mm
FF:Carpet

Ex. window
H 1295
W 1280
S 810

Balcony

New Block Parapet

New Roof below

BOUNDARY

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General :
• All flashings to be in accordance with the NCC 2022.
• Attachment of decks and balconies to external walls of buildings in accordance with part 12.3 of NCC 2022.

Note:
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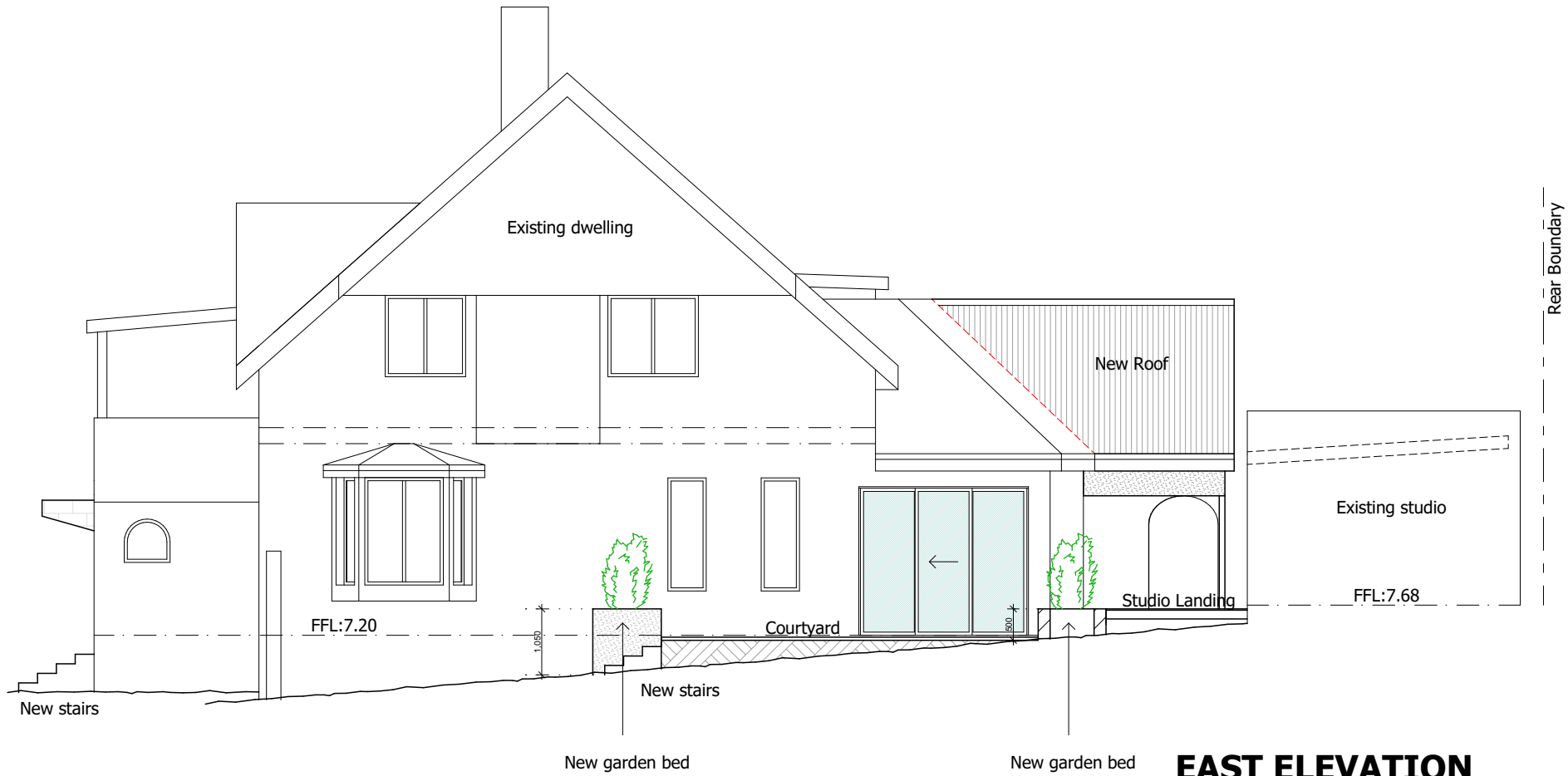
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- General :**
- All flashings to be in accordance with the NCC 2022.
 - Attachment of decks and balconies to external walls of buildings in accordance with part 12.3 of NCC 2022.

