



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061841

PROPOSAL: Two Multiple Dwellings (including demolition)

LOCATION: 15 Saladin Circle, Clarendon Vale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 05/08/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 05/08/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 05/08/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Unit Development - Residential Units

Location: **15 Saladin Circle, Clarendon Vale**

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 11403	FOLIO 297
EDITION 2	DATE OF ISSUE 25-Oct-2022

SEARCH DATE : 26-Feb-2026

SEARCH TIME : 02.55 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 297 on Sealed Plan [11403](#)Derivation : Part of 823 Acres, Gtd. to G. Stockell, H. Dawson
& D. StanfieldPrior CT [3721/14](#)SCHEDULE 1SP[11403](#) & [E275339](#) DIRECTOR OF HOUSING Registered
25-Oct-2022 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

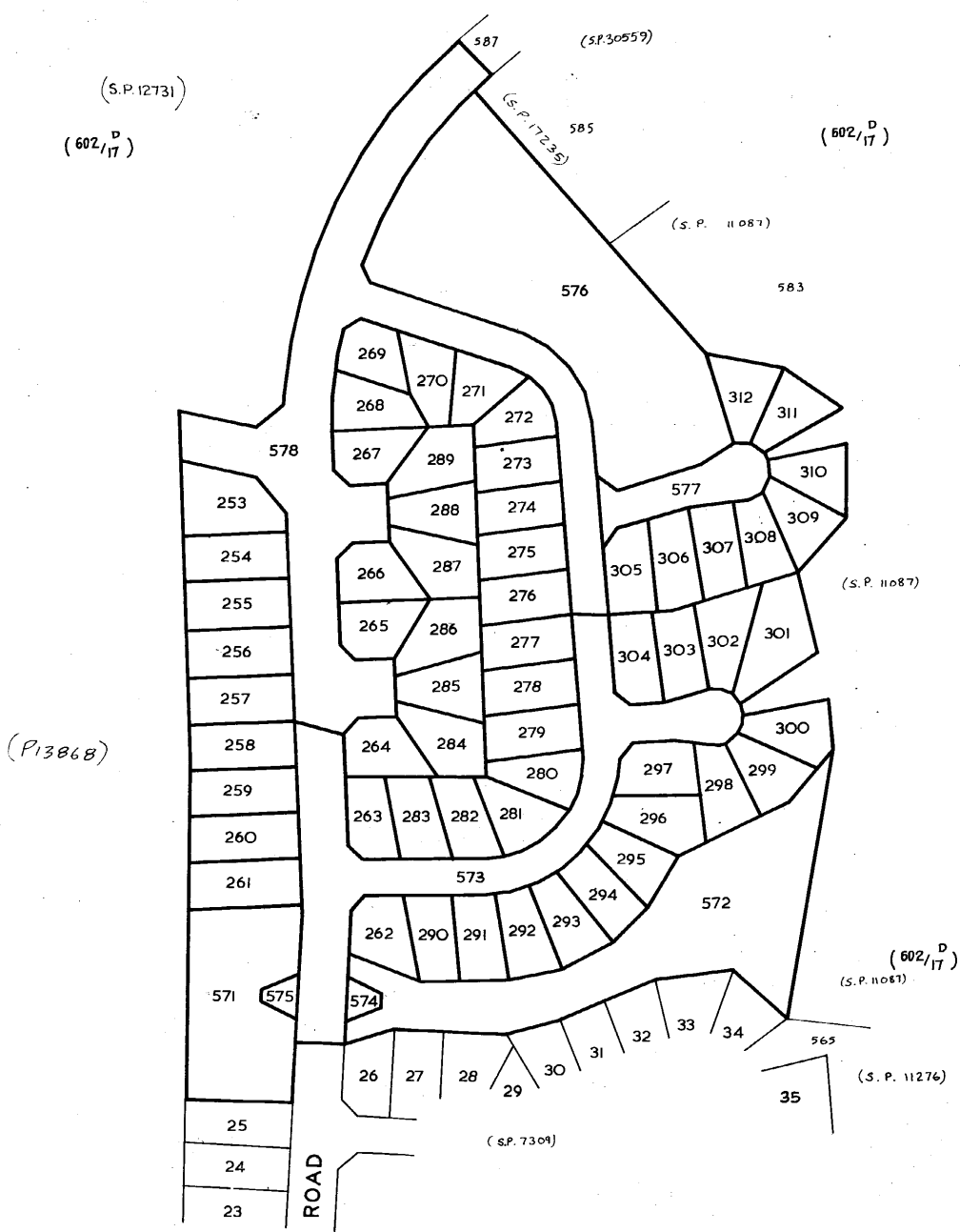
No unregistered dealings or other notations

SP 11403

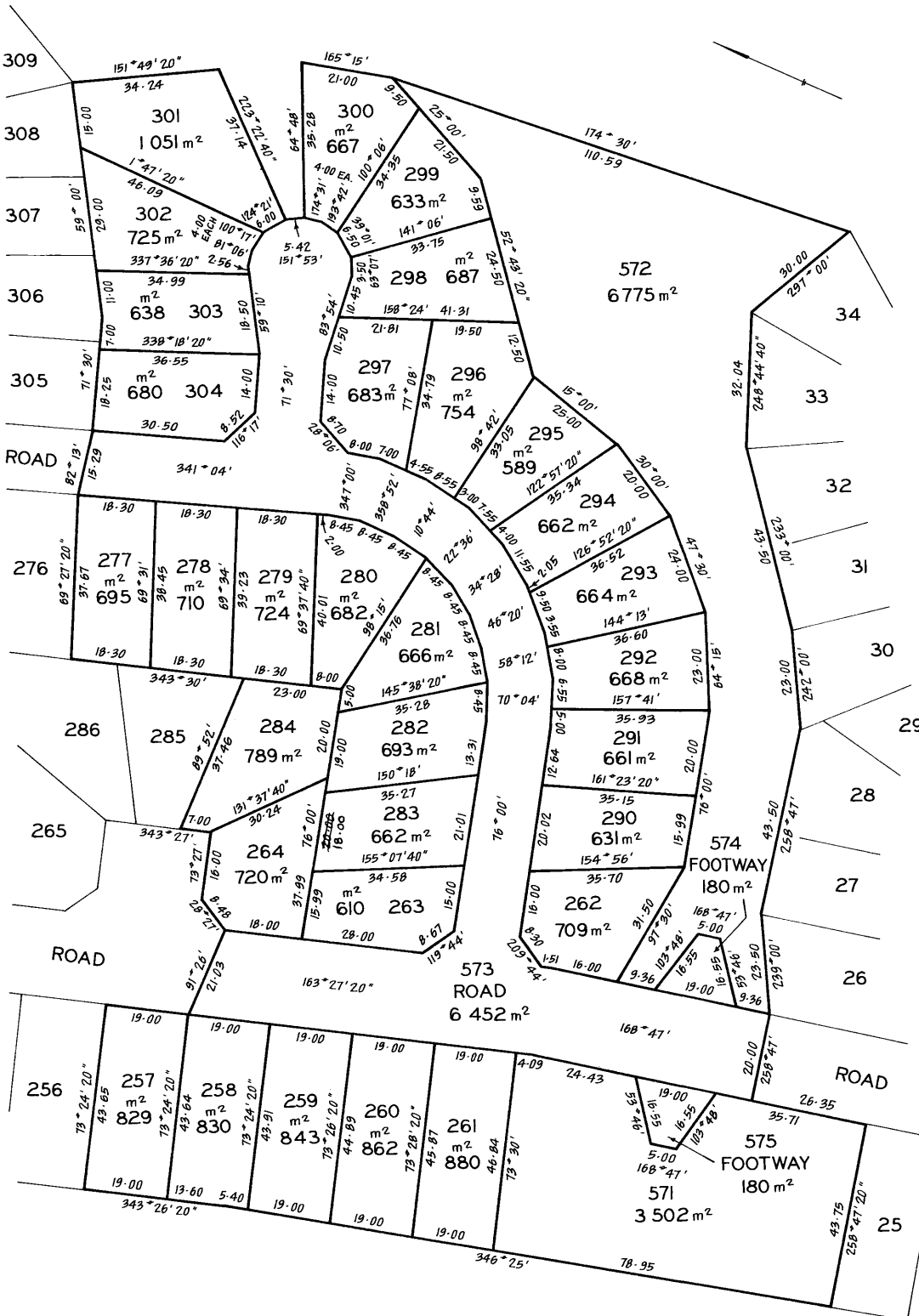
General Owner: The Director of Housing and Construction Title Reference: G.P. CON 4/3829, 4/3832 & 4/3864 Grantee: Part of 823 Acres George Stokell 8-0-5, Henry Dawson, and David Stanfield <i>Memo 6.9.78</i>	PLAN OF SURVEY by Surveyor A. G. Peacock of land situated in the TOWN OF ROKEBY Scale 1:1500	Registered Number: S.P.11403 Directing from 3 OCT 1978 <i>[Signature]</i> ACTING DEPUTY Recorder of Titles
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SEE INSPECTION NOTES FOR REPLIC OF LOT 576

INDEX PLAN

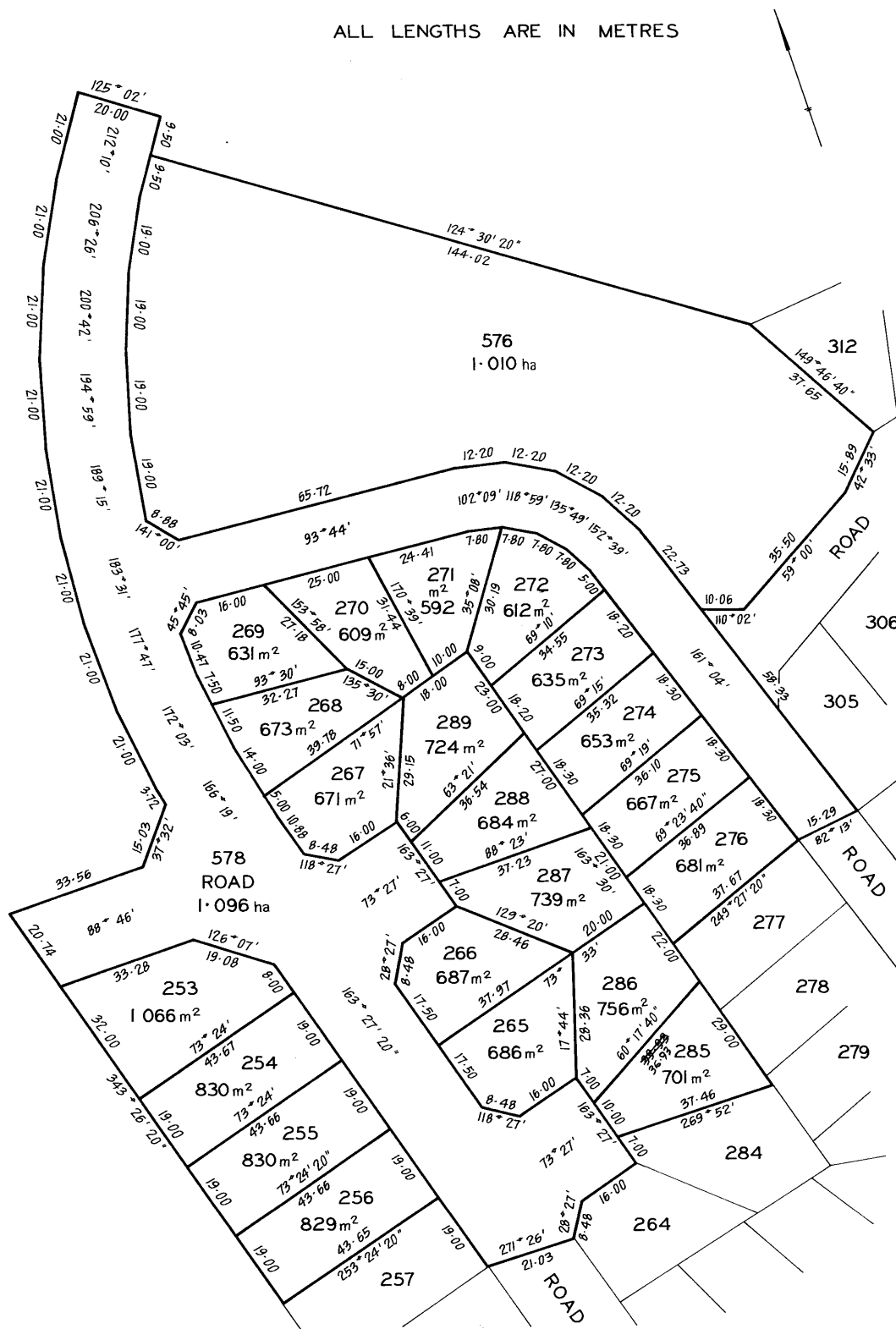


ANNEXURE SHEET No. 1 (of 3 annexures) to plan by Surveyor A.G. Peacock	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 18-3-75 and that certificate extends to the detail shown on this sheet.	Registered Number: S. P11403
Signed for the purposes of identification	Surveyor <i>A.G. Peacock</i>	P/I
Council Clerk	Owner: The Director of Housing Title Reference: C.T.	Scale 1:750



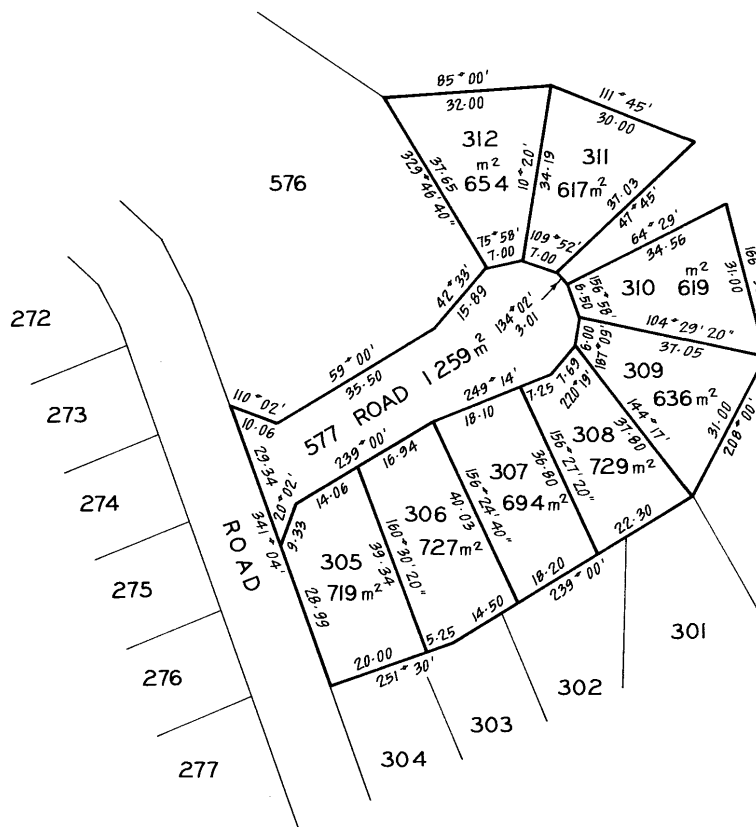
ANNEXURE SHEET No. 2 (of 3 annexures) to plan by Surveyor A.C. Peacock	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 18.3.75 and that certificate extends to the detail shown on this sheet.	Registered Number: S.P11403
Signed for the purposes of identification Council Clerk	Surveyor: <i>A.C. Peacock</i> Owner: The Director of Housing Title Reference: C.T.	Scale 1:750

ALL LENGTHS ARE IN METRES



ANNEXURE SHEET No. 3 (of 3 annexures) to plan by Surveyor A.G. Peacock	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 18.3.75 and that certificate extends to the detail shown on this sheet.	Registered Number: S.P11403
Signed for the purposes of identification	Surveyor: <i>A.G. Peacock</i>	Scale 1 : 150
Council Clerk	Owner: The Director of Housing Title Reference: C.T.	

ALL LENGTHS ARE IN METRES





SCHEDULE OF EASEMENTS

PLAN NO.

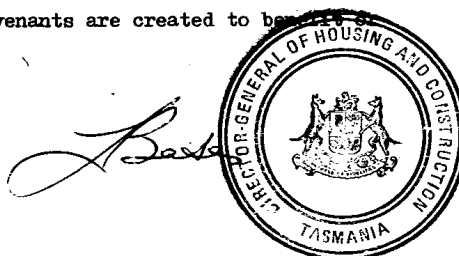
S.P

11403

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

No easements profits a prendre or covenants are created to burden or burden any lots shown on the plan.



The Director-General of Housing
and Construction
Registered Proprietor of the land
shown on the plan in the
presence of

Certified correct for the
purposes of the Real Property
Act 1862, as amended

Director-General of Housing
and Construction.



11403

This is the schedule of easements attached to the plan of.....Clarendon.....

.....Vale - Rokeby.....comprising part of the land in

.....
(Insert Title Reference)

Sealed by on19.....

