



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062167

PROPOSAL: Dwelling

LOCATION: 60 Dolina Drive, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 12/08/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 12/08/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 12/08/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **NEW RESIDENTIAL DWELLING**

Location: **60 DOLINA DRIVE, ROKEBY 7019**

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☐

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 184319	FOLIO 7
EDITION 2	DATE OF ISSUE 05-Nov-2025

SEARCH DATE : 05-Mar-2026

SEARCH TIME : 10.41 am

DESCRIPTION OF LAND

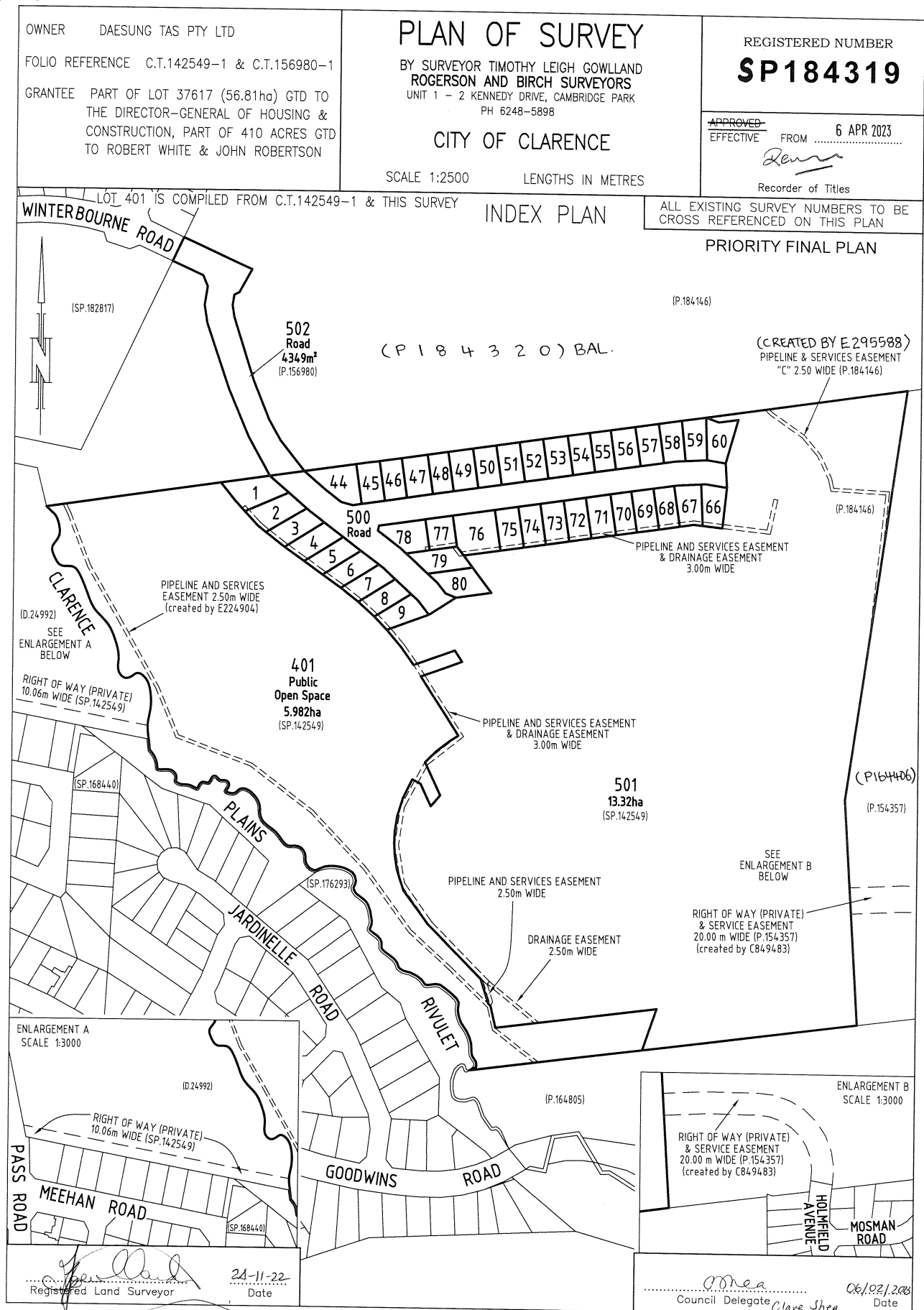
City of CLARENCE

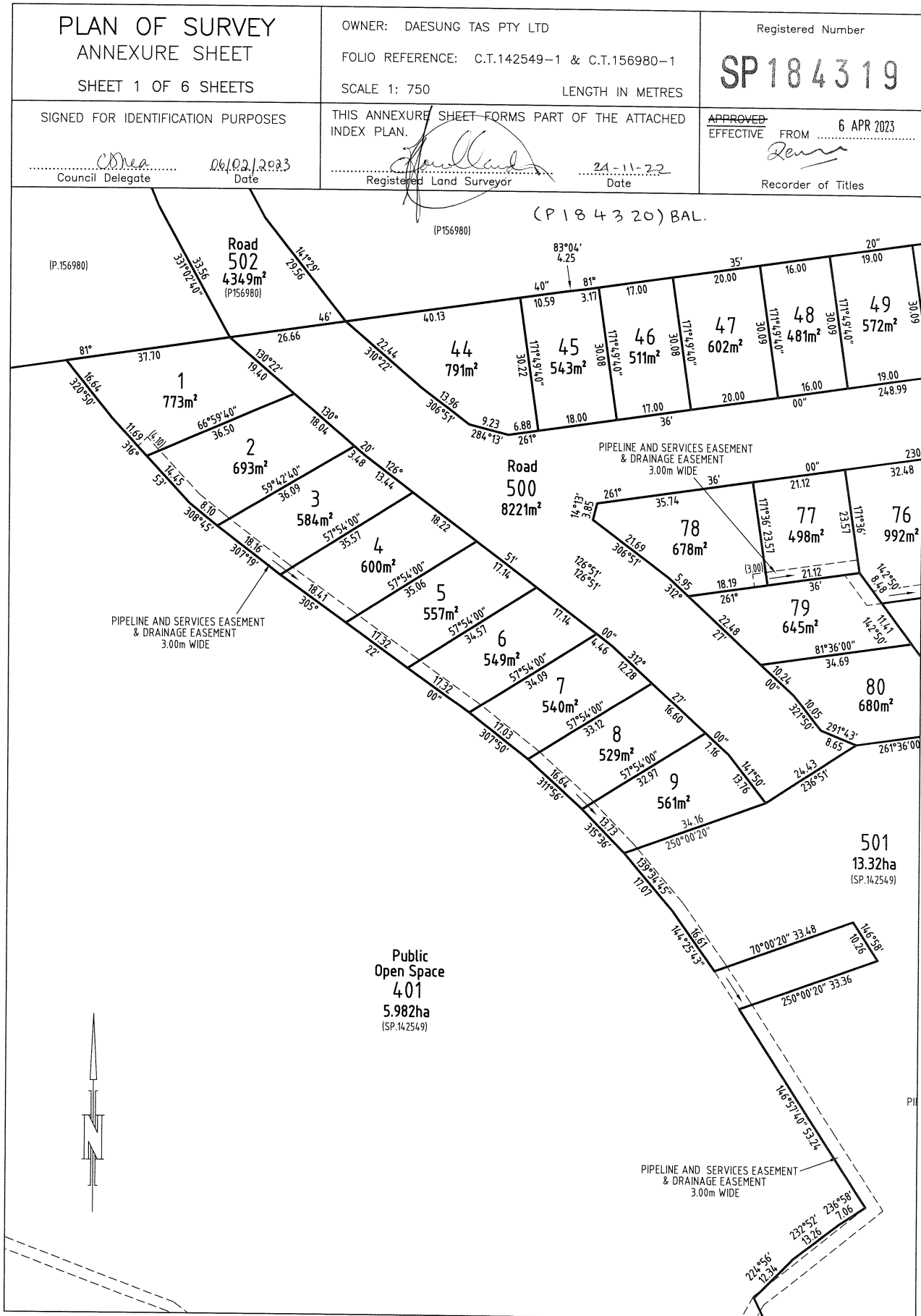
Lot 7 on Sealed Plan [184319](#)Derivation : Part of Lot 37617 (56.81ha) Gtd. to The
Director-General of Housing & ConstructionPrior CT [142549/1](#)SCHEDULE 1[M535627](#) TRANSFER to DAESUNGTAS PTY LTD Registered
03-Nov-2015 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP184319](#) EASEMENTS in Schedule of Easements
[SP184319](#) COVENANTS in Schedule of Easements
[SP184319](#) FENCING PROVISION in Schedule of Easements
[SP142549](#) COVENANTS in Schedule of Easements
[SP142549](#) FENCING COVENANT in Schedule of Easements
[SP142549](#) WATER SUPPLY RESTRICTION
[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