- Masonry :**
1. Generally masonry walls to be constructed in accordance with NCC Part 5 and AS 3700.
 2. Masonry veneer to NCC 5.2.
 3. Un-reinforced masonry to NCC 5.4.
 4. Masonry components and accessories to NCC 5.6.
 5. Weatherproofing of masonry to NCC 5.7.
 6. Sub-floor ventilation in accordance with NCC 6.2.
- Sub-floor area to be clear of organic materials and rubbish.
Provide vent openings in substructure walls at a rate of not less than 6000mm2 per meter of wall length, with vents not more than 600mm from corners.
150mm clearance required to underside by floor framing members unless specified otherwise by flooring material specification.



SOUTH ELEVATION



EAST ELEVATION


PRECISION
DESIGN & DRAFTING

Katie Court
a : 76 Gillies Road,
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m : 0400 598 990
e : katie.court1@gmail.com

JOB : ALTERATONS &
ADDITION

AT : #8 ESPLANADE,
LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :
**PROPOSED
ELEVATIONS**

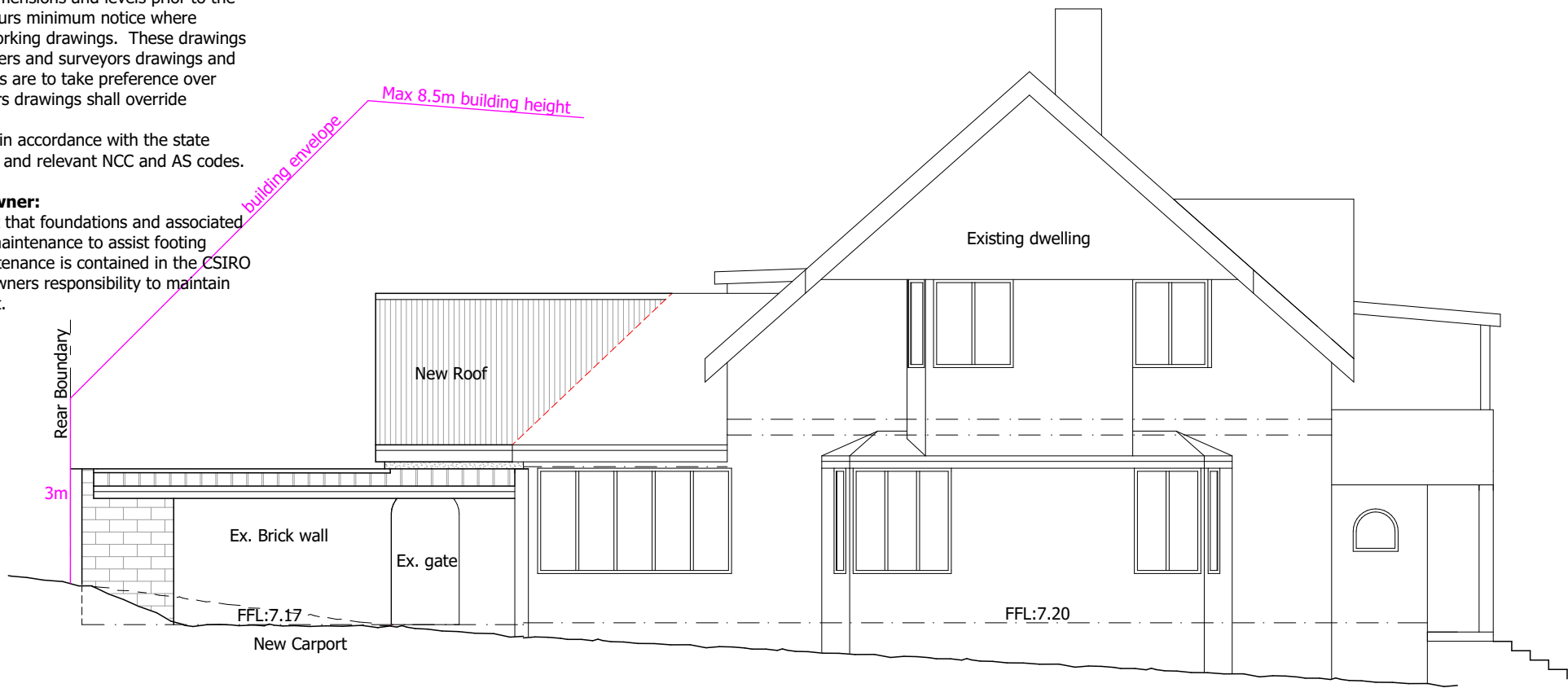
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KC	10.07.26	09
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NORTH ELEVATION