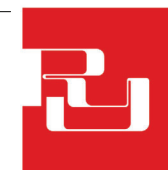
.....
Council Clerk/Town Clerk

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

DATE: _____

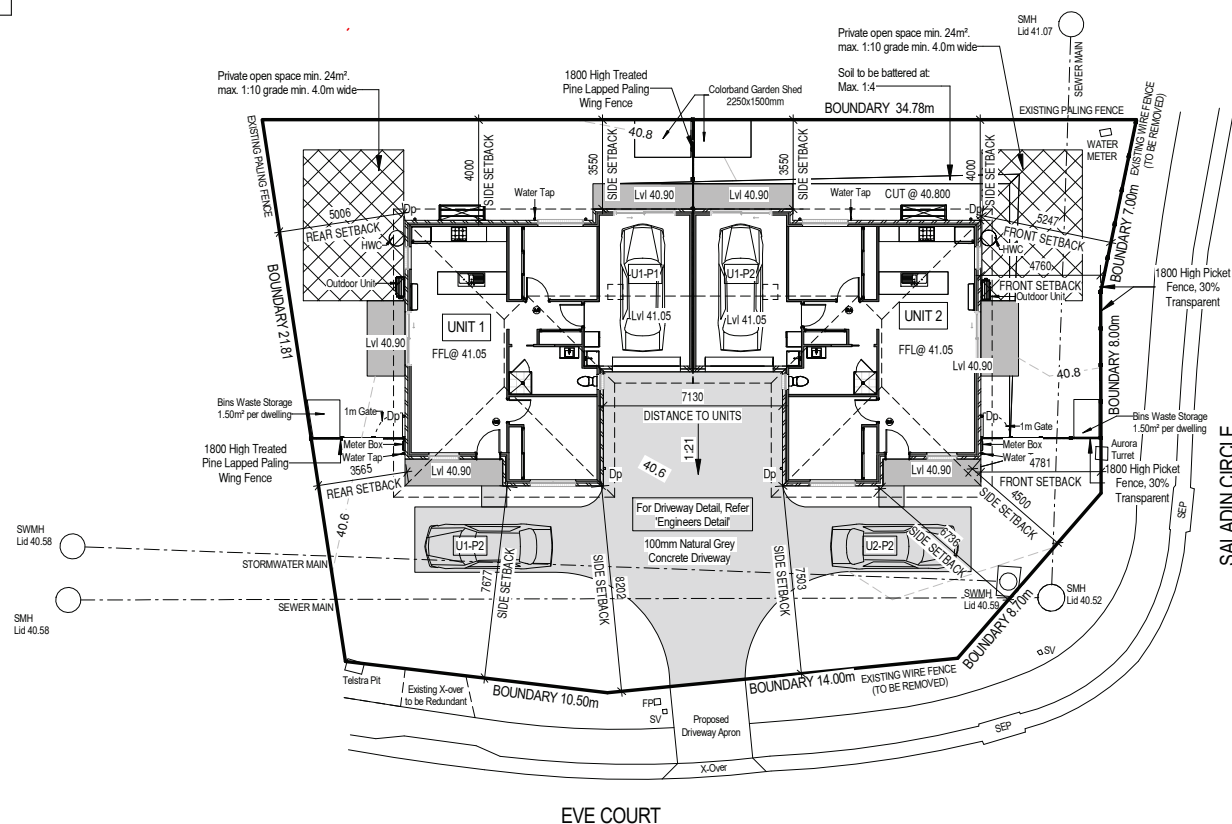
U1-CL	43.450
U1-Ground FL	41.050

U2-CL	43.450
U2-Ground FL	41.050



RONALD
YOUNG + CO
BUILDERS

174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



Site Area : 683 m²

UNIT 1:

Ground Floor (Dwelling) : 102.5 m²

Porch : 4.2 m²

Outdoor Living : 8.5 m²

UNIT 2:

Ground Floor (Dwelling) : 102.5 m²

D. J. Nisbet 1993

Outdoor Living : 8.5 m²

Total PORCH/O.I. U1+U2 : 25.4 m²

GLAZING NOTE:

All windows are Double glazed

NOTE:

Builders' responsibility to protect stormwater pipes during construction.

BAL : LOW

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DRAWING: SITE PLAN

DATE: 22.05.2026

FILE NAME: 239

DRAWN BY: RK

DWG No:

Scale: 1 : 200

PROPOSED DWELLING FOR HOMES TASMANIA
AT 15 SALADIN CIRCLE, CLARENDON VALE

A	22.05.2026	Modified as feedback	RK
	15.05.2026	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

DWG No:

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

U1-CL	43.450
U1-Ground FL	41.050



**RONALD
YOUNG + CO
BUILDERS**

174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633

NOTES:

AJ Articulation Joint
Dp Down Pipe

For Kitchen Details,
Refer to Kitchen Joinery Design

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Site Area : 683 m²

UNIT 1:
Ground Floor (Dwelling) : 102.5 m²

Porch : 4.2 m²
Outdoor Living : 8.5 m²

UNIT 2:
Ground Floor (Dwelling) : 102.5 m²

Porch : 4.2 m²
Outdoor Living : 8.5 m²

Total Floor Area U1+U2 : 205 m²
Total PORCH/O.L. U1+U2 : 25.4 m²

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: U1-FLOOR PLAN

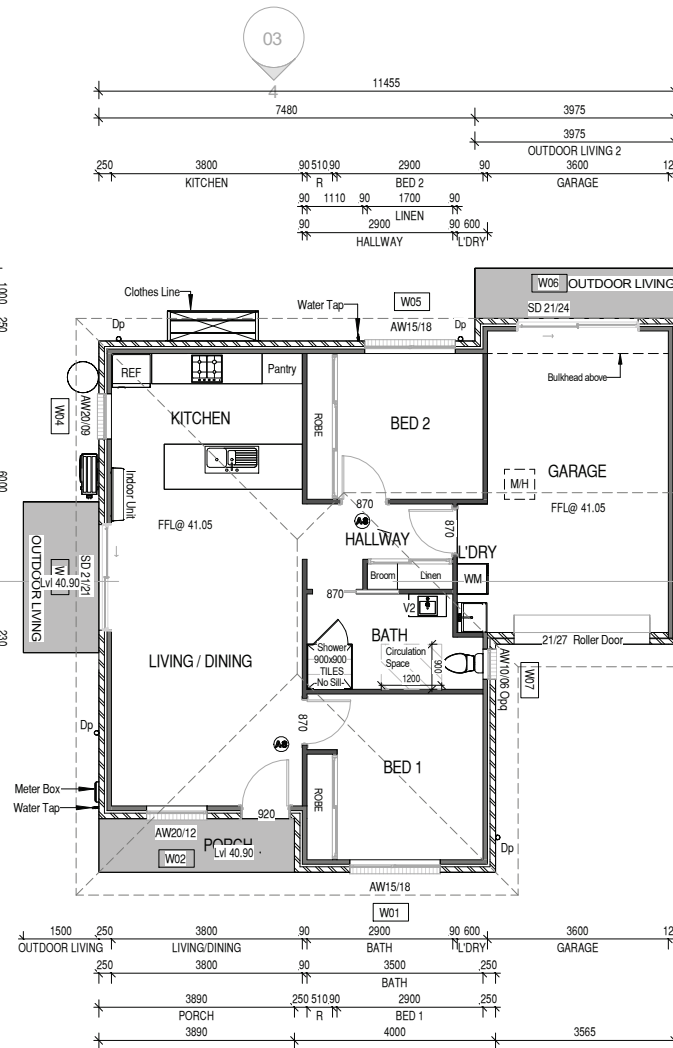
DATE: 22.05.2026

FILE NAME: 2395

DRAWN BY: RK

DWG No:

02



PROPOSED DWELLING FOR HOMES TASMANIA
AT 15 SALADIN CIRCLE, CLARENDON VALE

A	22.05.2026	Modified as feedback	RK
Rev.	Date	Revision Description	Drawn

Scale: 1 : 100

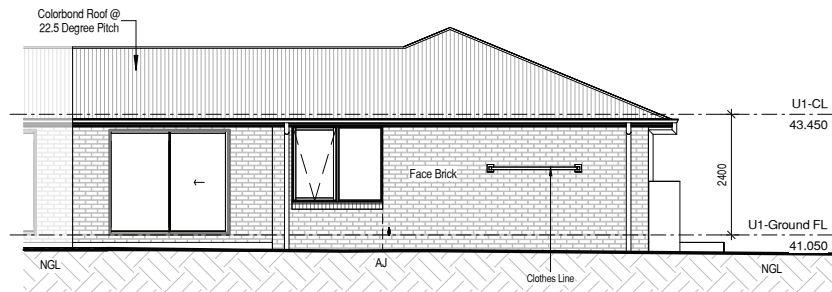
THIS PLAN IS ACCEPTED BY:

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SIGNATURE:

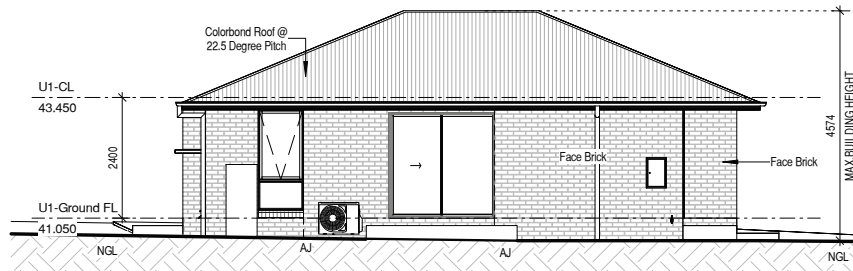
DATE:



U1-North Elevation



U1-South Elevation



U1-East Elevation

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: U1-ELEVATIONS

DATE: 22.05.2026

FILE NAME: 2395

DRAWN BY: RK

DWG No:

Scale: 1 : 100

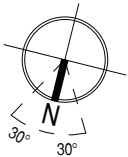
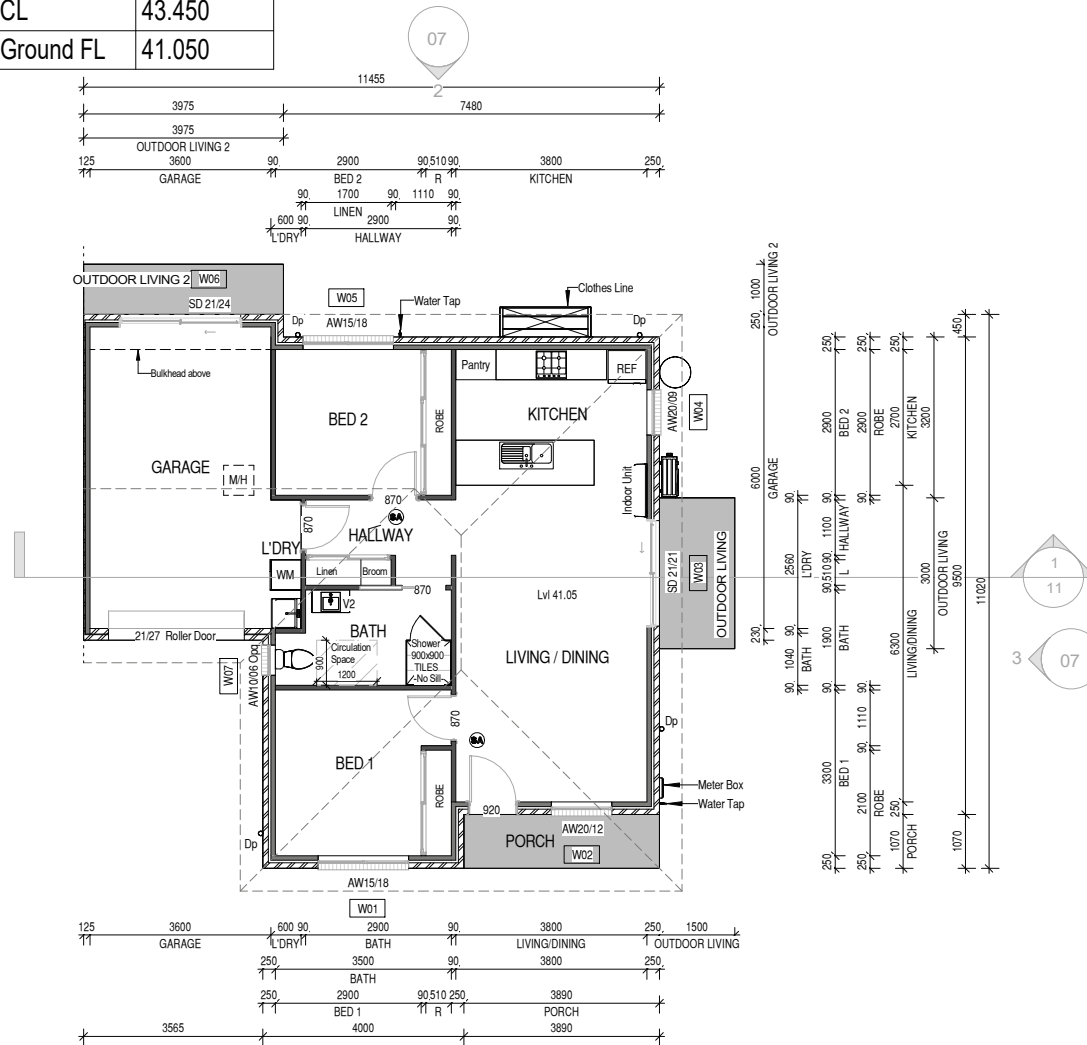
PROPOSED DWELLING FOR HOMES TASMANIA
AT 15 SALADIN CIRCLE, CLARENDON VALE

A	22.05.2026	Modified as feedback	RK
Rev.	Date	Revision Description	Drawn

03

DATE:

U2-CL	43.450
U2-Ground FL	41.050



Scale: 1 : 100

PROPOSED DWELLING FOR HOMES TASMANIA
AT 15 SALADIN CIRCLE, CLARENDON VALE



**RONALD
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BUILDERS**

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NOTES:

AJ Articulation Joint

Dp Down Pipe

For Kitchen Details,
Refer to Kitchen Joinery Design

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Site Area : 683 m²

UNIT 1:

Ground Floor (Dwelling) : 102.5 m²

10.3

Porch	:	4.2 m ²
Outdoor Living	:	8.5 m ²

UNIT 2:

Ground Floor (Dwelling) : 102.5 m²

100

Porch	:	4.2 m ²
Outdoor Living	:	8.5 m ²

Outdoor Living 1 616 m

Total Floor Area U1+U2 : 205 m²
Total PORCH/O.L. U1+U2 : 25.4 m²

GLAZING NOTE:

All windows are Double glazed

BAL : LOW

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DRAWING: U2-FLOOR PLAN

DATE: 22.05.2026

FILE NAME: 2395

FILE NAME: 2395

DRAWN BY: RK

A	22.05.2026	Modified as feedback	RK
	15.05.2026	BA PLANS	RK
Rev.	Date	Revision Description	Drawn

DWG No:

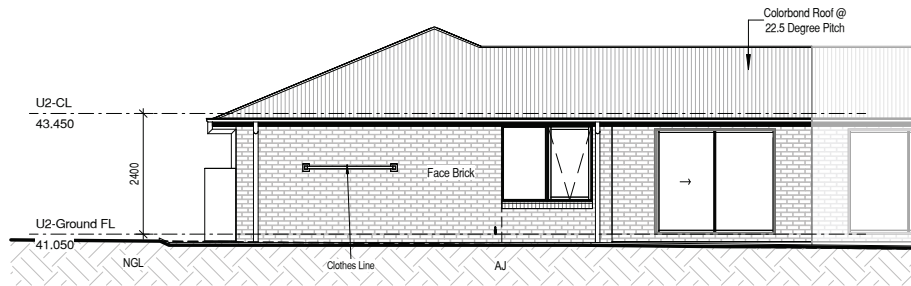
THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

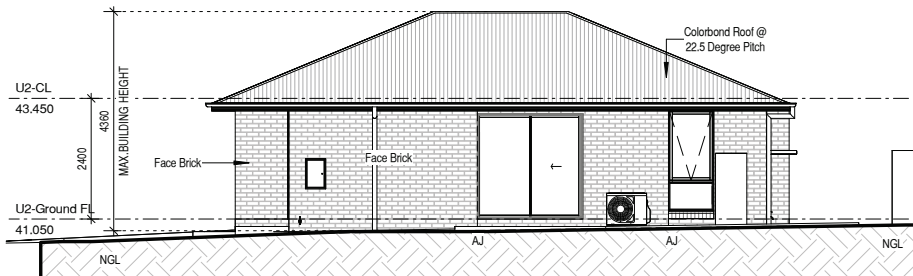
DATE:



U2-North Elevation



U2-South Elevation



U2-West Elevation

Scale: 1 : 100

PROPOSED DWELLING FOR HOMES TASMANIA
AT 15 SALADIN CIRCLE, CLARENDON VALE



**RONALD
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174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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Compliance No. CC102Y - James Collins

DRAWING: U2-ELEVATIONS

DATE: 22.05.2026

FILE NAME: 2395

DRAWN BY: RK

DWG No:

A	22.05.2026	Modified as feedback	RK
Rev.	Date	Revision Description	Drawn
		BA PLANS	RK

THIS PLAN IS ACCEPTED BY:

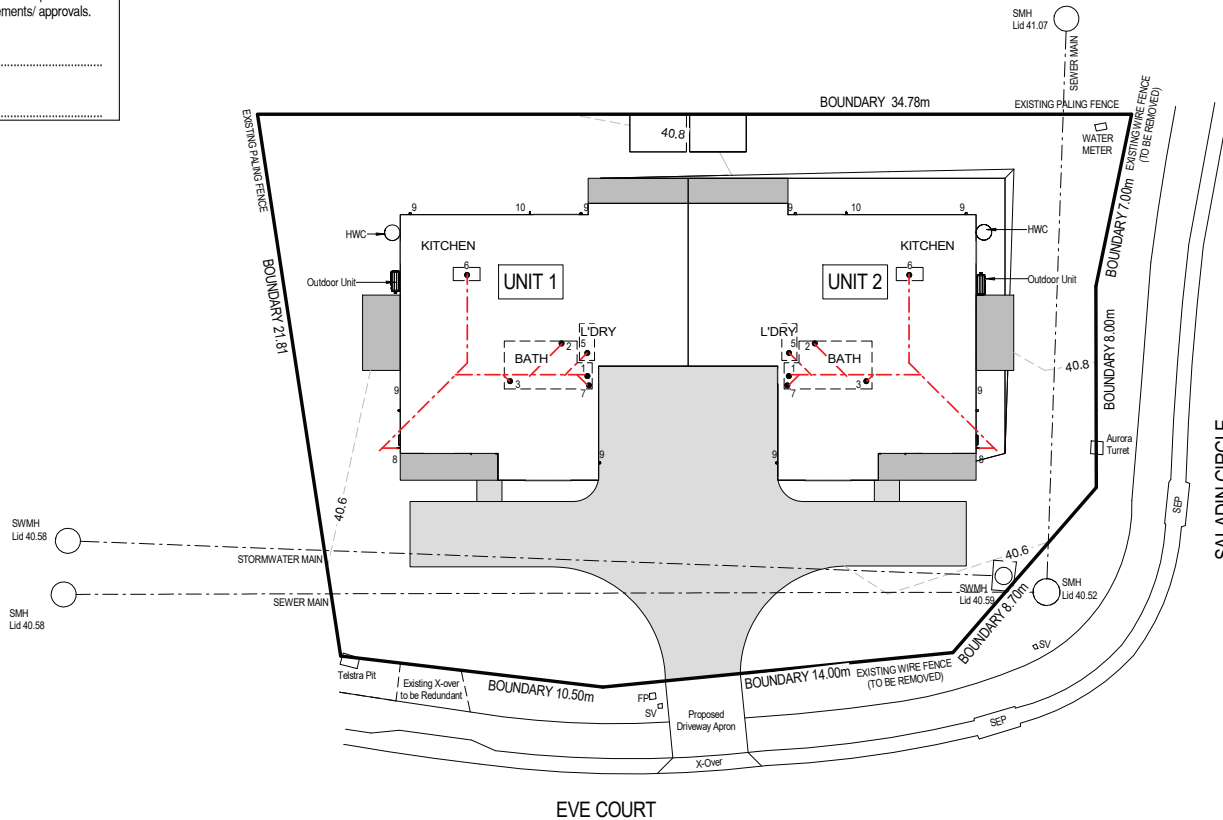
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

DATE:

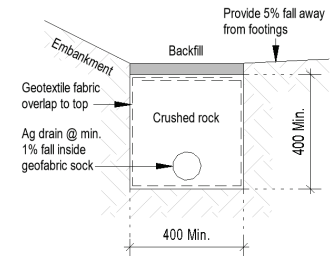


**RONALD
YOUNG + CO
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174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



LEGEND		
Abbr.	TYPE	Min. Ø
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Through	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORIG min.150mm below FFL	
9	Downpipe	90
10	Tap	
I.O.	Inspection Opening to Ground Lvl	
f/w	Floor Waste	
--- Sewer line 100Ø UPVC U.N.O.		
--- Stormwater line 100Ø UPVC U.N.O.		



AG Drain (Typical)

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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Compliance No. CC102Y - James Collins

DRAWING: DRAINAGE PLAN

DATE: 22.05.2026

FILE NAME: 2395

DRAWN BY: RK

DWG No:

Scale: 1 : 200

PROPOSED DWELLING FOR HOMES TASMANIA
AT 15 SALADIN CIRCLE, CLARENDON VALE

A	22.05.2026	Modified as feedback	RK
Rev.	Date	Revision Description	Drawn

CIVIL DRAWINGS
HOMES TASMANIA
15 SALADIN CIRCLE
CLARENDON VALE

C001	COVER	0	25/06/2026
C002	ENGINEERING NOTES	0	25/06/2026
C101	EXISTING SITE AND DEMOLITION PLAN	0	25/06/2026
C401	DRIVEWAY AND STORMWATER PLAN	0	25/06/2026
C470	JOINTING PLAN	0	25/06/2026
C491	TURNPATH PLAN - SHEET 1	0	25/06/2026
C492	TURNPATH PLAN - SHEET 2	0	25/06/2026
C601	SEWER AND WATER PLAN	0	25/06/2026
C801	CONSTRUCTION DETAILS	0	25/06/2026

HOBART
DEVONPORT
LAUNCESTON



Launceston Office
22 - 24 Paterson Street
Launceston TAS 7250
03 6388 9200
www.vertotas.com.au

APPROVAL	REV	DESCRIPTION	DATE
DRAWN: JS			
CHECKED: DE			
DESIGN: JS			
CHECKED: DE			
VERIFIED: MG	0	BUILDING APPROVAL	25/06/26

PROJECT:
HOMES TASMANIA
15 SALADIN CIRCLE
CLARENDON VALE

SHEET:
COVER

SCALE: -
PROJECT No. 26E47-18
SHEET No. C001
REV. 0



GENERAL

1. NOTE TO TENDERER
- A. THE CONTRACTOR / TENDERER IS TO MAKE THEMSELVES AWARE OF THE LOCAL COUNCIL (IPWEA) AND THE DEPARTMENT OF STATE GROWTH (D.S.G.) STANDARDS FOR CIVIL WORKS. CONSTRUCTION IS TO BE CARRIED OUT TO THESE STANDARDS. TENDERER IS TO ALLOW FOR THESE STANDARDS DURING PRICING. COPIES OF THE STANDARDS ARE AVAILABLE FOR INSPECTION UPON REQUEST FROM THE LOCAL COUNCIL OR D.S.G.'S WEB SITE.
- B. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, HYDRAULIC AND STRUCTURAL DRAWINGS AND SPECIFICATIONS. STANDARDS REFERENCED ARE TO BE THE MOST CURRENT VERSION.
- C. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA/LGAT STANDARD DRAWINGS AND SPECIFICATIONS, AUSTRALIAN STANDARDS, (NSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- D. IPWEA/LGAT STANDARD DRAWINGS TO BE READ IN CONJUNCTION WITH COUNCIL EXCLUSION SHEETS TSD-E01-v3 & TSD-E02-v3.

2. NOTIFICATION

- A. THE CONTRACTOR IS TO NOTIFY ALL RELEVANT STATUTORY AUTHORITIES PRIOR TO COMMENCING ANY WORK FOR THE POSSIBLE LOCATION OF ANY EXISTING SERVICES NOT SHOWN ON THESE PLANS, AND IS TO NOTIFY THE SUPERINTENDENT OF THE SAME.
- B. ALL EXISTING SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION.
- C. ANY DAMAGE TO EXISTING SERVICES IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.

3. DRAWING AND SPECIFICATIONS

- A. THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED FOR THE PURPOSE OF OBTAINING COUNCIL APPROVAL AND CALLING OF TENDERS. THEY ARE NOT TO BE USED FOR CONSTRUCTION. A CONSTRUCTION SET OF DRAWINGS STAMPED "CONSTRUCTION SET" WILL BE ISSUED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- B. DRAWINGS CAN BE READ IN BLACK AND WHITE, HOWEVER THESE DRAWINGS ARE BEST PRINTED IN FULL COLOUR FOR OPTIMUM CLARITY OF NEW AND EXISTING PIPE WORK. A COLOUR COPY SHOULD BE RETAINED ON SITE AT ALL TIMES FOR CONTRACTORS COMPLETING WORKS.

6. COUNCIL & AUTHORITIES APPROVALS

- A. ALL WORKS ARE TO BE IN ACCORDANCE WITH THE FOLLOWING APPROVALS:
- COUNCIL APPROVED PLANNING PERMIT REFERENCE DA 2026/040.
 - B. TASWATER APPROVED PLANNING AUTHORITY NOTICE TWDA 2026/00360-DVC. A "START OF WORKS NOTICE" MUST BE OBTAINED FROM COUNCIL PRIOR TO ANY WORKS COMMENCING. CONTRACTOR TO OBTAIN APPROVALS, SERVICE CLEARANCES AND COORDINATE WORK WITH ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT.

7. SCOPE OF WORKS

THE SCOPE OF WORKS ARE SHOWN IN THESE DOCUMENTS AND THE SPECIFICATION. IT IS EXPECTED THE CONTRACTOR WILL RESOLVE ALL ISSUES UNCOVERED ON SITE THAT ARE NOT DETAILED IN CONJUNCTION WITH THE SUPERINTENDENT.

8. WORKS DETAILS

- A. ALL WORKS ARE TO BE MAINTAINED IN A SAFE CONDITION. CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- B. FLOOR LEVELS SET BY ARCHITECT. DRIVEWAY GRADING BASED ON THESE.

4. COMMON TRENCHING

- A. WHERE ANY COMMON TRENCHING IS REQUIRED, THE FOLLOWING CLEARANCE DISTANCES (BARREL TO BARREL) MUST BE MAINTAINED FROM EXISTING OR PROPOSED SERVICES:
- HORIZONTALLY:
- 300mm ALONG A LENGTH GREATER THAN 2 METRES.
 - 500mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.
 - 150mm MINIMUM ALONG A LENGTH LESS THAN 2 METRES.
- VERTICALLY:
- 150mm MINIMUM
 - 300mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.
- B. ELECTRICAL CABLES SHOULD BE LOCATED ON THE OPPOSITE SIDE OF THE STREET. WHERE THIS IS NOT POSSIBLE A 400mm MINIMUM DISTANCE MUST BE OBSERVED OF WHICH 300mm SHOULD BE IN NATURAL AND UNDISTURBED MATERIAL.

5. TASNETWORKS TRENCHING

THE CONTRACTOR IS TO ALLOW FOR EXCAVATION AND BACKFILLING OF ALL TRENCHES FOR THE INSTALLATION OF TASNETWORKS CABLES. CONTRACTOR IS TO LIAISE WITH THE TASNETWORKS FOR THE EXTENT OF CABLE TRENCHING, CONDUITS & PITS.

6. COMMUNICATION TRENCHING

THE CONTRACTOR IS TO ALLOW FOR EXCAVATION AND BACKFILLING OF ALL TRENCHES FOR THE INSTALLATION OF COMMUNICATIONS CABLES. CONTRACTOR IS TO LIAISE WITH COMMUNICATION AUTHORITY FOR THE EXTENT OF CABLE TRENCHING.

5. EXISTING SERVICES

LOCATE EXISTING SERVICES PRIOR TO COMMENCING DEMOLITION AND SITE WORKS. THE CONTRACTOR IS TO ARRANGE AND PAY FOR THE ON SITE MARKING AND CONFIRMATION OF DEPTH OF SERVICE LOCATIONS FOR ALL UNDERGROUND SERVICES INCLUDING (BUT NOT LIMITED TO) COMMUNICATIONS, GAS, TASNETWORKS, TASWATER (WATER & SEWER) AND COUNCIL SERVICES (ie: STORMWATER) IN THE AREA OF NEW WORKS. LOCATION TO BE CONFIRMED USING CABLE LOCATORS AND HAND DIGGING METHODS. PRIOR TO ANY WORKS ON SITE, ANY CLASHES WITH DESIGNED SERVICES ON FOLLOWING DRAWINGS ARE TO BE REPORTED TO DESIGN ENGINEER FOR DIRECTIO

GENERAL CONT.

9. WORKPLACE HEALTH & SAFETY

- BEFORE THE CONTRACTOR COMMENCES WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START HAZARD ANALYSIS / JOB SAFETY ANALYSIS (JSA) WHICH SHALL IDENTIFY IN DOCUMENTED FORM:
- THE TYPE OF WORK.
 - HAZARDS AND RISKS TO HEALTH AND SAFETY.
 - THE CONTROLS TO BE APPLIED IN ORDER ELIMINATE OR MINIMIZE THE RISK POSED BY THE IDENTIFIED HAZARDS.
 - THE MANNER IN WHICH THE RISK CONTROL MEASURES ARE TO BE IMPLEMENTED.
- THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS. FOR THIS PROJECT; POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):
- EXCAVATION OF ANY TYPE & DEPTHS
 - CONTAMINATED SOILS
 - CONSTRUCTION IN GROUND WITH HIGH WATER TABLE
 - FELLING / LOPPING &/OR REMOVAL OF EXISTING TREES/VEGETATION
 - UNDERGROUND STRUCTURES (MANHOLES / SUMPS / ETC)
 - CONFINED SPACES
 - OVERHEAD POWER LINES
 - UNDERGROUND STORMWATER, WATER AND SEWER PIPES
 - TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD
 - ELECTRICAL/POWER CABLES - BOTH UNDERGROUND & OVERHEAD
 - WORKING AT HEIGHTS
 - WORKING WITH ASBESTOS CONTAINING MATERIALS
 - TRAFFIC MANAGEMENT

SURVEY

1. DETAILS

- FOLLOWING ARE SURVEY DETAILS USED AS BASIS FOR DESIGN:
- SURVEYOR: SURVEY PLUS
 - SURVEY REF. NO. SP262247-01
 - SURVEY DATE: 02/03/2026
 - SITE LOCATION: 11 ROADKNIGHT CRT, NEW NORFOLK
 - COORDINATE SYSTEM: GD94 MGA55
 - LEVEL DATUM: AHD

2. SETOUT

CONTRACTOR TO ARRANGE AND PAY FOR REGISTERED SURVEYOR TO SETOUT THE PROJECT. VERTO WILL PROVIDE CAD FILES TO ASSIST.

SOIL & WATER MANAGEMENT

1. GENERAL

ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH 'SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITES' GUIDELINES AVAILABLE FROM NORTHERN RESOURCE MANAGEMENT (NRM).

2. SOIL EROSION CONTROL

- SOIL EROSION CONTROL IN ACCORDANCE WITH NRM GUIDELINES. CONTRACTOR TO ALLOW TO:
- LIMIT DISTURBANCE WHEN EXACTING BY PRESERVING VEGETATED AREAS AS MUCH AS POSSIBLE
 - DIVERT UP-SLOPE WATER WHERE PRACTICAL
 - INSTALL SEDIMENT FENCES DOWN SLOPE OF ALL DISTURBED LANDS TO FILTER LARGE PARTICLES PRIOR TO STORM WATER SYSTEM
 - WASH EQUIPMENT IN DESIGNATED AREA THAT DOES NOT DRAIN TO STORM WATER SYSTEM
 - PLACE STOCK PILES AWAY FROM ON-SITE DRAINAGE & UP-SLOPE FROM SEDIMENT FENCES
 - LEAVE & MAINTAIN VEGETATED FOOT PATH
 - STORE ALL HARD WASTE & LITTER IN A DESIGNATED AREA THAT WILL PREVENT IT FROM BEING BLOWN AWAY & WASHED INTO THE STORM WATER SYSTEM
 - RESTRICT VEHICLE MOVEMENT TO A STABILISED ACCESS

3. NRM GUIDELINES

- CONTRACTOR TO COMPLETE ALL WORKS IN ACCORDANCE WITH NRM SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITE USING THE FACT SHEETS:
- FACT SHEET 1: SOIL & WATER MANAGEMENT ON LARGE BUILDING & CONSTRUCTION SITES
 - FACT SHEET 2: SOIL & WATER MANAGEMENT ON STANDARD BUILDING & CONSTRUCTION SITES
 - FACT SHEET 3: SOIL & WATER MANAGEMENT PLANS
 - FACT SHEET 4: DISPERSIVE SOILS - HIGH RISK OF TUNNEL EROSION
 - FACT SHEET 5: MINIMISE SOIL DISTURBANCE
 - FACT SHEET 6: PRESERVE VEGETATION
 - FACT SHEET 7: DIVERT UP-SLOPE WATER
 - FACT SHEET 8: EROSION CONTROL MATS & BLANKETS
 - FACT SHEET 9: PROTECT SERVICE TRENCHES & STOCKPILES
 - FACT SHEET 10: EARLY ROOF DRAINAGE CONNECTION
 - FACT SHEET 11: SCOUR PROTECTION - STORM WATER PIPE OUTFALLS & CHECK DAMS
 - FACT SHEET 12: STABILISED SITE ACCESS
 - FACT SHEET 13: WHEEL WASH
 - FACT SHEET 14: SEDIMENT FENCES & FIBRE ROLLS
 - FACT SHEET 15: PROTECTION OF STORM WATER PITS
 - FACT SHEET 16: MANAGE CONCRETE, BRICK & TILE CUTTING
 - FACT SHEET 17: SEDIMENT BASINS
 - FACT SHEET 18: DUST CONTROL
 - FACT SHEET 19: SITE RE-VEGETATION

EARTHWORKS

1. GENERAL

- A. GENERAL EARTHWORKS, MATERIAL AND WORKMANSHIP SHALL COMPLY WITH THIS SPECIFICATION AND THE CURRENT EDITION OF THE S.A.A. CODE FOR EARTHWORKS AS 3798 TOGETHER WITH ANY CODES, STANDARDS OR REGULATIONS REFERRED TO THEREIN.
- B. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED AND GRUBBED IN THE AREA OF PROPOSED WORKS.
- C. NO TOP SOIL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL. TOP SOIL DISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PILED ON SITE AND LATER USED FOR REDRESSING ANY DISTURBED SURFACES.
- D. ALL DISTURBED SURFACES ON SITE, EXCEPT THOSE SET ASIDE FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL'S DEVELOPMENT ENGINEER.