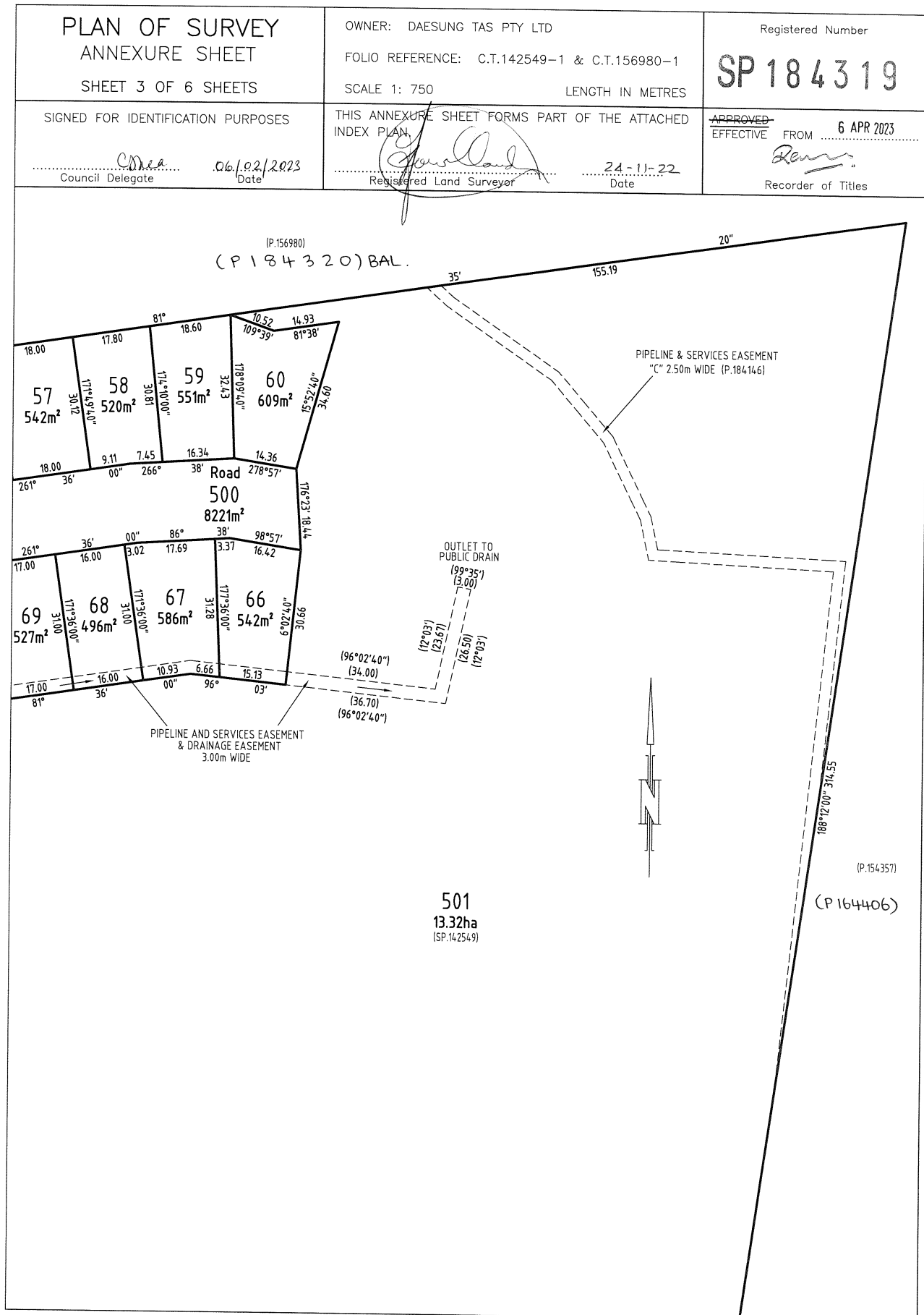
UNREGISTERED DEALINGS AND NOTATIONS

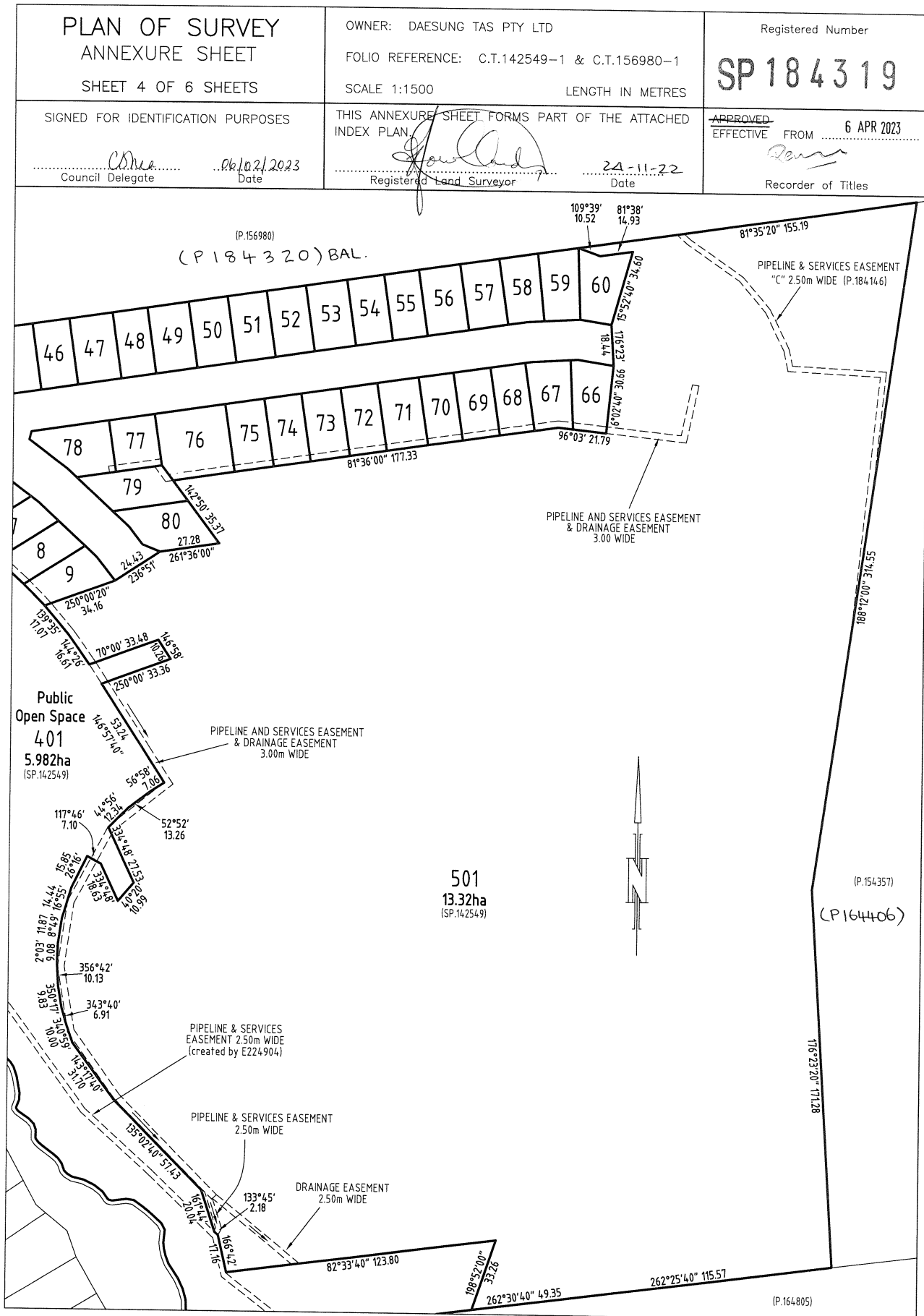
No unregistered dealings or other notations