JOB : ALTERATONS &
ADDITION

AT : #8 ESPLANADE,
LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :

**PROPOSED
ELEVATIONS**

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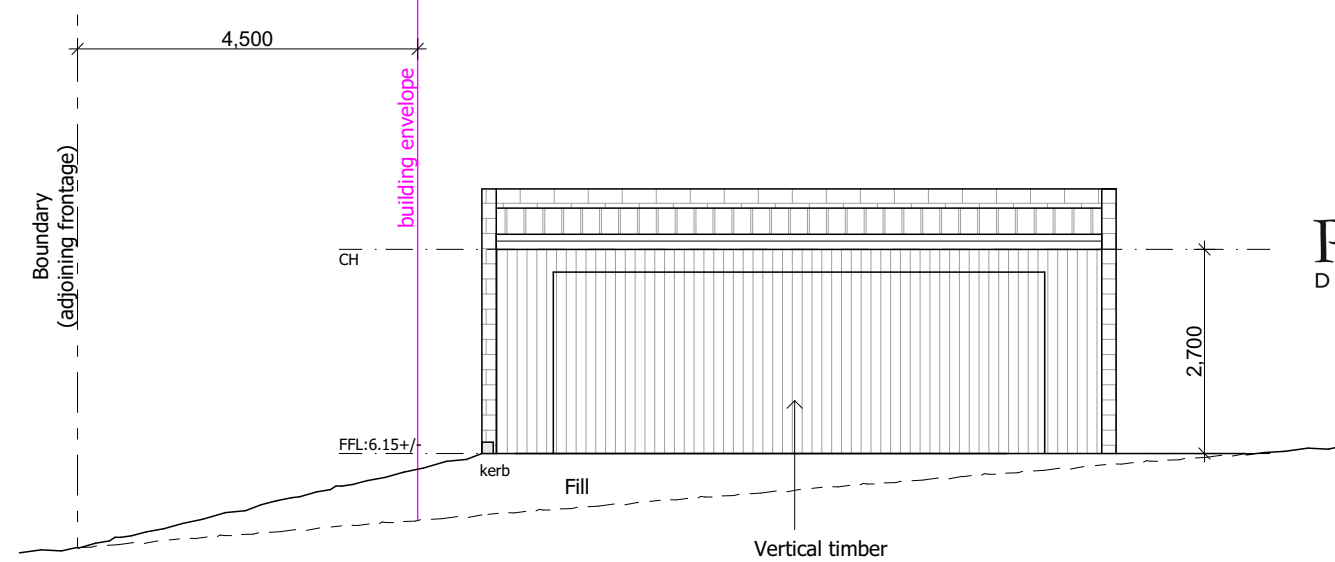
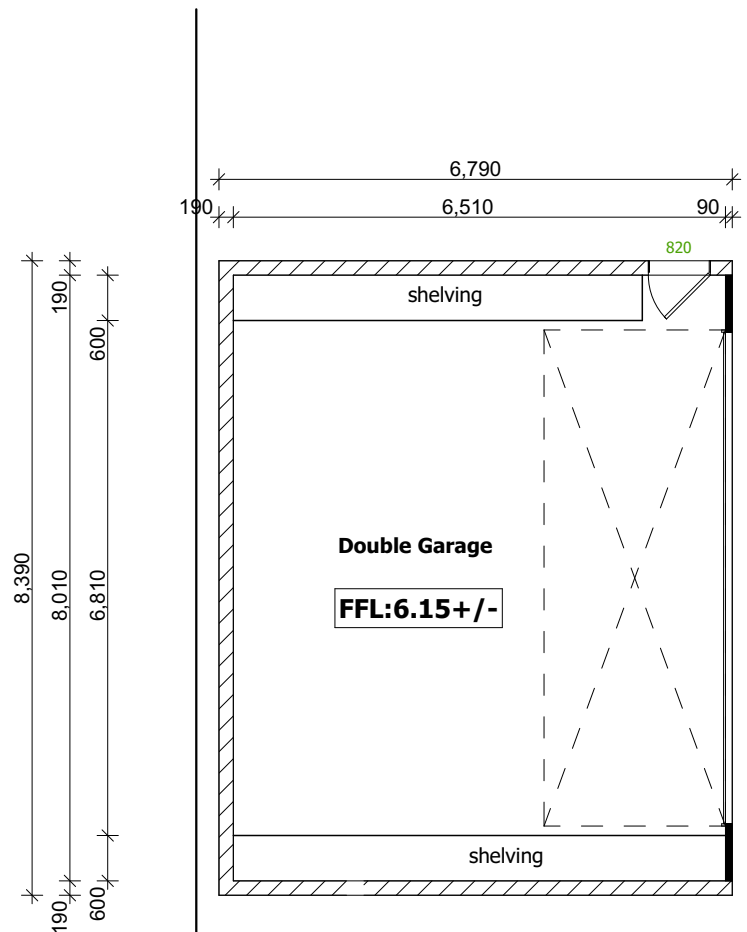
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All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