2. INSPECTION

THE CONTRACTOR IS TO ENGAGE AN APPROVED GEOTECHNICAL ENGINEER TO CARRY OUT LEVEL 2 TESTING OF ALL EARTH WORKS TO AS 3798, INCLUDING:

A. SUBGRADE

B. FILLS

C. PAVEMENTS

D. BACKFILLING OF SERVICE TRENCHES

CERTIFICATION OF THESE ELEMENTS IS TO BE PROVIDED PRIOR TO PRACTICAL COMPLETION.

3. AREAS OF FILL

- A. REMOVE TOP SOIL AND ORGANIC MATERIAL
- B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:
- 98% STANDARD DRY DENSITY UNDER BUILDING
 - 98% STANDARD DRY DENSITY UNDER ROADS AND CARPARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE.
- A. EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- D. PLACE FILL AS SPECIFIED AND COMPACT WITHIN 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE

4. AREAS OF CUT

- A. REMOVE TOP SOIL AND ORGANIC MATERIAL
- B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:
- 98% STANDARD DRY DENSITY UNDER BUILDINGS
 - 98% STANDARD DRY DENSITY UNDER ROADS AND CAR PARKS
 - REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE

BATTERS SHALL BE SET TO A SAFE ANGLE OF REPOSE IN ACCORDANCE WITH THE BCA VOL 2 AS INDICATED BELOW:

SOIL TYPE (* REFER BCA 3.2.4)		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK (A*)		2:3	8:1
SAND (A*)		1:2	1:2
SILT (P*)		1:4	1:4
CLAY	FIRM CLAY	1:2	1:1
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS (P)		NOT SUITABLE	NOT SUITABLE

NOTE: WHERE SITE CONDITIONS ARE UNSUITABLE FOR A BATTERED BANK CONSULT THE ENGINEER FOR A SUITABLE RETAINING WALL DESIGN. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

ROADWORKS

1. GENERAL

- A. ALL WORKS ARE TO BE CARRIED OUT TO THE LOCAL COUNCIL AND D.S.G. STANDARDS. ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL COUNCIL WORKS SUPERVISOR.
- B. MINIMUM SUB BASE THICKNESS TO BE 200mm.
- C. PRIOR TO PLACEMENT OF SUB BASE COURSE, PAVEMENT CUT IS TO BE ROLLED AND TESTED FOR CBR VALUES BY METHOD APPROVED BY THE SUPERINTENDENT. WHERE THE CBR VALUES ARE LESS THAN DESIGN FIGURE WITHIN THE FIRST 200mm THEN ADDITIONAL TESTS WILL BE REQUIRED TO ALLOW SUFFICIENT DESIGN ALTERATIONS TO THE SUB BASE.
- D. PROVIDE "MEGAFLO 150" HIGH SUBSOIL DRAIN (OR Ø100 CLASS 1000 AG PIPE) TO ROAD PAVEMENTS AS SHOWN IN DRAWINGS.
- E. REINFORCED CONCRETE FOOTPATHS TO BE AS PER TSD-R11-v3 AND BE A MINIMUM OF 1500mm WIDE.
- F. PAVEMENT DESIGN BASED ON A CBR VALUE OF 3 % AND A DESIGN ESA OF 8.0 x 10⁴.
- G. ROAD MARKINGS AND SIGNS (WHERE REQUIRED) AS PER AS 1742
- H. IF THE CBR VALUE IS LESS THAN 3 AT ANY DEPTH GREATER THAN 200mm THEN THE SUB BASE IS TO BE INCREASED GENERALLY ACCORDING TO THE FOLLOWING TABLE & CONSULT ENGINEER:

CBR VALUES	DESIGN
4 - 12	AS PER PAVEMENT DETAIL
-3	ADVISE & CONSULT ENGINEER. TYPICALLY INCREASE SUB-BASE TO 400mm THICK (SUBGRADE REPLACEMENT OR PAVEMENT REINFORCEMENT)
<3	ADVISE & CONSULT ENGINEER. SPECIAL PAVEMENT DESIGN TO BE SPECIFIED

DESIGN BASED ON CBR VALUES AT NO DEEPER THAN 800mm IN DEPTH

2. TESTING

THE CONTRACTOR IS TO BE RESPONSIBLE FOR ORGANISING AND PAYING ALL COSTS ASSOCIATED WITH TESTING IN ACCORDANCE WITH D.S.G. SPEC SECTION 173-EXAMINATION AND TESTING OF MATERIALS AND WORK (ROADWORKS).

3. HOTMIX

ALL HOTMIX IS TO BE BLACK IN COLOUR AND IS TO MEET AND BE PLACED IN ACCORDANCE WITH D.S.G. SPEC SECTION 407-HOT MIX ASPHALT.

4. KERBS

ALL KERBS ARE TO BE AS SHOWN ON THE DRAWINGS AND BE IN ACCORDANCE WITH IPWEA LGAT STANDARD DRAWINGS.

5. ROAD RESERVE WORKS

ALL WORKS IN (OR REQUIRING OCCUPATION) IN THE ROAD RESERVE MUST BE UNDERTAKEN BY CONTRACTOR REGISTERED WITH COUNCIL'S (REGISTERED CONTRACTOR).

6. FOOTPATHS

CONSTRUCT FOOTPATHS INCLUDING EXPANSION / CONTROL / WEAKENED PLANE JOINTS IN ACCORDANCE WITH IPWEA STD DWG TSD-R11-v3

7. LANDSCAPE / STREET FURNITURE

- A. BOLLARDS, REFER DETAILS / SUPERINTENDENTS SPEC.
- B. LANDSCAPING & STREET FURNITURE BY CONTRACTOR - U.N.O

8. SIGNAGE

ALL SIGN WORKS AND INSTALLATION TO BE IN ACCORDANCE WITH CURRENT VERSION OF MUTCD & AUSTRROADS FOR SIGNAGE DETAILS

9. DRIVEWAYS

- A. NEW OR MODIFIED DRIVEWAY CROSSINGS SHALL BE IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-v3 & TSD-R14-v3 AND MUST BE INSPECTED AND APPROVED BY COUNCIL.
- B. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED TO BE OTHERWISE.
- C. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
 - THE SUB GRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 100 kPa.
 - FILL IN EMBANKMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND.
 - THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.
 - EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% STD. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.

WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO CONFIRM AN APPROVED BASE.

D. CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 3 DAYS USING A CURRENT BEST PRACTICE METHOD.

E. SAWN CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELLING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.

STORMWATER

1. GENERAL

- A. ALL PUBLIC STORMWATER WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA (TAS) LGAT STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL. ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL COUNCIL WORKS SUPERVISOR.
- B. ALL PRIVATE STORM WATER PLUMBING & DRAINAGE TO COMPLY WITH A S 3500.3:2025 STORM WATER DRAINAGE.
- C. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.
- D. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- E. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 AND THE NCC VOLUME 3 (PCA)
- F. INSTALL ALL SUB-SOIL DRAINS TO THE REQUIREMENTS OF AS3500, PART 3.1.3 OF THE NCC 2022 - VOLUME 2 AND PART FP2 OF THE NCC 2022 - VOLUME 3.
- G. PAVEMENT AND HARDSTAND AREAS SHALL FALL AT A MINIMUM OF 1% (1:100) TOWARD AN APPROVED DISCHARGE POINT.
- H. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH COMPACTED FCR.
- I. PRIVATE DRAINAGE PIPES TO BE MIN. uPVC CLASS SN4, PIPES UNDER TRAFFICABLE AREAS TO BE SN8 U.N.O.
- J. MINIMUM GRADES FOR PRIVATE DRAINAGE PIPES SHALL BE 1% FOR STORMWATER U.N.O.
- K. MINIMUM COVER FOR PRIVATE DRAINAGE PIPES SHALL BE AS PROSCRIBED IN AS3500.3 FOR STORMWATER U.N.O.
- L. STORMWATER MAINS TO BE MINIMUM DWN CLASS SN8 DN300 R/RJ OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
- M. ALL PIPEWORK TO BE INSPECTED BY THE RELEVANT AUTHORITY PRIOR TO BACKFILL.
- N. PIT DIMENSIONS SHOWN HAVE BEEN DESIGNED BY PIT CAPACITY TABLES. THESE PITS MAY NEED TO BE INCREASED IN MINIMUM INTERNAL SIZE DUE TO THE DEPTH AS PER AS3500.3 IN ACCORD WITH THE TABLE BELOW. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE TO AS3500:

DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIMENSIONS mm		
	WIDTH	LENGTH	DIAMETER
≤450	350	350	-
≤600	450	450	600
>600 ≤900	600	600	900
>900 ≤1200	600	900	1000
>1200	900	900	1000

2. MANHOLES

- A. MANHOLES ARE TO BE 1050 I.D. U.N.O PRECAST CONCRETE INSTALLED TO LOCAL COUNCIL STANDARDS. ALL MANHOLES IN TRAFFICKED AREAS ARE TO BE FITTED WITH HEAVY DUTY GATIC COVERS AND SURROUNDS.
- A. ALL MANHOLES ARE TO HAVE A 5 METRE LENGTH OF 75mm AG-PIPE CONNECTED TO THEM AND LAID IN THE UPSTREAM PIPE TRENCH IMMEDIATELY ADJACENT TO AND AT THE INVERT OF THE LOWEST PIPE WORK.

3. SIDE ENTRY PITS (SEP)

- A. PIT INVERT DEPTHS VARY, REFER SITE PLAN.
- B. BENCH OUT IN A NEAT AND TIDY MANNER TO ENGINEERS APPROVAL.
- C. GRATED PIT - GULLY HINGED OR OTHER TYPE APPROVED
- D. CONCRETE KERB LINTEL - STEEL KERB LINTEL AND 1200 LONG GALV BAR

4. REDUNDANT PIPE WORK

FILL REDUNDANT SECTION OF PIPEWORK WITH 'LIQUIFILL' (GRADE PC.1 - 0.5-2.0 Mpa)

5. TRENCHING AND BACKFILL

ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE DRAWINGS AND THE LOCAL COUNCIL STANDARDS.

6. TESTING

- A. ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER THE VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTOR'S EXPENSE.
- B. CONTRACTOR SHALL CAMERA TEST ALL STORMWATER MAINS AND SUBMIT FOOTAGE TO LOCAL COUNCIL FOR APPROVAL.

7. AS CONSTRUCTED DRAWINGS

THE CONTRACTOR WILL BE RESPONSIBLE FOR PRODUCING "AS CONSTRUCTED" DRAWINGS TO THE STANDARD REQUIRED BY THE LOCAL COUNCIL. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR.

VERTO CAN PROVIDE THIS SERVICE, HOWEVER THE CONTRACTOR WILL BE CHARGED FOR THIS SERVICE AND SHOULD BE AWARE OF THIS WHEN PRICING.

SEWER

1. GENERAL

- A. ALL PRIVATE SEWER PLUMBING & DRAINAGE TO COMPLY WITH A S 3500.2:2021 AND THE PLUMBING CODE OF AUSTRALIA (2022).
- B. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES.
- C. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- D. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 AND THE NCC VOLUME 3 (PCA)
- E. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH COMPACTED FCR.
- F. PRIVATE DRAINAGE PIPES TO BE MIN. uPVC CLASS SN4, PIPES UNDER TRAFFICABLE AREAS TO BE SN8 U.N.O.
- G. MINIMUM GRADES FOR PRIVATE DRAINAGE PIPES SHALL BE 1.67% FOR SEWER U.N.O.
- H. MINIMUM COVER FOR PRIVATE DRAINAGE PIPES SHALL BE AS PROSCRIBED IN AS3500.2 FOR SEWER U.N.O.
- I. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO DEVELOPER UNLESS APPROVED OTHERWISE.
- J. ALL PUBLIC SEWER WORKS TO BE IN ACCORDANCE WITH THE WSA SEWER CODE (WSA 02-2014-3.1 MRWA) AND AS AMENDED BY THE TASWATER SUPPLEMENT.
- K. TASWATER APPROVED PRODUCTS ARE CONTAINED ON THE CITY WEST WATER WEBSITE [HTTP://WWW.MRWA.COM.AU/PAGES/PRODUCTS.ASPX](http://www.mrwa.com.au/pages/products.aspx) ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND TASWATER FIELD SERVICES OFFICER.
- L. TASWATER SEWER MAINS TO BE MINIMUM DWN CLASS SN8 DN150 R/RJ WITH MINIMUM CLASS SN10 DN100 PROPERTY CONNECTIONS.
- M. ALL PIPEWORK TO BE INSPECTED BY THE RELEVANT AUTHORITY PRIOR TO BACKFILL.

2. SEWER MAIN CONNECTIONS

- A. ALL NEW 'LIVE' CONNECTIONS TO EXISTING TASWATER SEWER INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO SEWER MAINS / MANHOLES TO BE COMPLETED BY TASWATER (UNLESS PRIOR WRITTEN APPROVAL) AT OWNERS COST.
- B. INSTALL PROPERTY SEWER CONNECTIONS (STANDARD OR SLOPED) WITH SURFACE I.O. NOMINALLY 1.0m WITHIN EACH NEW LOT IN ACCORDANCE WITH SECTION 5 OF WSA 02-2014-3.1.

3. MANHOLES

- B. MANHOLES ARE TO BE 1050 I.D. PRECAST CONCRETE INSTALLED TO WSA STANDARDS.
- C. CONSTRUCT ALL MANHOLES (MH) AND MANHOLE COVERS IN ACCORDANCE WITH THE SEWERAGE CODE OF AUSTRALIA - MELBOURNE RETAIL WATER AGENCIES INTEGRATED CODE - WSA 02-2014-3.1 MRWA VERSION 2.0 AND TASWATER'S SUPPLEMENT TO THIS CODE.
- D. ALL MANHOLES IN TRAFFICABLE AREAS ARE TO BE FITTED WITH HEAVY DUTY CLASS D GATIC COVERS AND SURROUNDS.
- E. ALL MANHOLES IN NON-TRAFFICABLE AREAS ARE TO BE FITTED WITH MEDIUM DUTY CLASS B GATIC COVERS AND SURROUNDS.
- F. BENCHING TO BE FULL DEPTH OF PIPE DIAMETER AS PER DETAILS IN WSA 02-2014-3.1 MRWA VERSION 2.0

4. REDUNDANT PIPE WORKS

FILL REDUNDANT SECTION OF PIPEWORK WITH 'LIQUIFILL' (GRADE PC.1 - 0.5-2.0 Mpa)

5. TRENCHING AND BACKFILL

A. ALL TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE DRAWINGS AND TASWATER STANDARDS INCLUDING ELECTROMAGNETIC METAL IMPREGNATED TAPE IN ALL NON METALLIC PIPE TRENCHES.

B. CEMENT STABILISED EMBEDMENT: FOR SEWER MAINS THE FOLLOWING CHANGES SHOULD BE APPLIED TO THE MRWA SEWERAGE STANDARDS DRAWINGS MRWA-S-202 AND MRWA-S-205

MRWA-S-202

THE REQUIREMENT IDENTIFIED IN THE THIRD DOT POINT FOR TYPE B IN THE NOTES REGARDING TABLE 202-A SHALL BE AMENDED TO READ "WHERE SEWER AT GRADE > 1 IN 10"

MRWA-S-205

NOTE C REMAINS VALID "WHEN SOCKETED MAINS ARE LAID AT >1 IN 20 SLOPE IN AREAS THAT ARE LIKELY TO HAVE HIGH GROUND WATER, CEMENT STABILIZED EMBEDMENT SHALL BE USED AS PER MRWA-S-202"

THE REQUIREMENT IDENTIFIED IN THE THIRD DOT POINT FOR TYPE B IN THE NOTES REGARDING TABLE 202-A SHALL BE AMENDED TO READ "WHERE WATER MAIN GRADE >10%".

FURTHER TO THIS IT SHOULD BE NOTED THAT MOST WATER MAINS ARE LIKELY TO REQUIRE A TYPE A EMBEDMENT SYSTEM. THE VARIOUS MATERIALS AVAILABLE FOR THIS SYSTEM ARE IDENTIFIED IN TABLE 203-B

6. TESTING

- A. ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER THE VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTOR'S EXPENSE.
- B. CONTRACTOR SHALL CCTV ALL PIPES AND SUBMIT FOOTAGE TO TASWATER FOR APPROVAL.

7. AS CONSTRUCTED

THE CONTRACTOR WILL BE RESPONSIBLE FOR PRODUCING "AS INSTALLED" DRAWINGS TO THE STANDARD REQUIRED BY TASWATER. THE DRAWINGS SHALL BE CERTIFIED AS BEING CORRECT BY EITHER A CHARTERED CIVIL ENGINEER OR A REGISTERED SURVEYOR.