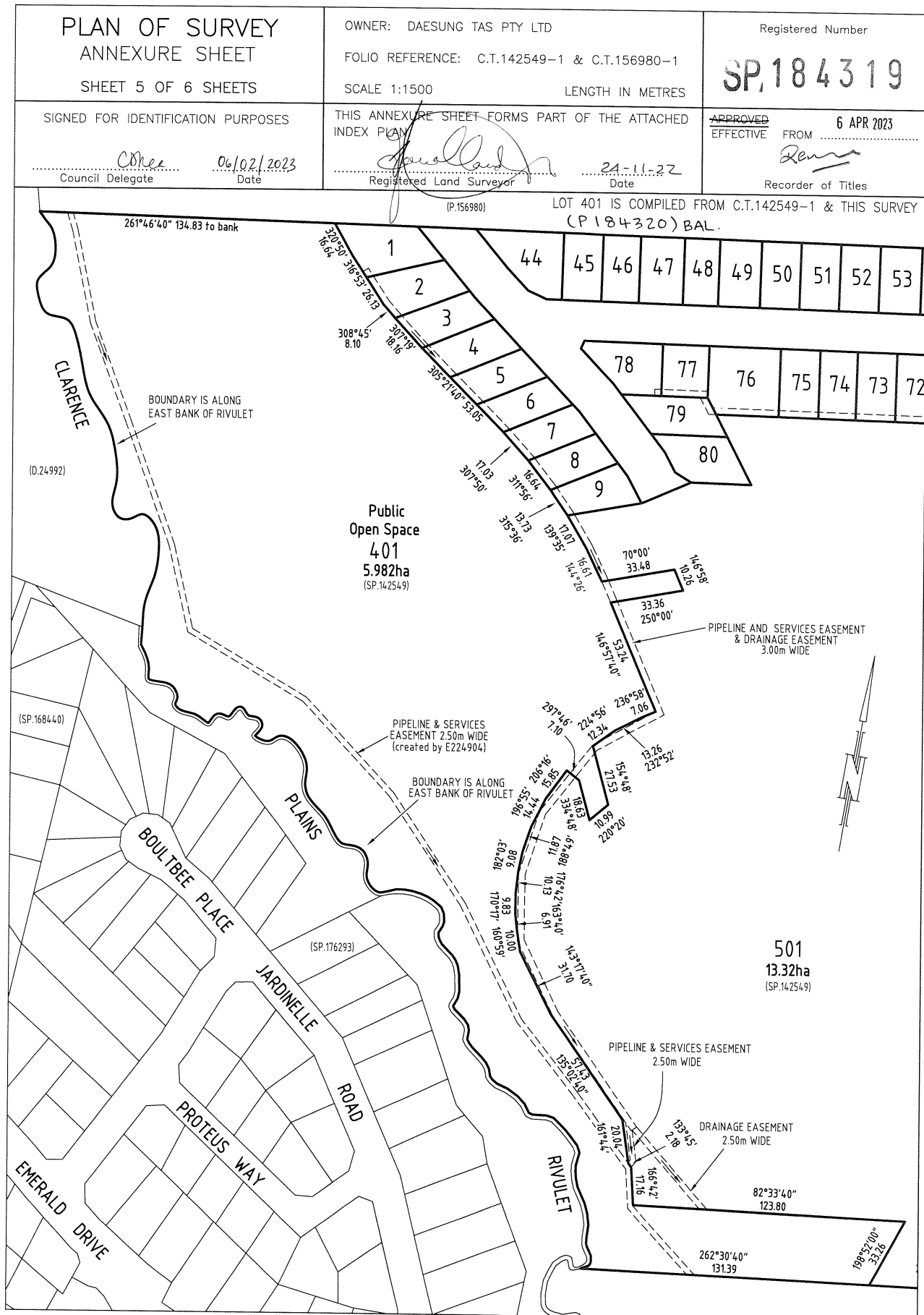


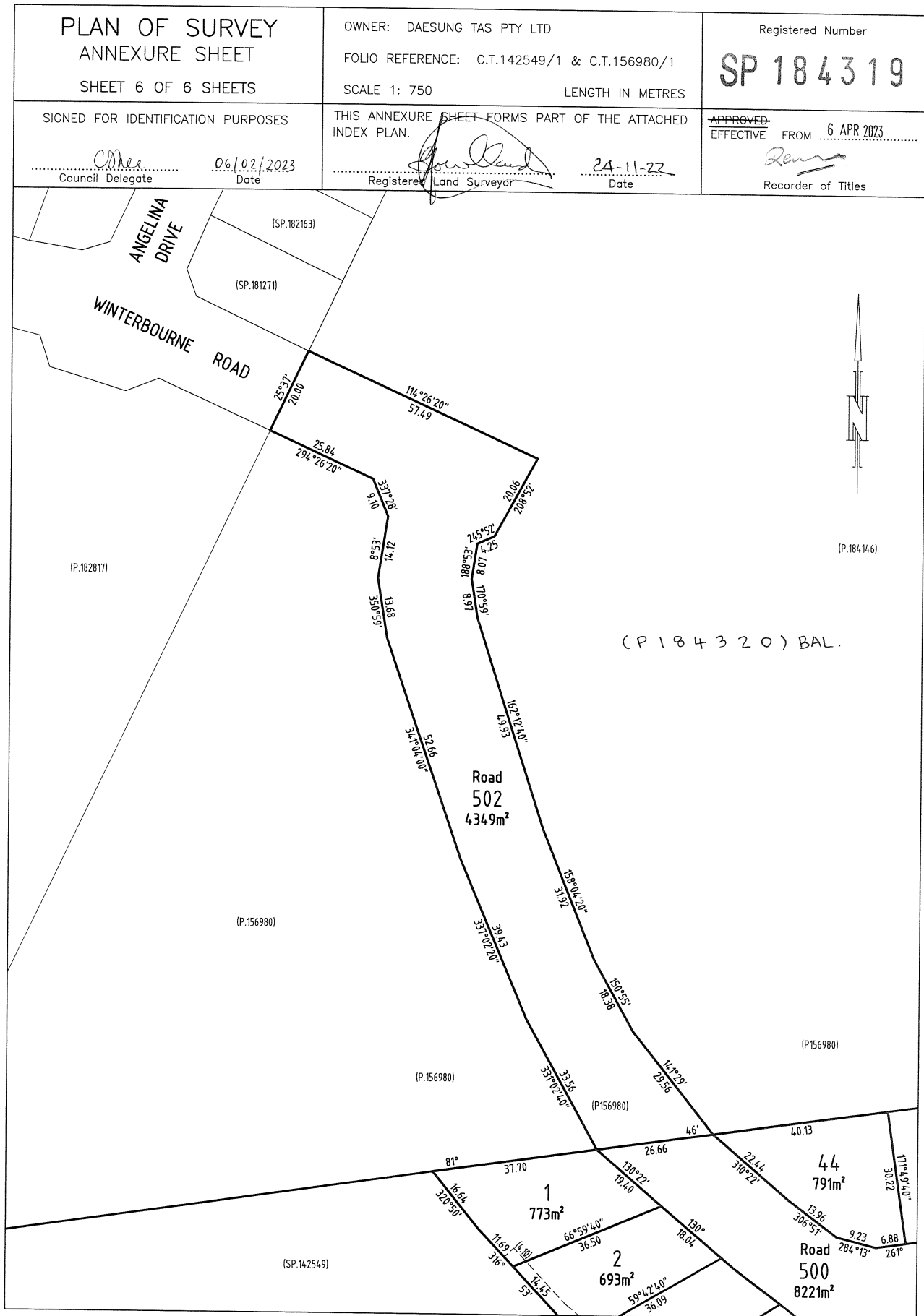












SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP, 18 43 19
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PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 1 to 9 (inclusive), 66 to 79 (inclusive), 401 and 501 ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT[^] (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan ("the Easement Land"). —

Lots 1 to 9 (inclusive), 66 to 79 (inclusive), 401 and 501 on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE** on the Plan. —
(as defined herein)

Lot 501 ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT[^] in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT 2.50m WIDE** shown on the Plan ("the Easement Land"). —

Lot 501 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 2.50m WIDE** on the Plan. —



Attorney

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAESUNG TAS PTY LTD FOLIO REF: 142549/1 & 156980/1 SOLICITOR & REFERENCE: Page Seager (DAS 221111)	PLAN SEALED BY: Clarence City Council DATE: 6 th February 2023 REF NO. SD-2016/31 Clare Shea Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES	Registered Number SP.184319
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 142549/1 & 156980/1	

Lot 501 ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater created by and described in E295588 over the land marked **PIPELINE AND SERVICES EASEMENT "C" 2.50m WIDE (P.184146)** shown on the Plan ("the Easement Land"). —

* a Pipeline and Services Easement in favour of Tasmanian Water and Sewerage Corporation Pty Ltd Lot 401 on the Plan is subject to ^{the easement} ~~the easement~~ created by and fully described in E224904 over the land marked **PIPELINE AND SERVICES EASEMENT 2.50m WIDE (created by E224904)** on the Plan. —

Each lot on the Plan, excepting Lot 502, is together with a right of way created by and fully described in the Schedule of Easements to SP 142549 over the land marked **RIGHT OF WAY (PRIVATE) 10.06m WIDE (SP.142549)** on the Plan. —

Each lot on the Plan, excepting Lot 502, is together with a right of carriageway and service easement created by and fully described in C849483 over the land marked **RIGHT OF WAY (PRIVATE) & SERVICE EASEMENT 20.00m WIDE (P.154357) (created by C849483)** on the Plan. —

COVENANTS

The owner of each Lot on the Plan, excepting Lot 502, covenants with the Vendor (Daesungtas Pty Ltd) and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation.
2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation.
3. Not to use the land for any purpose except as a residence or the for the purpose of house occupation without the prior consent of the Corporation in writing.