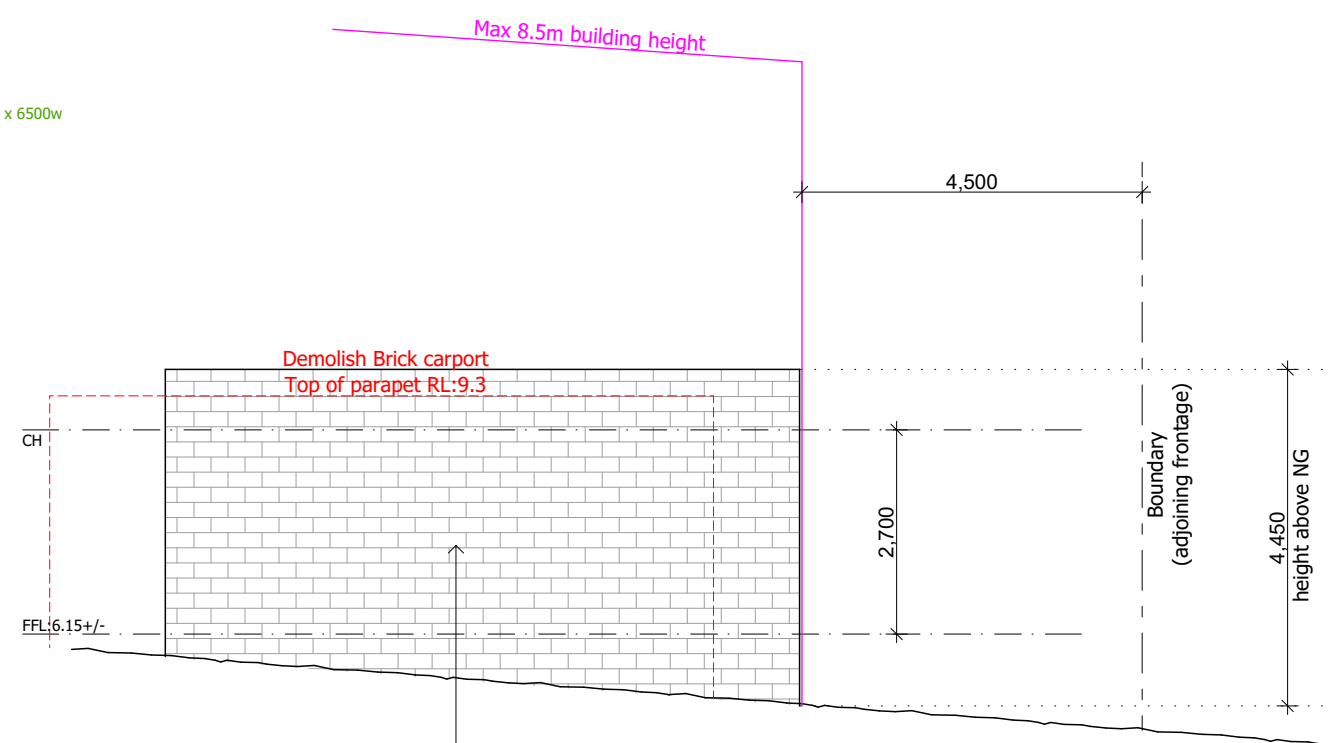
General :
• All flashings to be in accordance with the NCC 2022.