VERTO CAN PROVIDE THIS SERVICE, HOWEVER THE CONTRACTOR WILL BE CHARGED FOR THIS SERVICE AND SHOULD BE AWARE OF THIS WHEN PRICING.

WATER RETICULATION

1. GENERAL

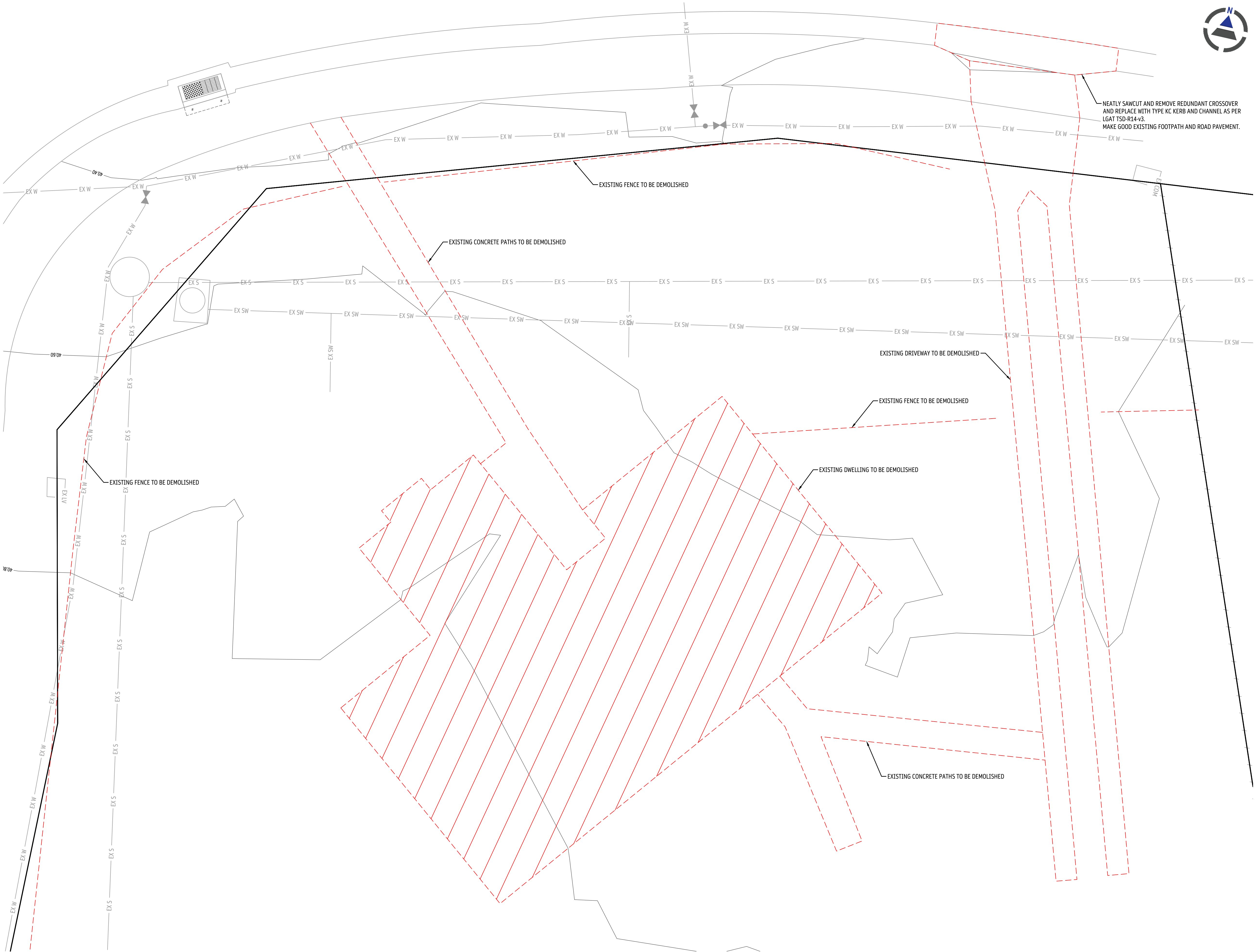
- A. ALL PRIVATE SEWER PLUMBING & DRAINAGE TO COMPLY WITH A S 3500.1:2021 AND THE PLUMBING CODE OF AUSTRALIA (2022)
- B. ALL PUBLIC WATER WORKS TO BE CONSTRUCTED TO:
- WATER SUPPLY CODE OF AUSTRALIA (WSA 03-2011-3.1 VERSION MRWA EDITION V2.0) - PART 2: CONSTRUCTION
 - WATER SERVICES ASSOCIATION OF AUSTRALIA - TASWATER SUPPLEMENT
 - TASWATER'S STANDARD DRAWINGS TWS-W-0002 SERIES
 - TASWATER'S WATER METERING POLICY/METERING GUIDELINES
 - TASWATER'S STANDARD DRAWINGS TWS-W-0003 - FOR PROPERTY SERVICE CONNECTIONS - CARE FOR WATER METER ASSEMBLY
 - BOUNDARY BACKFLOWS CONTAINMENT REQUIREMENTS IN ACCORD WITH THE PLUMBING CODE OF AUSTRALIA (LATEST REVISION).
 - ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL WATER AUTHORITY WORKS SUPERVISOR.
- B. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO DEVELOPER UNLESS APPROVED OTHERWISE.
- C. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES.
- D. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.
- E. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 AND THE NCC VOLUME 3 (PCA).
- F. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH COMPACTED FCR.
- G. WATER PIPES TO BE MIN. DN25 (1.D.20) POLY PN16 AND FITTINGS TO BE MIN. CLASS 16 U.N.O.
- H. WATER CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NSAA DRAWING MRWA-W-111 PROVIDED WITH METERAGE AND BACKFLOW PREVENTION AS PER TASWATER STANDARD DRAWINGS TWS-W-0002 SERIES.
- I. MINIMUM COVER FOR WATER LINES ARE TO BE:
- UNDER ROAD WAYS (EXCLUDING MAJOR ROADS) AND VEHICULAR CROSS OVERS - 750mm
 - RESIDENTIAL LAND - 450mm
 - NON-RESIDENTIAL LAND - 600mm

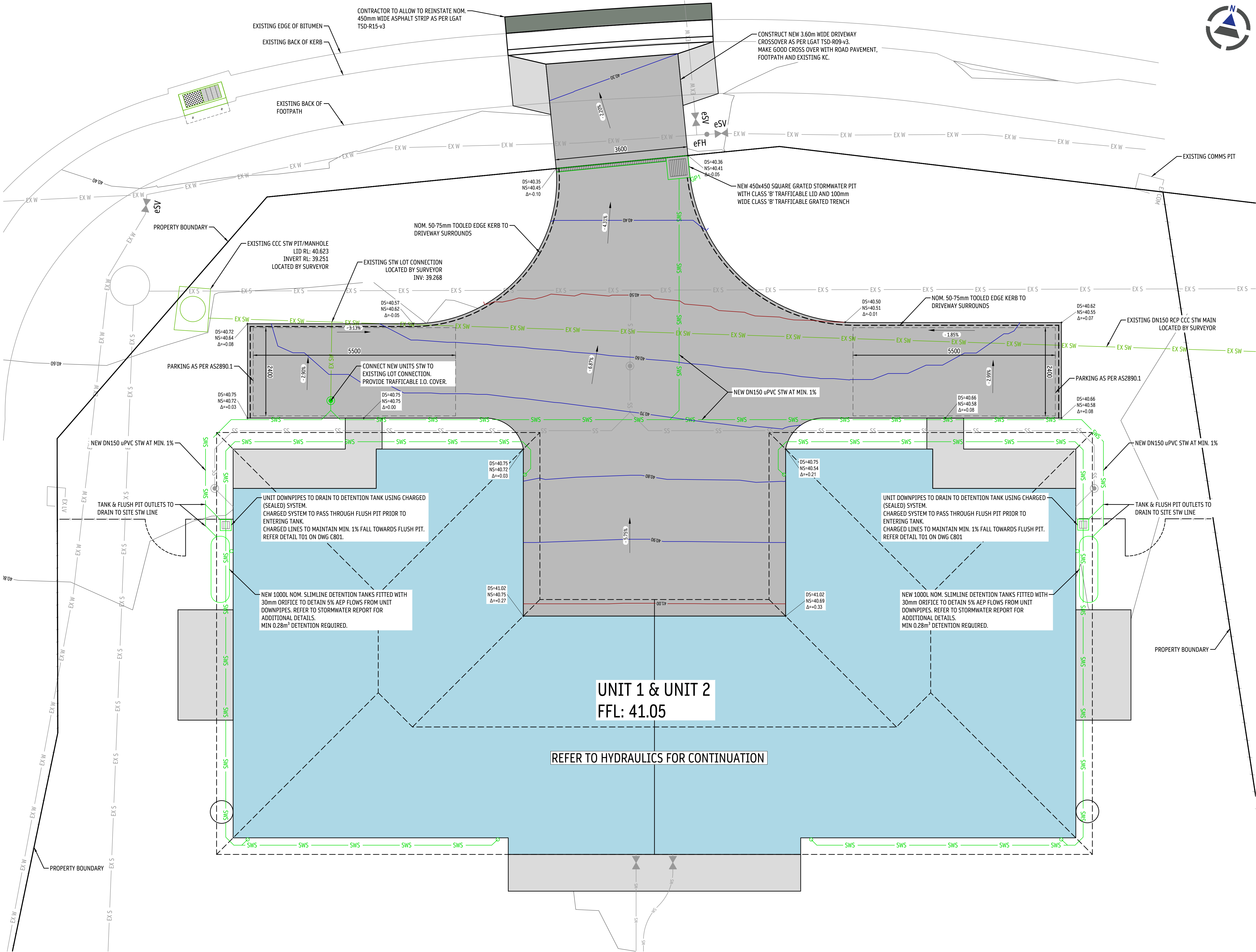
2. FIRE HYDRANTS

FIRE HYDRANTS ARE TO BE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS TO ALLOW TO PLACE STANDARD MARKERS AS REQUIRED BY THE LOCAL AUTHORITY.



DEMOLITION LEGEND		
	xSx	DEMO-HYD-SEWER
	xSWx	DEMO-HYD-STORMWATER
	xWx	DEMO-HYD-WATER
		DEMO-SITE-BUILDING
		DEMO-SITE-KERB
		DEMO-SITE-PAVEMENT
		DEMO-SITE-STREET FURNITURE
		DEMO-SITE-TREE

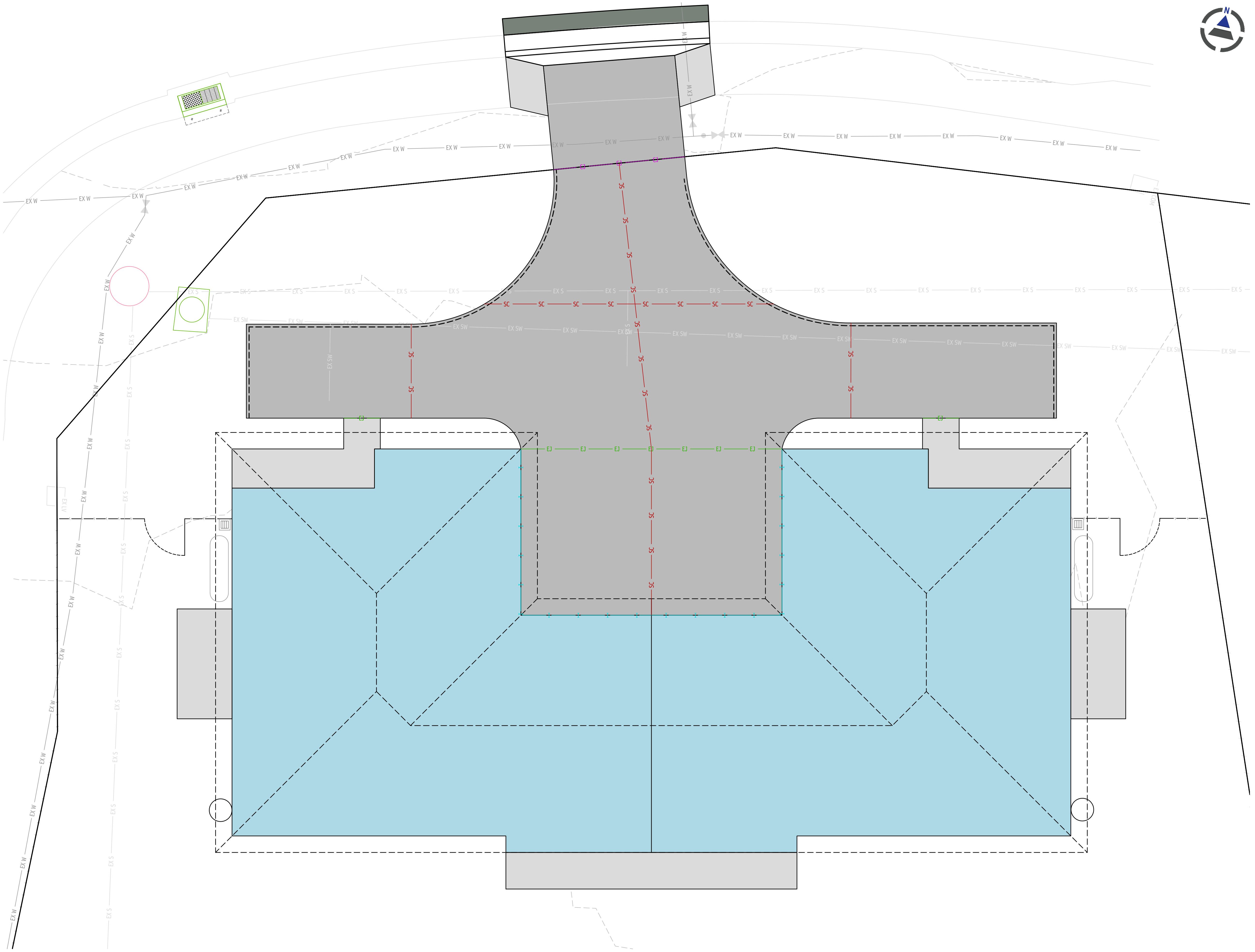




SITE & EXISTING SERVICES LEGEND		
	26.0	DESIGN SURFACE CONTOUR (MAJ/MIN)
	26.0	EXISTING SURFACE CONTOUR (MAJ/MIN)
		BOUNDARY - SURVEYED
		EASEMENT - SURVEYED
	EX OH	EXISTING OVERHEAD POWER
	EX LV	EXISTING UNDERGROUND POWER
	EX COM	EXISTING COMMS - TELSTRA
	EX COM	EXISTING COMMS - NBN
	EX GAS	EXISTING GAS

PAVEMENT LEGEND	
	CONCRETE DRIVEWAY
	CONCRETE FOOTPATH
	ASPHALT

STORMWATER LEGEND	
	SWS
	SSD
	EX SW
	EX SWS
	INSPECTION OPENING
	GP1 - 450 SQ PIT
	ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE
	GRATED TRENCH WITH PIT. ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE



JOINT LEGEND		
SC	SC	SAWCUT JOINT
EJ	EJ	EXPANSION JOINT
I	I	ISOLATION JOINT
CJ	CJ	CONSTRUCTION JOINT
		TRIMMER BAR

HOBART
DEVONPORT
LAUNCESTON



Launceston Office
22 - 24 Paterson Street
Launceston TAS 7250
03 6388 9200
www.vertotas.com.au