Attorney

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP. 184319
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 142549/1 & 156980/1	

4. Not to use any engine or machinery in any trade of business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying, or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
5. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

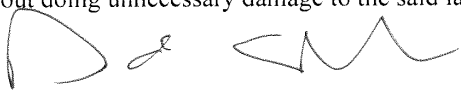
FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (Daesungtas Pty Ltd) shall not be required to fence.

DEFINITIONS

“Corporation” means the Warden Councillors and Electors of the City of Clarence.

“Drainage Easement” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.


Attorney

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES	Registered Number SP 184319
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 142549/1 & 156980/1	

“Pipeline and Services Easement” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run



Attorney

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES	Registered Number SP 184319
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 142549/1 & 156980/1	

with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



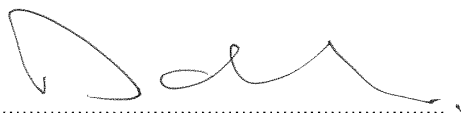
Attorney

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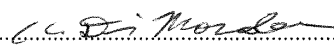


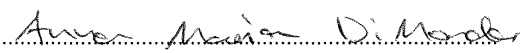
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES	Registered Number SP 184319
SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REFERENCE: 142549/1 & 156980/1	

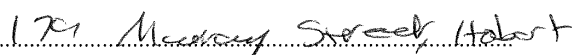
EXECUTED by DAESUNGTAS PTY LTD (ACN 607 472 131) as registered proprietor of the land comprised in Folio of the Register Volume 142549 Folio 1 and Folio of the Register Volume 156980 Folio 1 by their attorney David Alexander Shelley under Power of Attorney dated 11 February 2022 / No PA136148 who hereby declares that no notice of alteration or revocation of the said Power of Attorney has been received in the presence of:



Attorney Signature


Witness Signature


Witness Full Name (print)


Witness address and occupation

Attorney

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

UNREGISTERED DEALINGS REPORT

SEARCH DATE : 18-June-2026

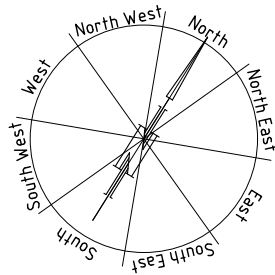
SEARCH TIME : 10:25 am

CT: 184319/7

N188226 PRIORITY NOTICE reserving priority for 90 days
TRANSFER DaesungTas Pty Ltd to Curtis Kenneth
Loveluck and Lucy Grace Eade
MORTGAGE Curtis Kenneth Loveluck and Lucy Grace Eade
to Macquarie Bank Limited Lodged by SOUTHERN
PROPERTY & CONVEYANCING on 15-Apr-2026 BP: N188226