• Attachment of decks and balconies to external walls of buildings in accordance with part 12.3 of NCC 2022.

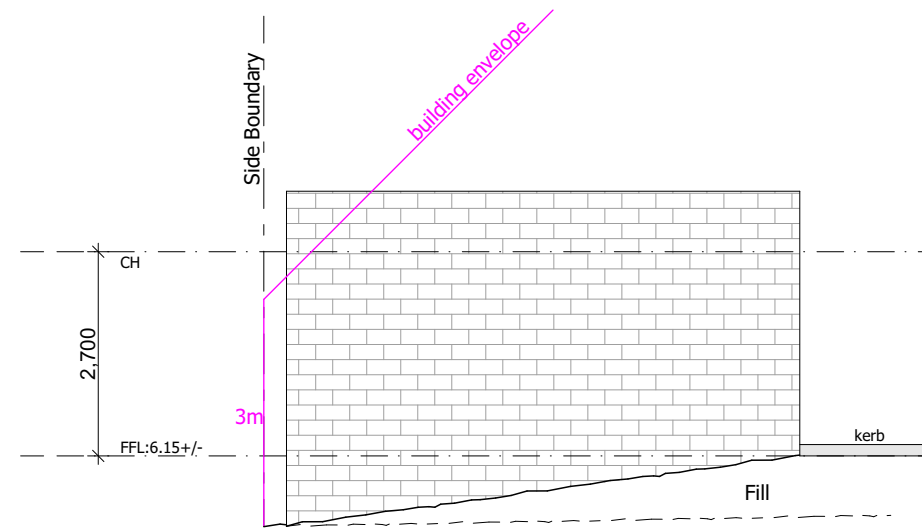
Masonry :
1. Generally masonry walls to be constructed in accordance with NCC Part 5 and AS 3700.
2. Masonry veneer to NCC 5.2.
3. Un-reinforced masonry to NCC 5.4.
4. Masonry components and accessories to NCC 5.6.
5. Weatherproofing of masonry to NCC 5.7.
6. Sub-floor ventilation in accordance with NCC 6.2.
Sub-floor area to be clear of organic materials and rubbish.
Provide vent openings in substructure walls at a rate of not less than 6000mm2 per meter of wall length, with vents not more than 600mm from corners.
150mm clearance required to underside by floor framing members unless specified otherwise by flooring material specification.



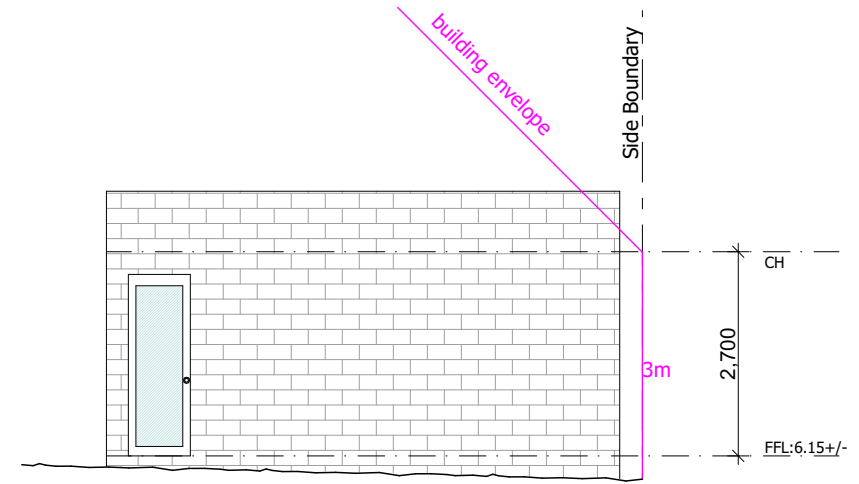
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

JOB : ALTERATONS & ADDITION

AT : #8 ESPLANADE, LINDISFARNE

FOR : MRS J COTTON

DRAWING TITLE :

PROPOSED GARAGE

DRAWN: KC	DATE: 10.07.26	DWG NO. : 11
SCALE: A3 1:100		