APPROVAL	REV	DESCRIPTION	DATE
DRAWN:	JS		
CHECKED:	DE		
DESIGN:	JS		
CHECKED:	DE		
VERIFIED:	MG		
	0	BUILDING APPROVAL	

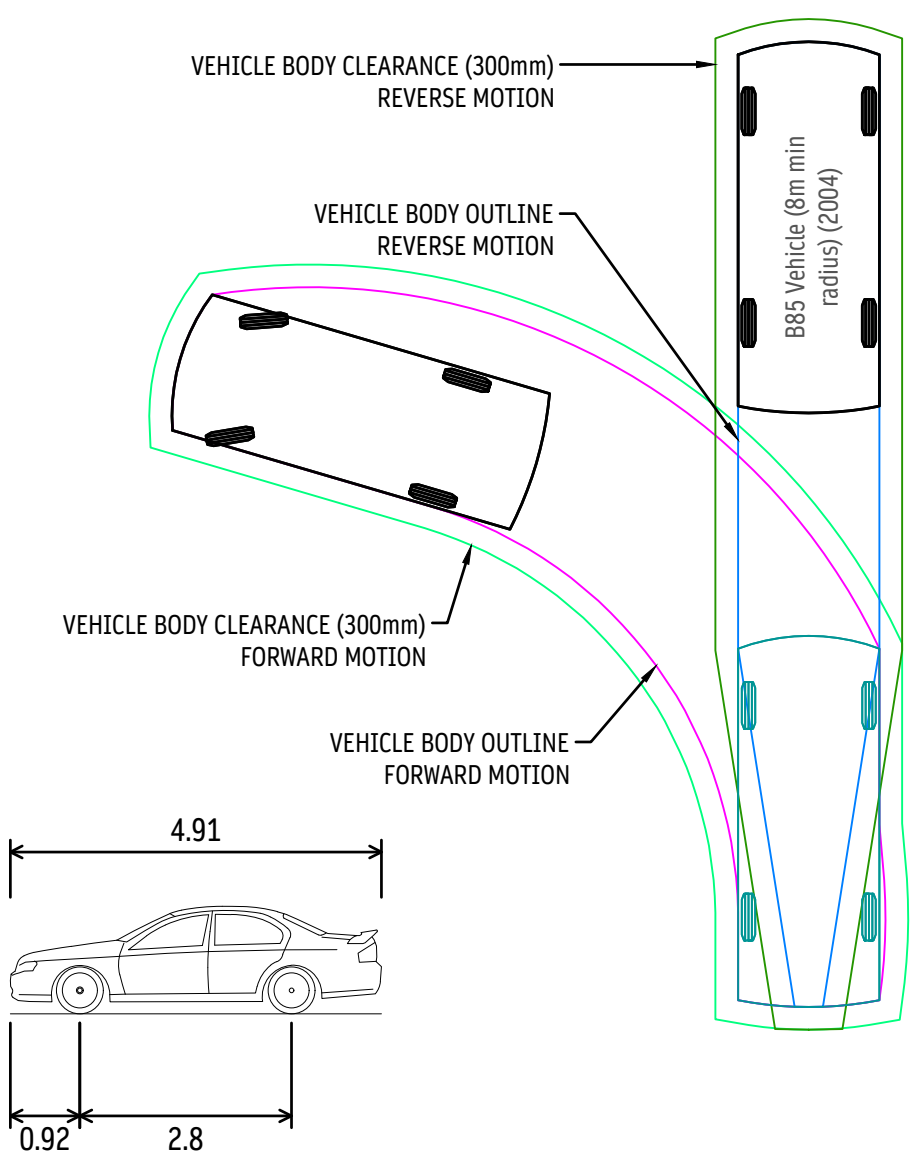
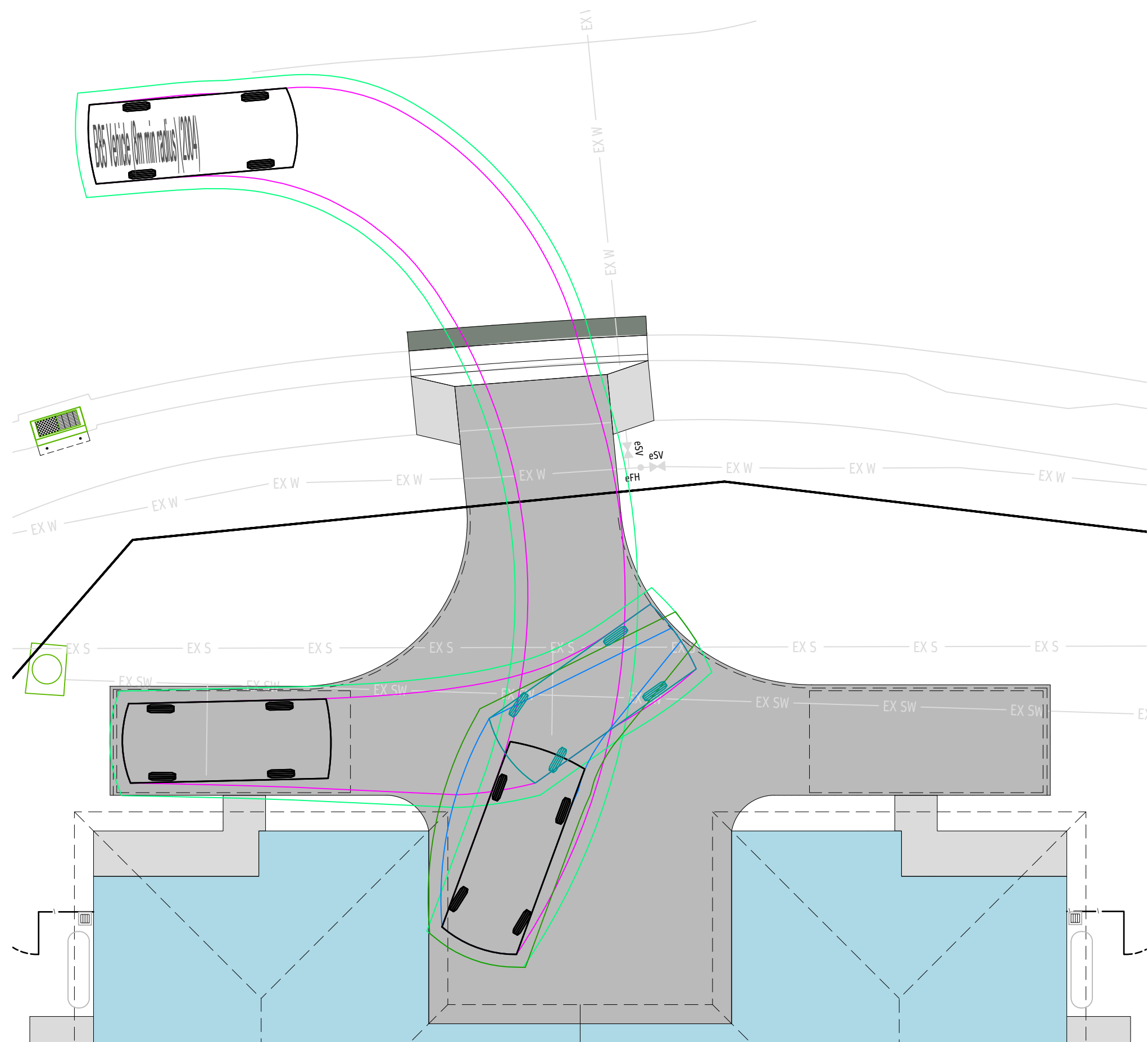
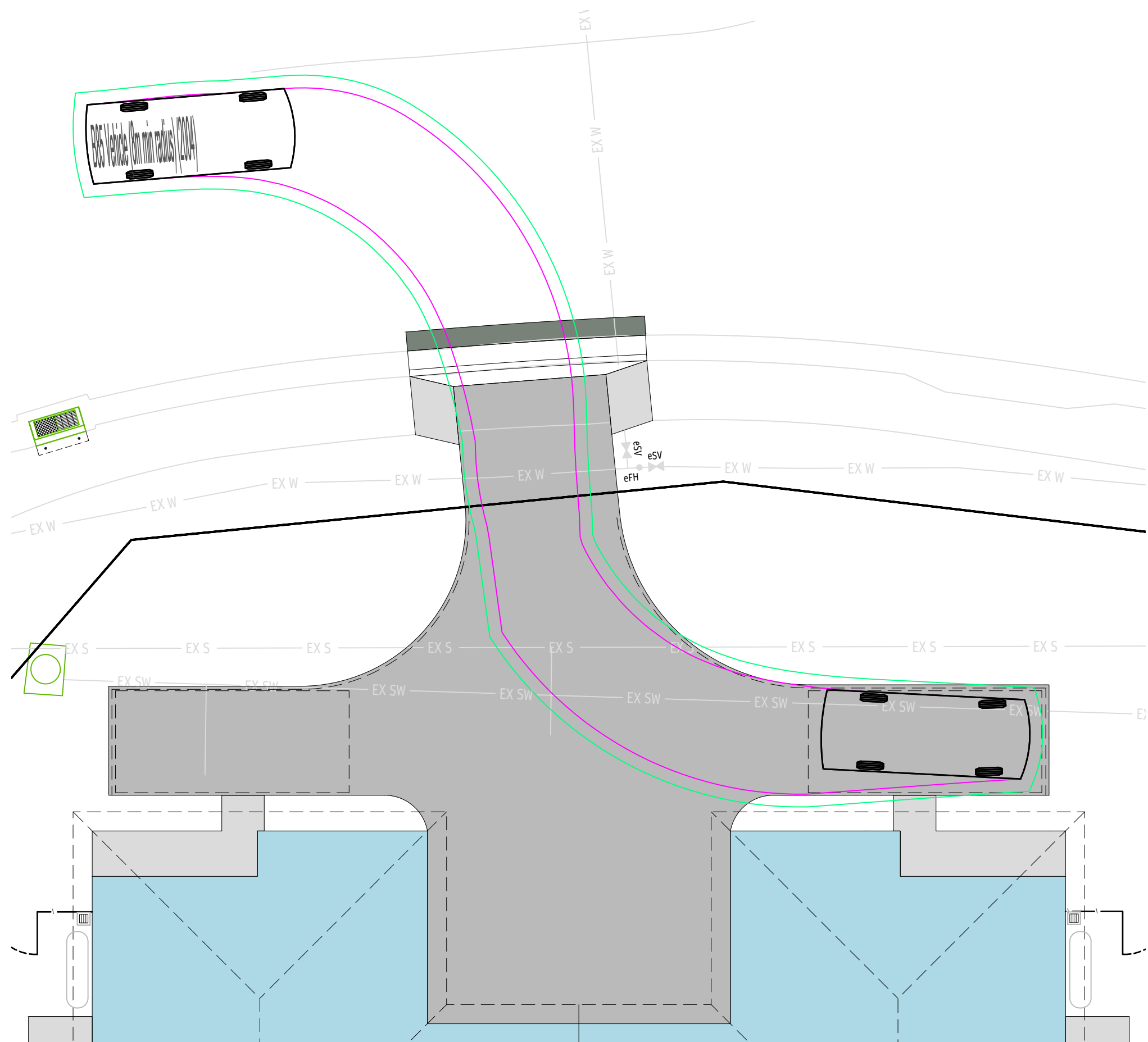
25/06/26

PROJECT:
HOMES TASMANIA
15 SALADIN CIRCLE
CLARENDON VALE

SHEET:
JOINTING PLAN

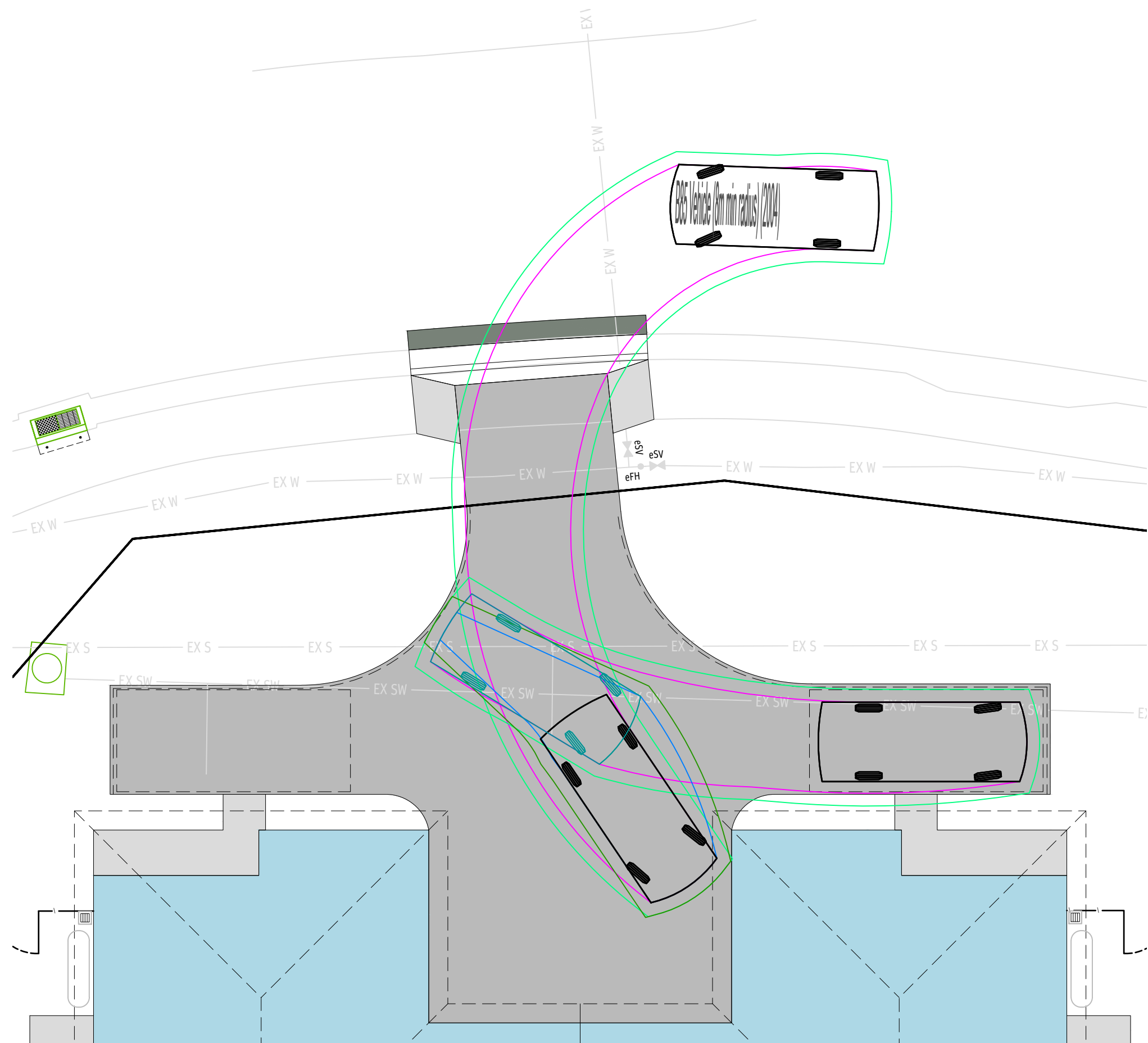
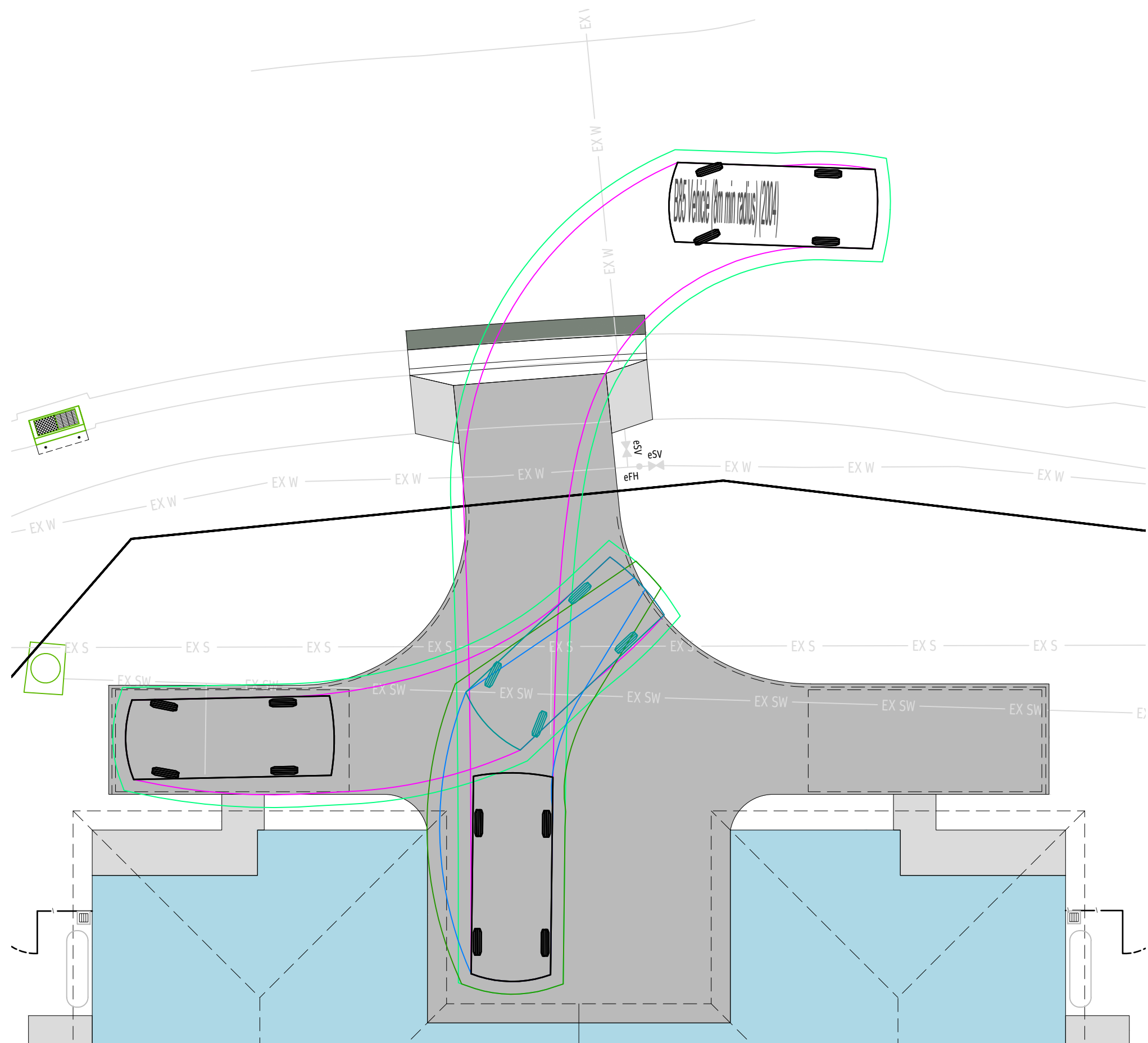
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PROJECT No. 26E47-18
SHEET No. C470
REV. 0