N188161 TRANSFER to LUCY GRACE EADE and CURTIS KENNETH
LOVELUCK Lodged by WALLACE WILK & WEB on
30-Apr-2026 BP: N188161

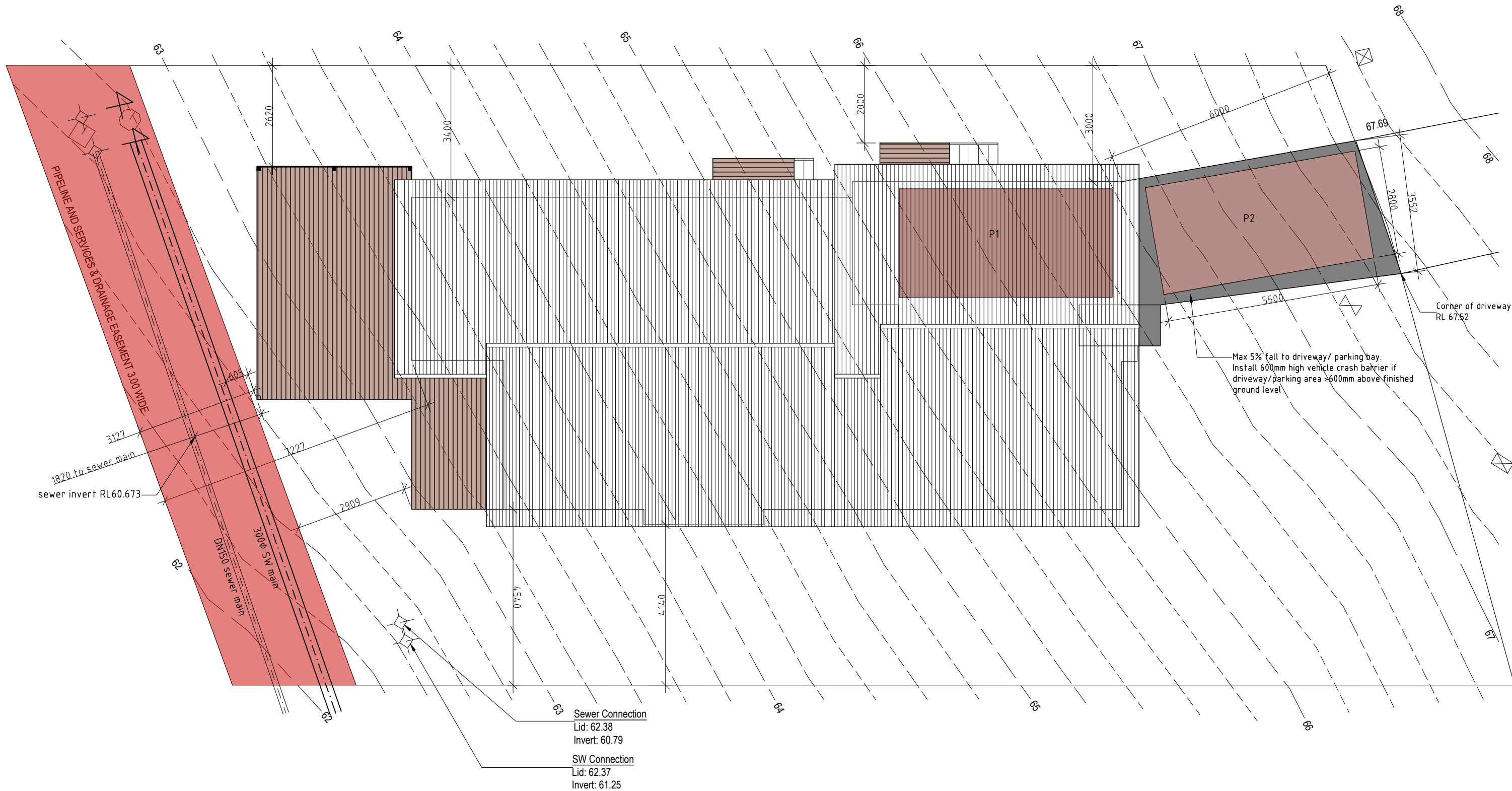
E322567 MORTGAGE to Macquarie Bank Limited Lodged by WALLACE
WILK & WEB on 30-Apr-2026 BP: N188161



CONTENTS:

- 1 Site plan
- 2 Plan
- 3 Elevations
- 4 Elevations
- 5 Reflected Roof Plan
- 6 Glazing Schedules
- 7 Stormwater Concept Plan
- 8 Plumbing Notes
- 9 Plumbing Details

Site coverage 141.53m² divide by
540m²=26.20%



DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR
SJM PROPERTY DEVELOPMENTS PTY LTD AT
LOT 7, 60 GREENVILLE ESTATE ROKEBY
7019

SITE PLAN

SCALE 1:100
0 1000 2000

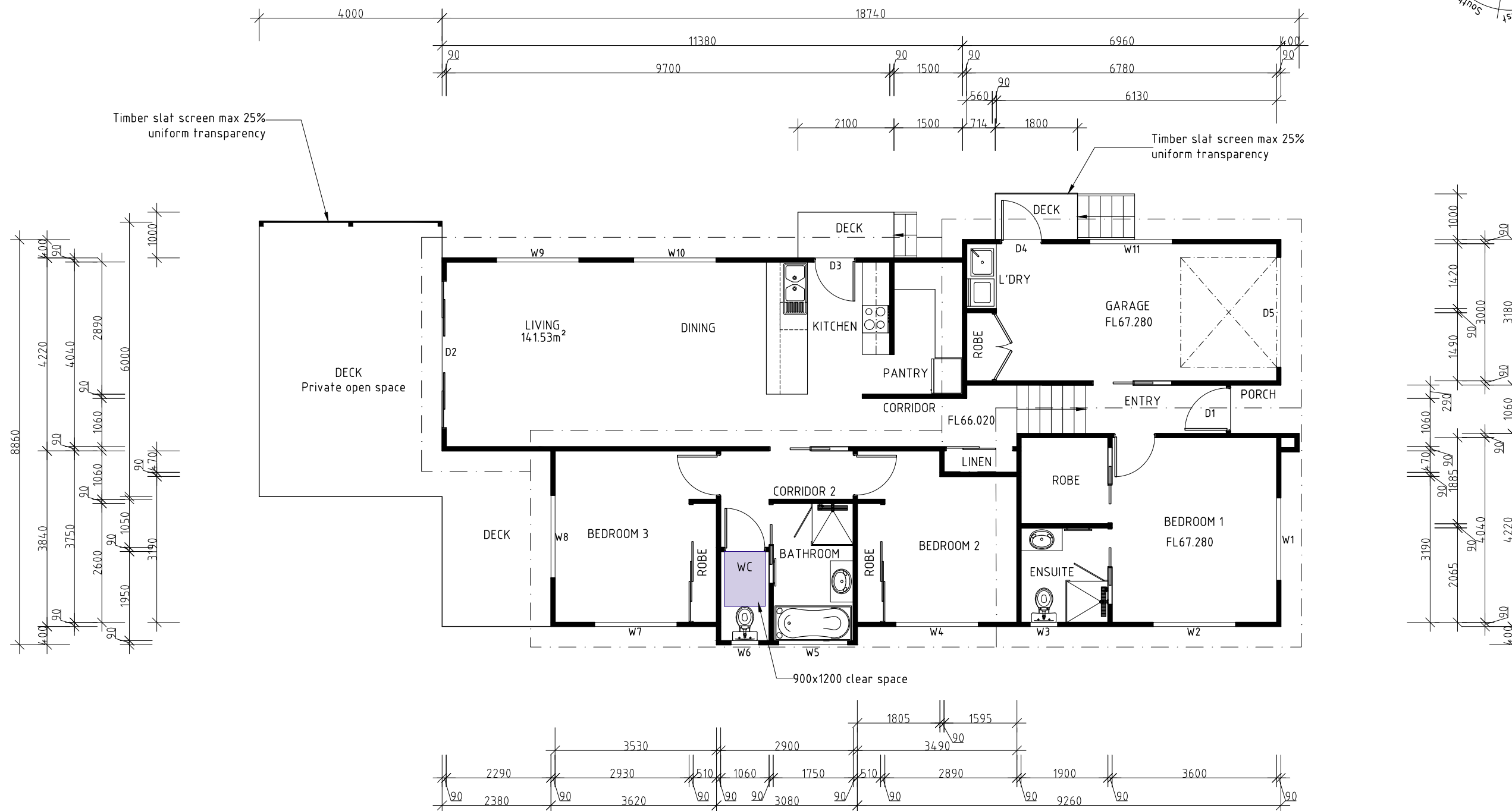
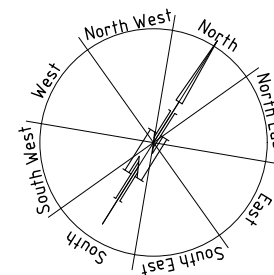
AMENDED

DATE
06/07/2026

DRAWING NO.
01 OF 09

DRAWN BY G. Tilley
email: gtilley7@gmail.com
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H
© copyright 2026 2826



60 Greenville

AREAS:	
Residence	141.53m ²
Deck	33.13m ²

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR
SJM PROPERTY DEVELOPMENTS PTY LTD AT
LOT 7, 60 GREENVILLE ESTATE ROKEBY
7019

PLAN

SCALE 1:100
0 1000 2000

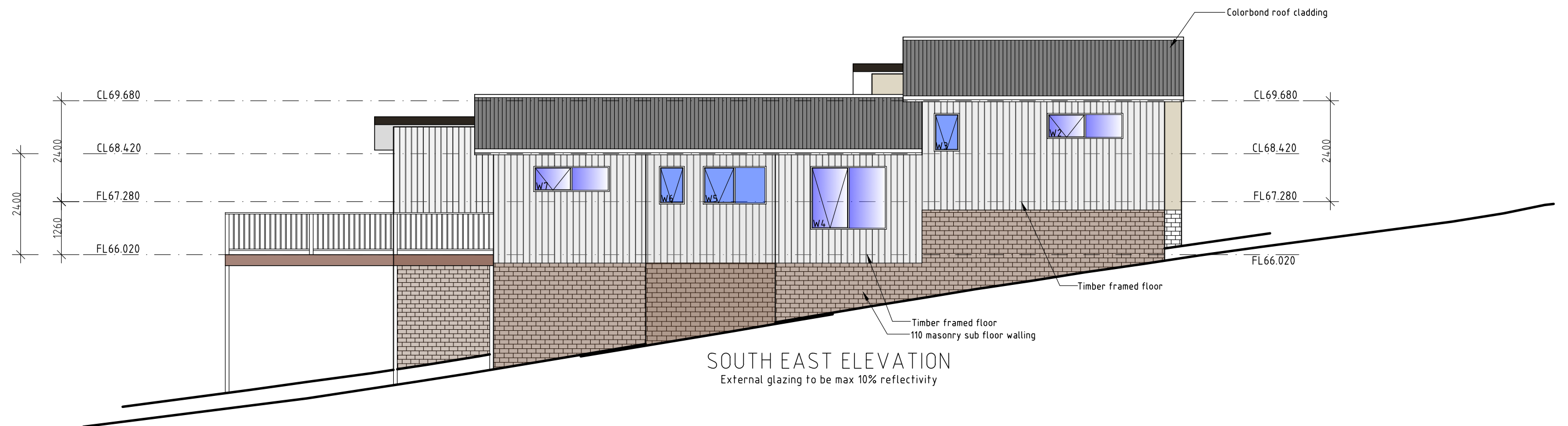
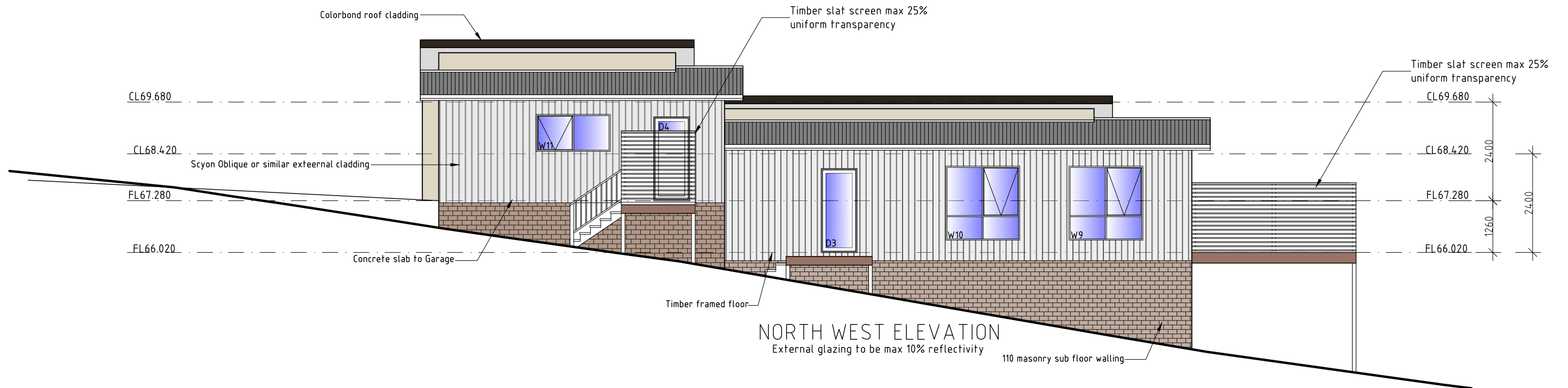
AMENDED

DATE
06/07/2026

DRAWING NO.
02 OF 09

DRAWN BY G. Tilley
email: gtilley7@gmail.com
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H
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DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR
SJM PROPERTY DEVELOPMENTS PTY LTD AT
LOT 7, 60 GREENVILLE ESTATE ROKEBY
7019