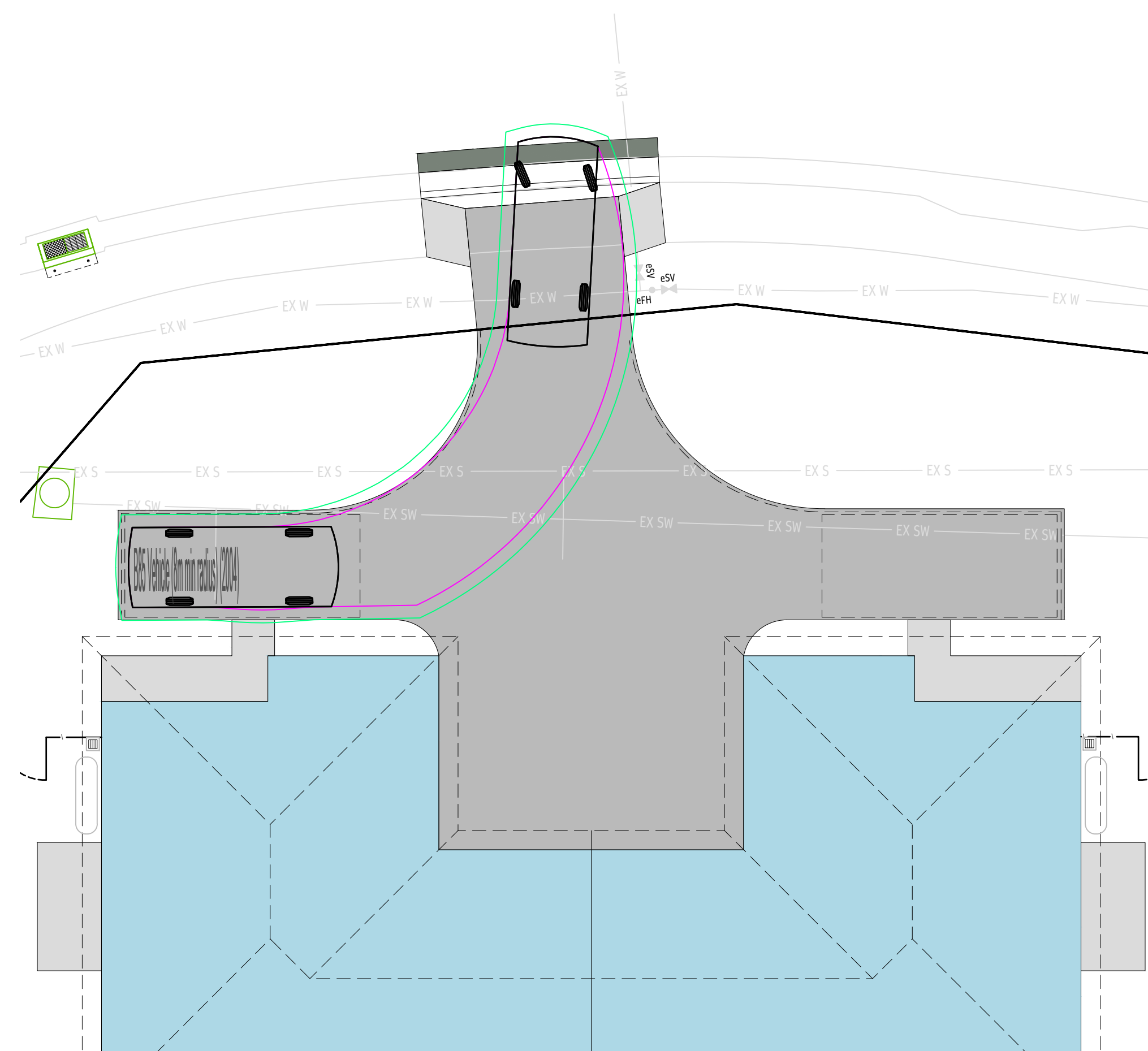
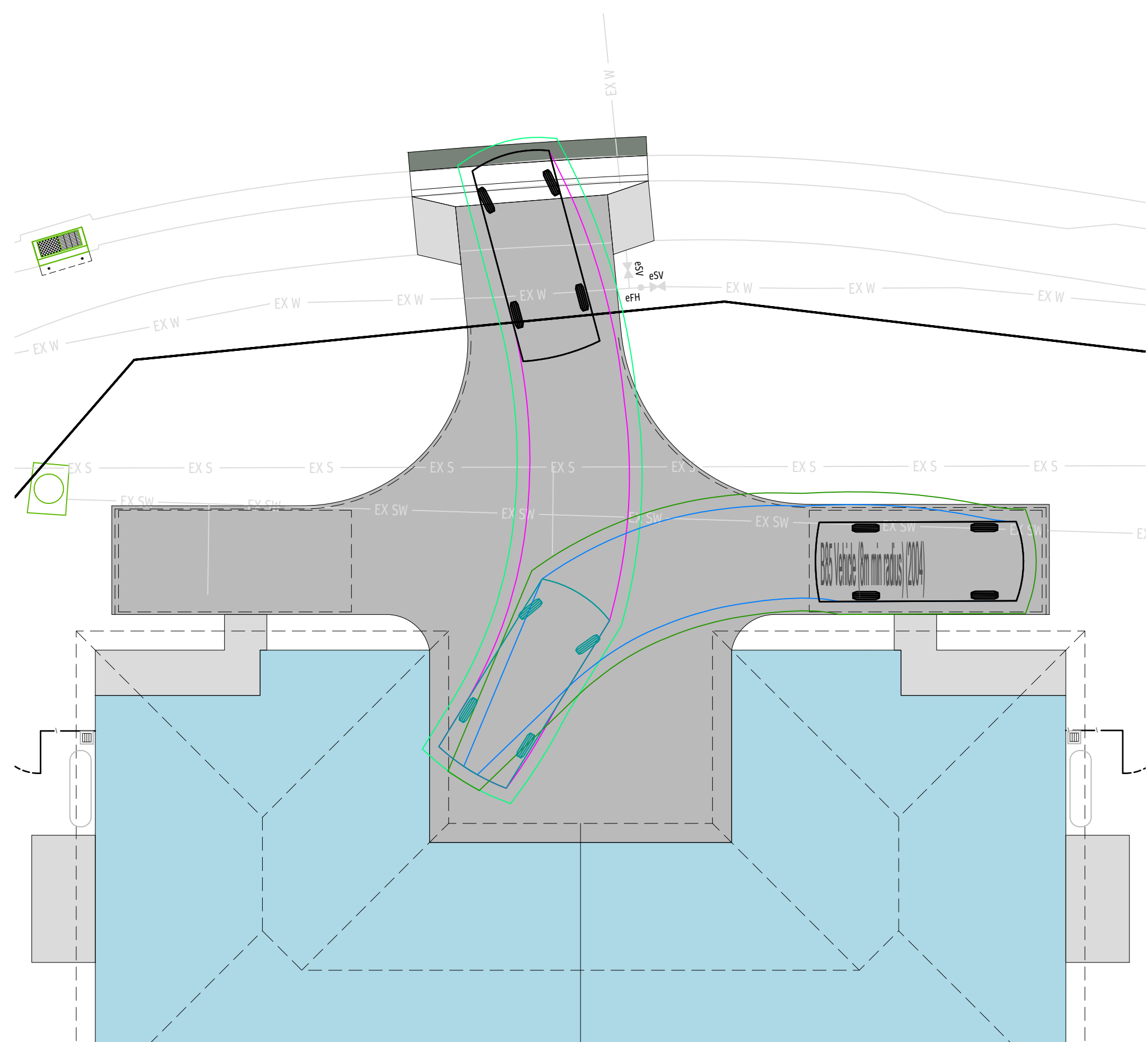
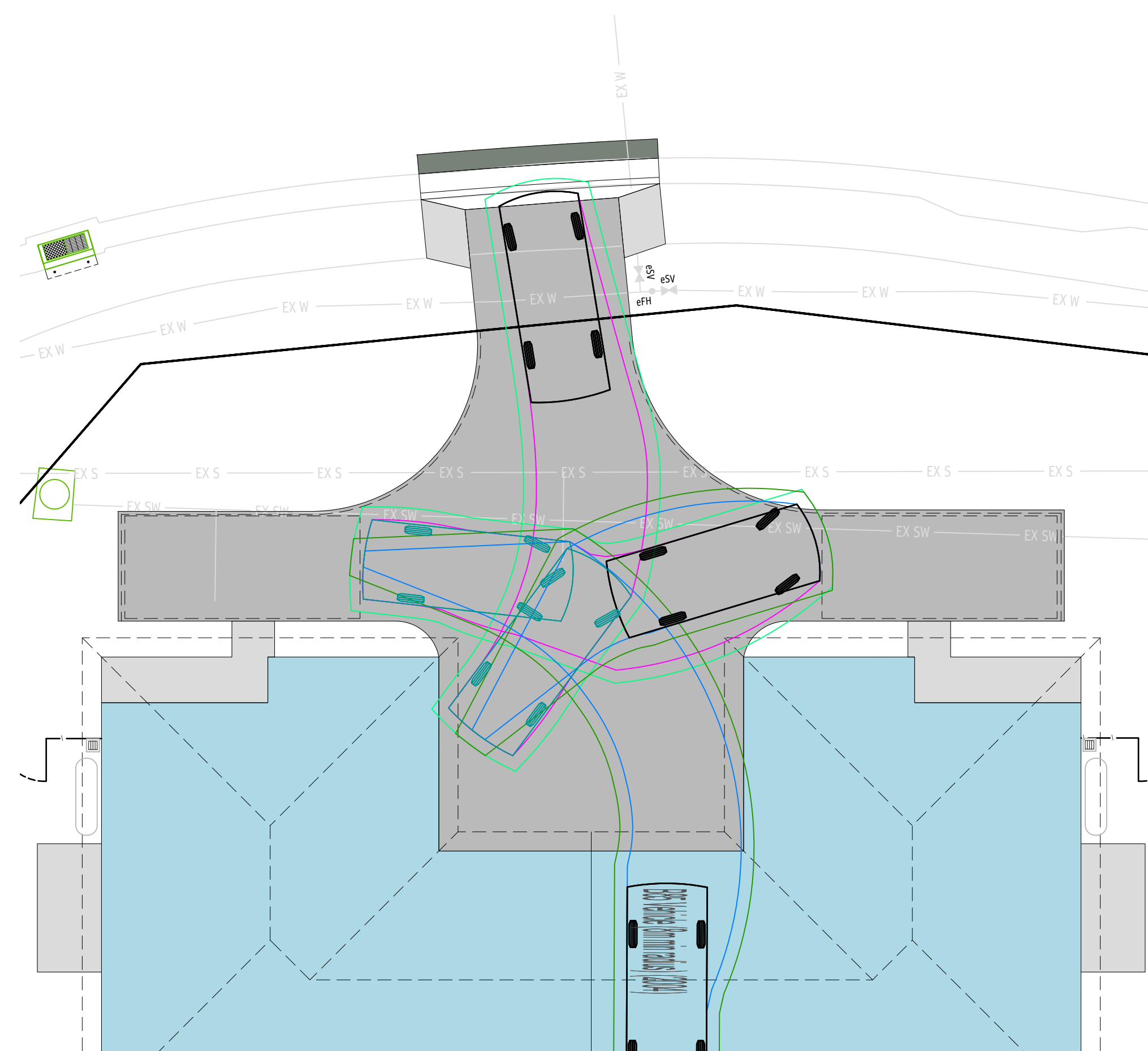
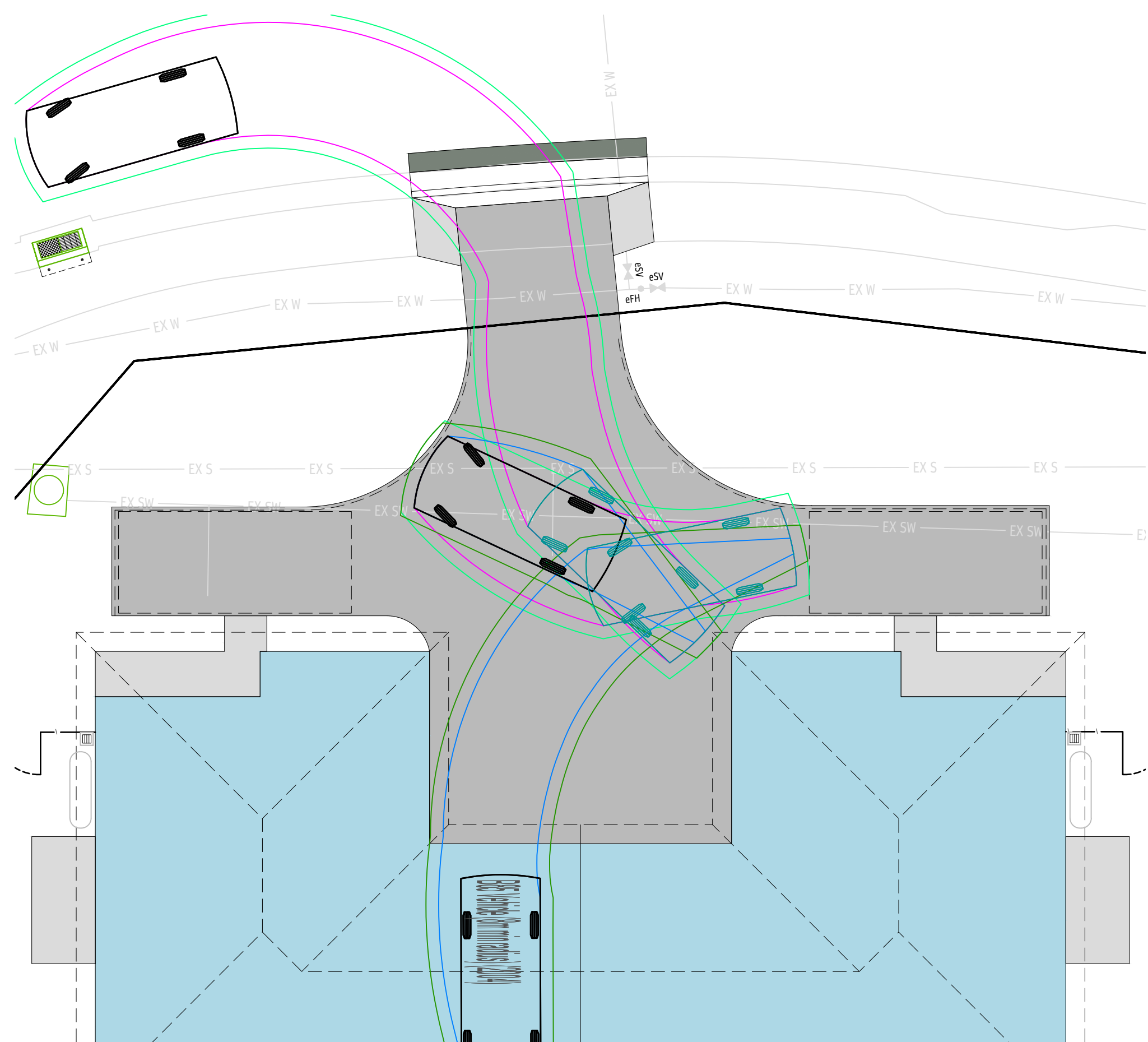




B85 Vehicle (8m min radius) (2004)
Overall Length 4.910m
Overall Width 1.870m
Overall Body Height 1.421m
Min Body Ground Clearance 0.159m
Track Width 1.770m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 8.000m