ELEVATIONS

SCALE 1:100
0 1000 2000

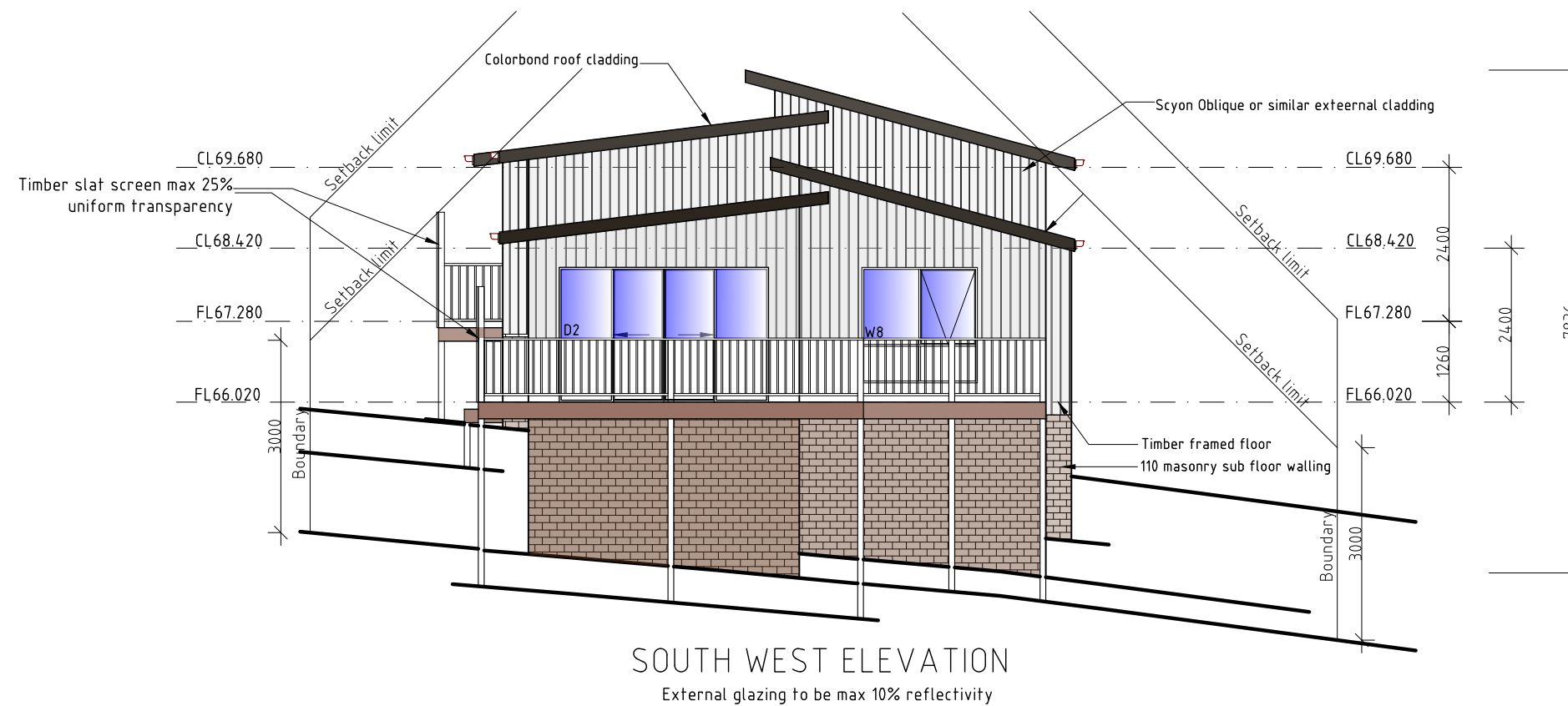
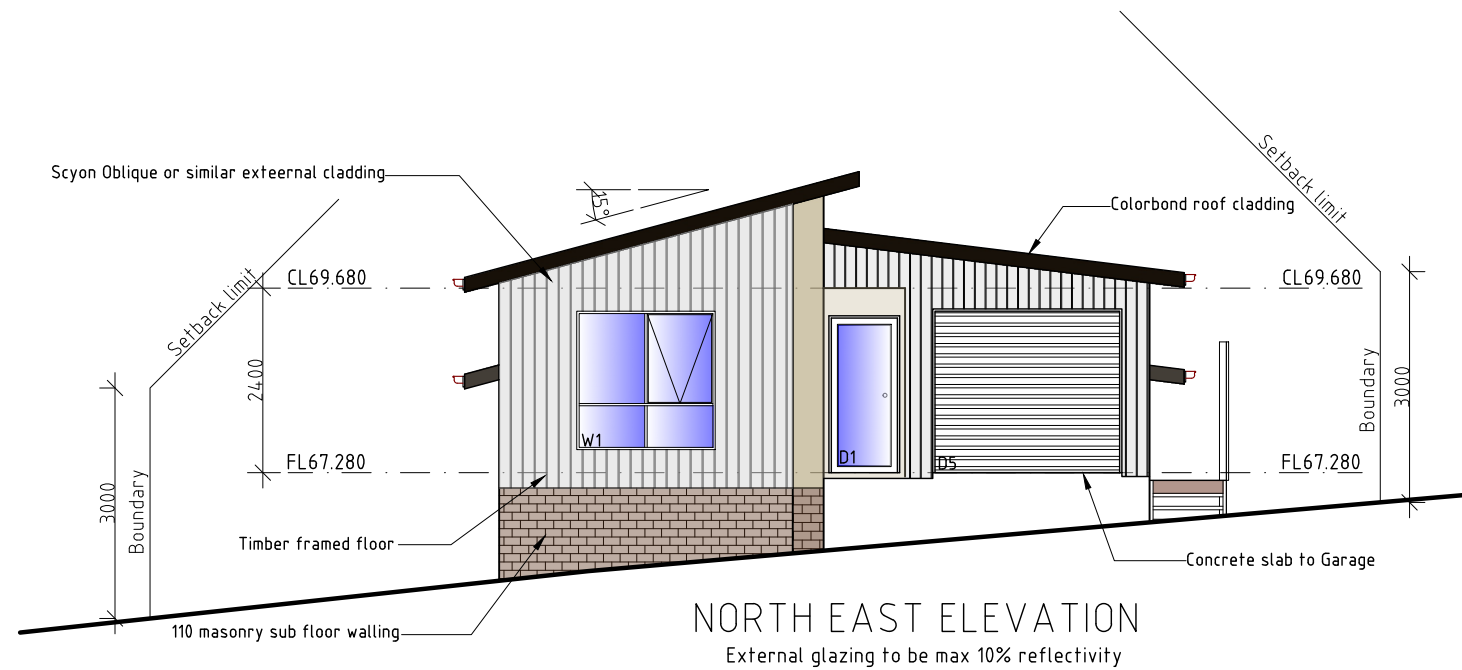
AMENDED

DATE
06/07/2026

DRAWING NO.
03 OF 09

DRAWN BY G. Tilley
email: gtilley7@gmail.com
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H
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DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR
SJM PROPERTY DEVELOPMENTS PTY LTD AT
LOT 7, 60 GREENVILLE ESTATE ROKEBY
7019

ELEVATIONS

SCALE 1:100
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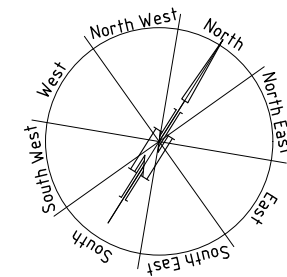
AMENDED

DATE
06/07/2026

DRAWING NO.
04 OF 09

DRAWN BY G. Tilley
email: gtilley7@gmail.com
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H
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- Downlight point
Recessed downlights to be MARTEC, GENISIS
Fully sealed recessed downlight 100° beam or similar
- Surface (ceiling/wall) mounted batten
light fitting with 12 watt LED globe
- Surface mounted 28 watt fluorescent light fitting
- Combination light, fan & heat lamp unit
4/200 watt heat lamps (not included in calculation)
- Up/down exterior wall light 12 watt LED,
1800mm above FL.
- Surface or wall mounted external security sensor
light with 20 watt LED globes
- RH Range hood

For dimmer switch location, refer to lighting calculations.
External lights to be controlled by daylight sensor, or have an average light source efficacy of not less than 40 Lumens/watt.
All Bathroom fans to be fitted with backdraught dampers/shutters, and to be ducted directly to outdoor air.
See attached Lighting calculation.