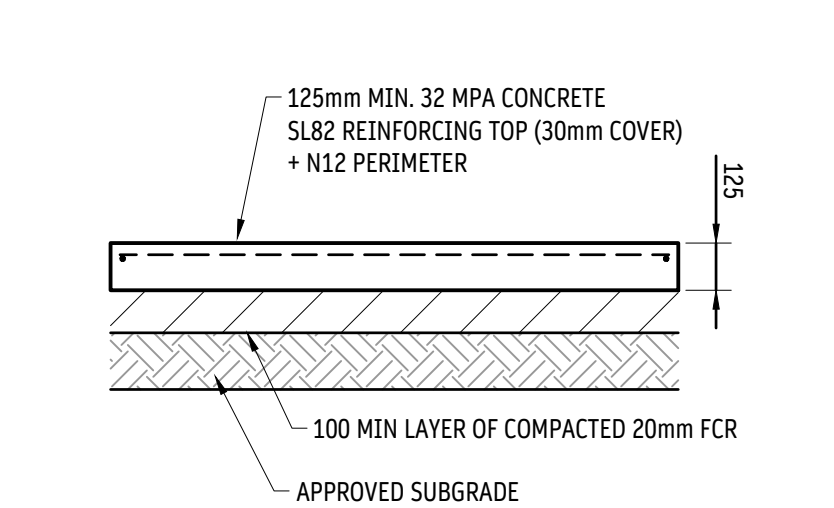
VEHICLE TURNPATH - LEGEND
1:100



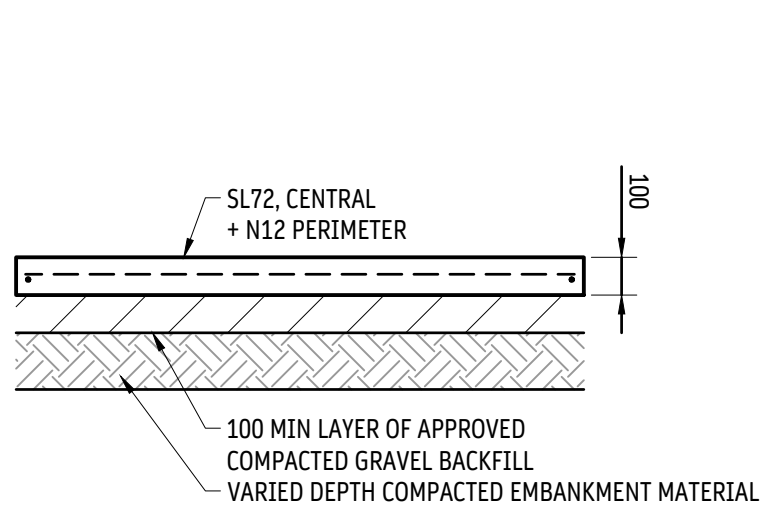


VEHICLE TURNPATH - LEGEND

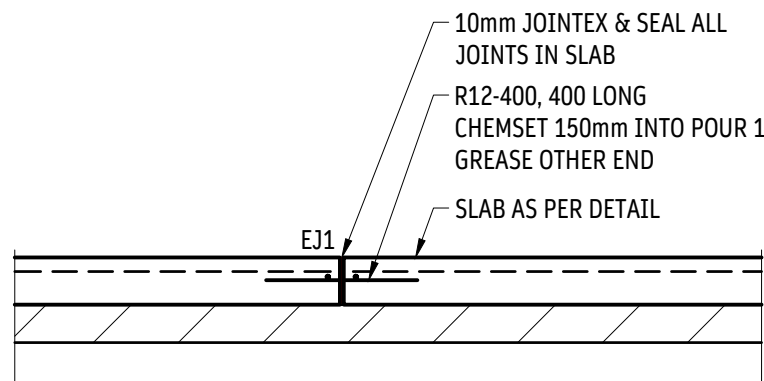




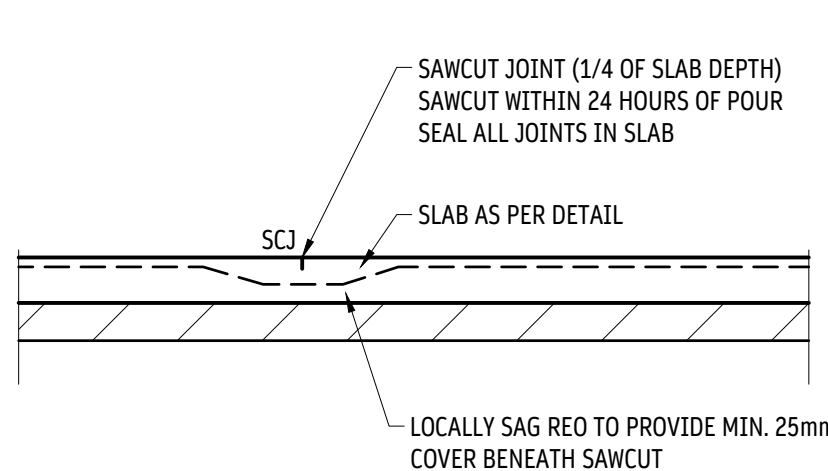
D01 SECTION - PAVEMENT 'B' DRIVEWAY (TYP.)
SCALE 1:20



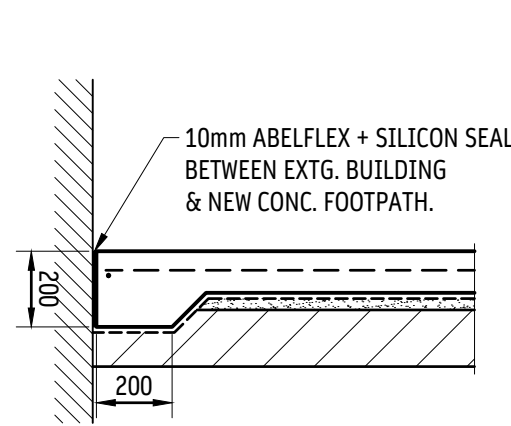
D02 SECTION DETAIL - PAVEMENT 'C' FOOTPATH (TYP.)
SCALE 1:20
REFER IPWEA STD DWG TSD-R11-v3 FOR ADDITIONAL FOOTPATH DETAILS



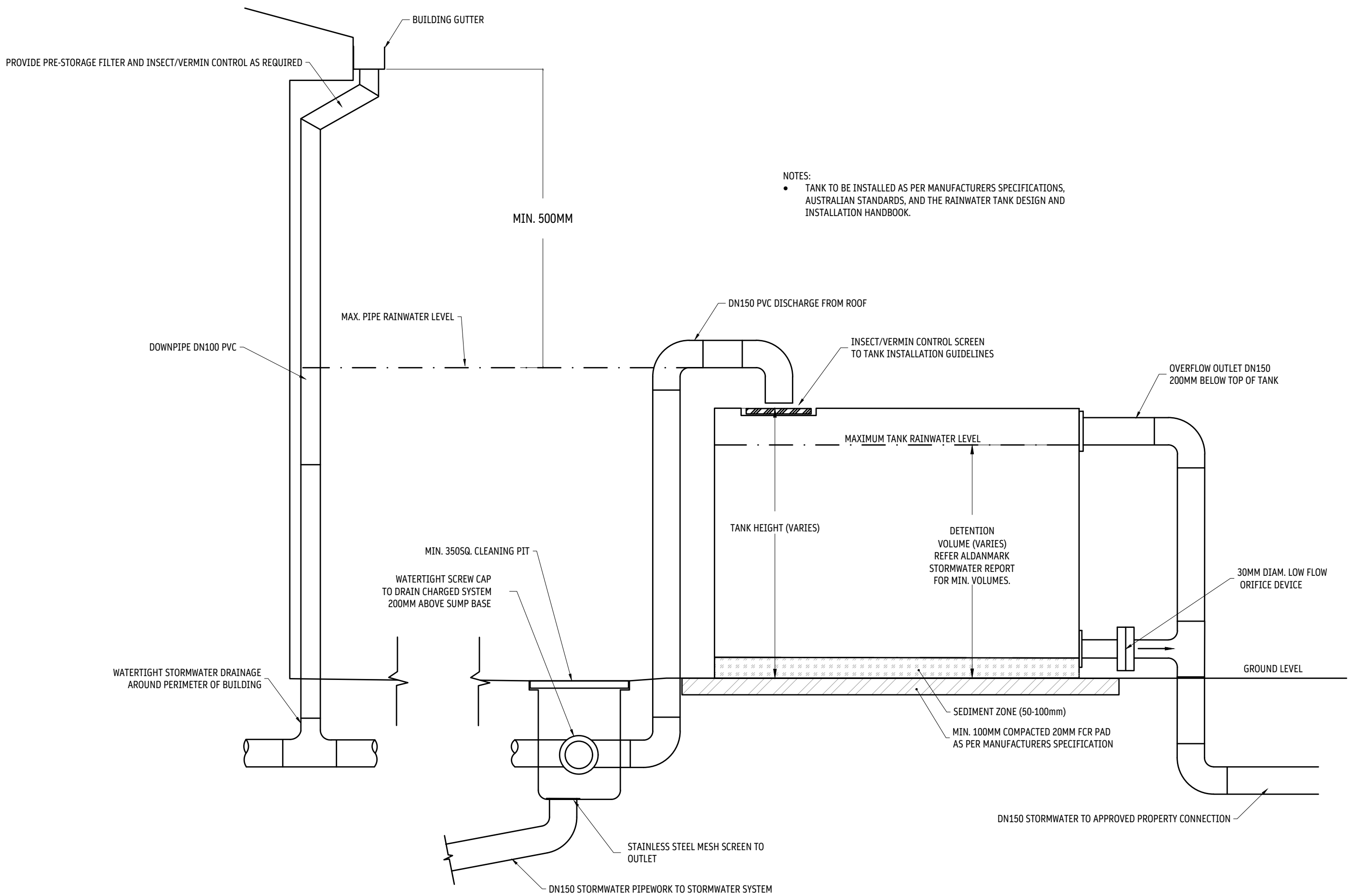
D03 DETAIL - EXPANSION JOINT EJ1 (TYP.)
SCALE 1:20



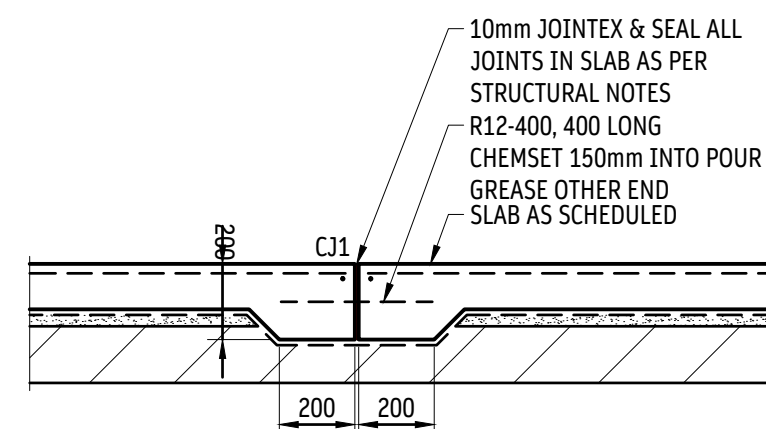
D04 SAWCUT JOINT DETAIL - SCJ
SCALE 1:20



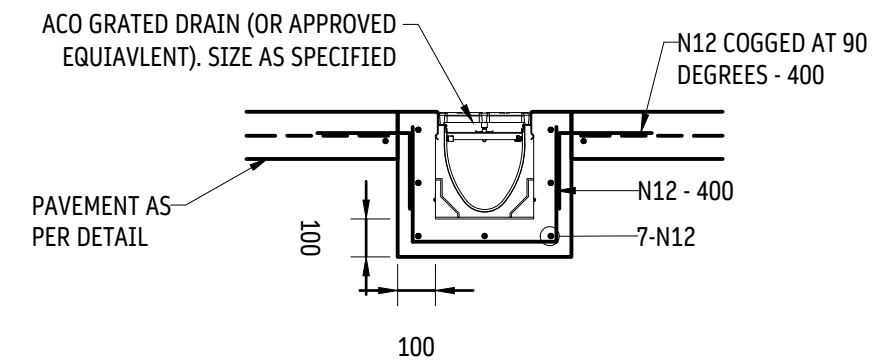
D05 SECTION DETAIL - ABELFLEX DETAIL (TYP.)
SCALE 1:20



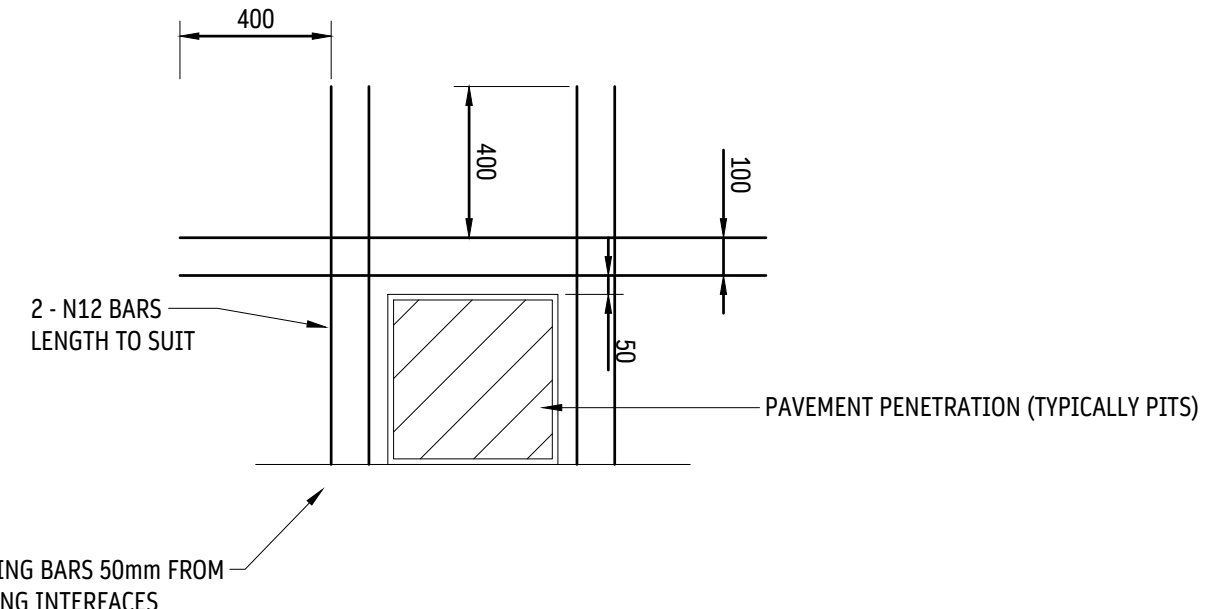
T01 TANK SCHEMATIC - SLIMLINE DETENTION TANK (TYPICAL)



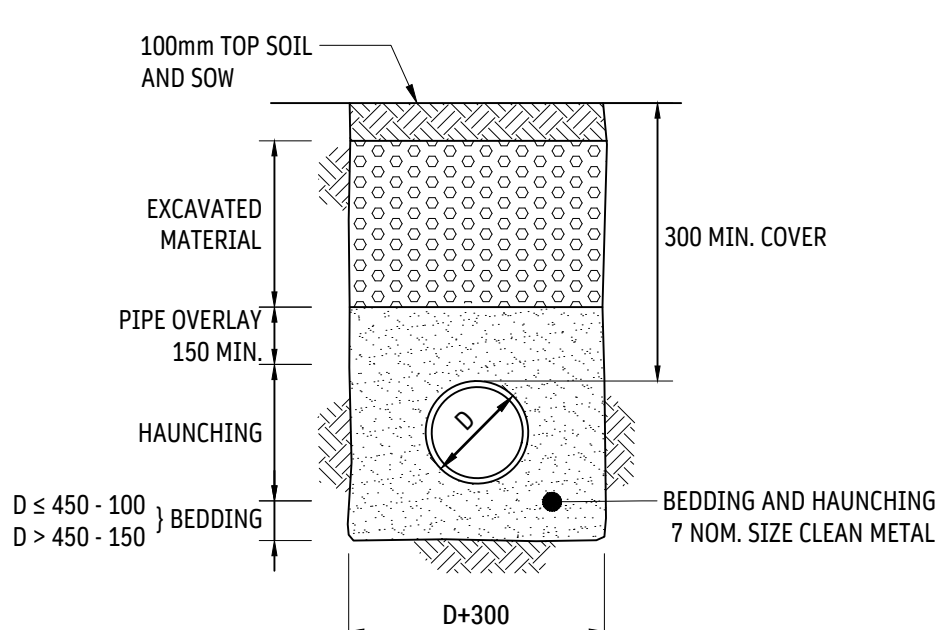
D06 CONSTRUCTION JOINT DETAIL - CJ1
SCALE 1:20



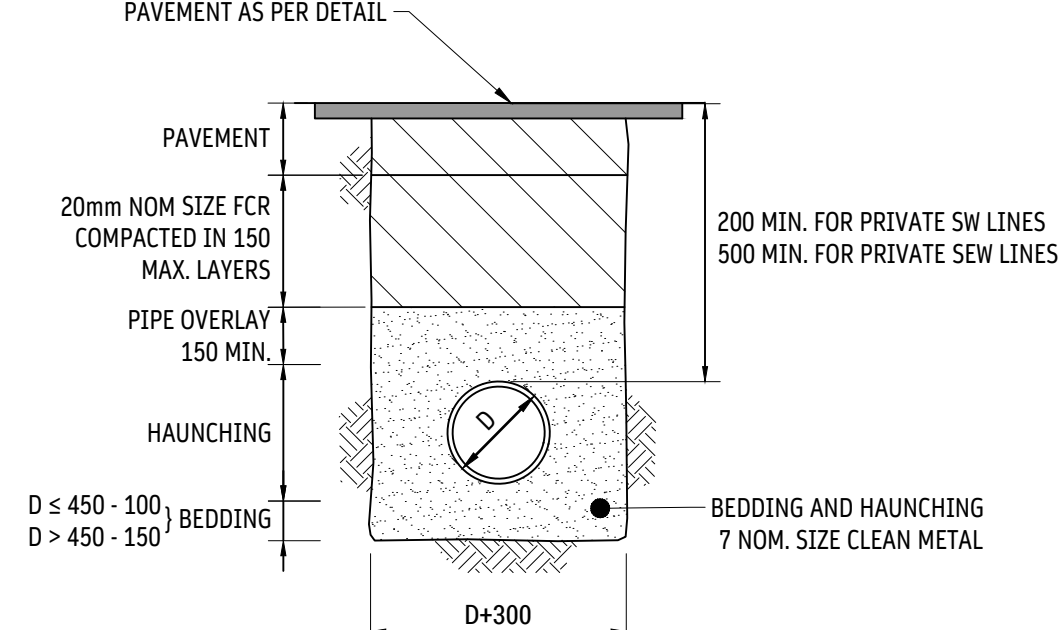
D07 TRENCH DRAIN THICKENING
SCALE 1:10



D08 SECTION - DRIVEWAY PENETRATION DETAIL
SCALE 1:20



D09 TRENCHES - NON-TRAFFICABLE
SCALE 1:20



D10 TRENCHES - TRAFFICABLE
SCALE 1:20