Interconnected photoelectric smoke alarms.

A.C. Wall mounted reverse cycle heat pump, indoor unit. Size based off 6kW system

A.C. Inv Ground based reverse cycle heat pump outdoor unit. Size based off 6kW system.

HWC Hot Water Cylinder

ROOM	AREA m ²
Garage & L'Dry	20.34
Porch	1.16
Entry	3.26
Bedroom 1	14.54
Robe	3.58
Ensuite	3.92
Corridor	5.49
Corridor 2	4.18
Bedroom 2	10.52
Bathroom	5.25
WC	2.06
Bedroom 3	11.62
Kitchen, Dining, Living	38.49
Pantry	4.33
Deck	33.13
Deck 2	2.10
Deck 3	1.83

ROOF VENTILATION

SUPPLY

Continuous gap at eaves it:
25mm for <16° pitch
10mm for >16° pitch

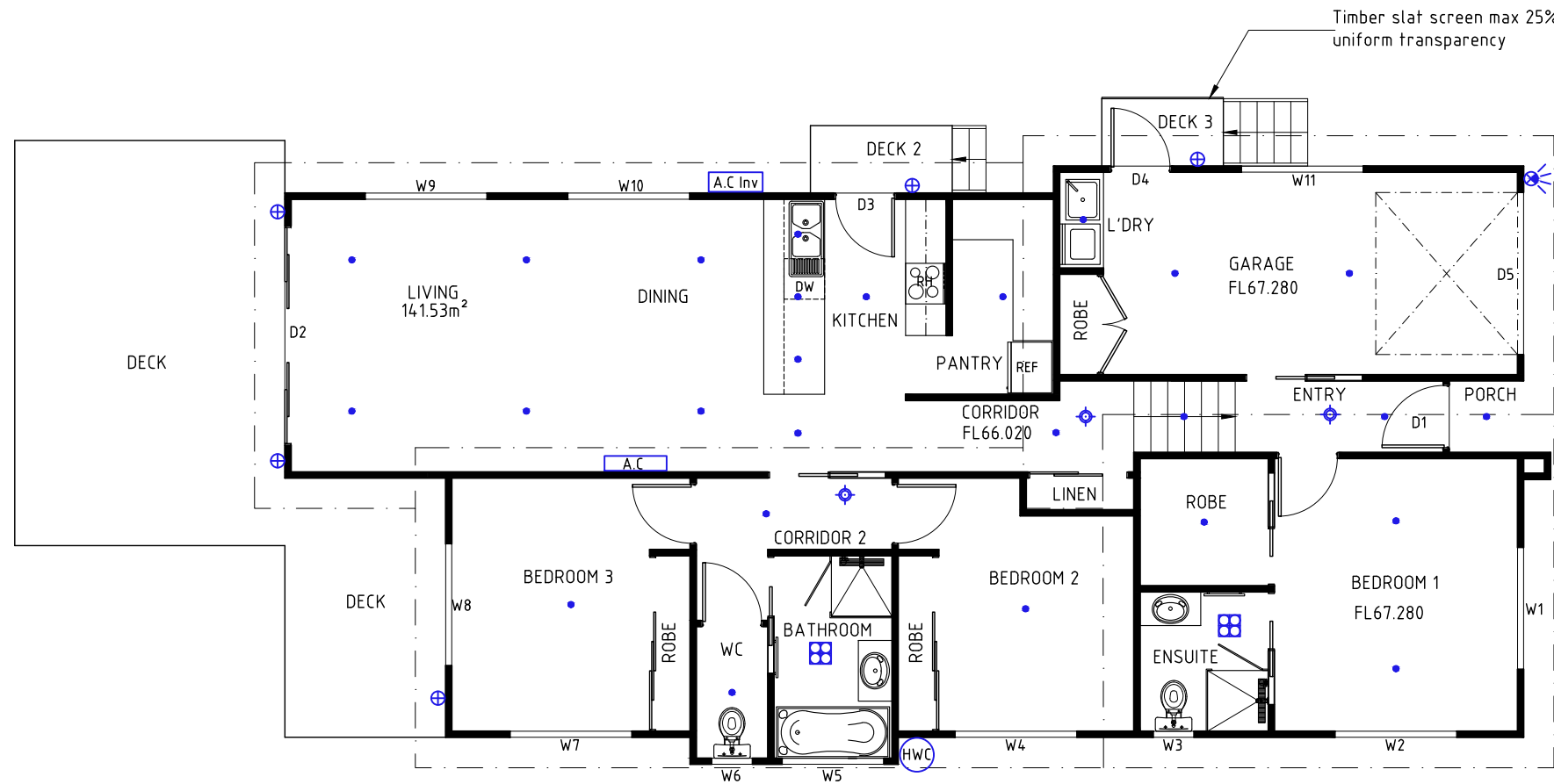
EXHAUST

Continuous gap at ridge is min.
5mm for all roof pitches.

Refer to ABCB Housing Provisions
Table 10.8.3 for alternative.

AREAS:

Residence	141.53m ²
Deck	33.13m ²



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PROPOSED RESIDENCE FOR
SJM PROPERTY DEVELOPMENTS PTY LTD AT
LOT 7, 60 GREENVILLE ESTATE ROKEBY
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REFLECTED CEILING PLAN

SCALE 1:100
0 1000 2000

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DATE
06/01/2026

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05 OF 09

DRAWN BY G. Tilley
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NCC Vol. 2 2022
 ABCB Housing Provisions Part 11.3.7 Protection of openable windows – bedrooms
 (1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath.
 (2) Where the lowest level of the window opening covered by (1) is less than 1.7 m above the floor, the window opening must comply with the following:
 (a) The openable portion of the window must be protected with -
 (i) a device capable of restricting the window opening; or
 (ii) a screen with secure fittings.
 (b) A device or screen required by (a) must -
 (i) not permit a 125mm sphere to pass through the window opening or screen; and
 (ii) resist an outward horizontal action of 250N against the -
 (A) window restrained by a device; or
 (B) screen protecting the opening; and
 (iii) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
 (3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865mm above the floor is required to an openable window in addition to window protection.
 (4) A barrier covered by (3) must not -
 (a) permit a 125mm sphere to pass through it; and
 (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

ABCB Housing Provisions Part 11.3.8 Protection of openable windows – rooms other than bedrooms
 (1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
 (2) The openable part of the window covered by (1) must be protected with a barrier with a height of not less than 865mm above the floor.
 (3) A barrier required by (2) must not -
 (a) permit a 125mm sphere to pass through it; and
 (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

LEGENDS & NOTES
 Flyscreens to be fitted to all openable windows and doors.
 Glazing requirement as outlined in the attached Glazing Calculator.
 Alternative options from glazing supplier may be presented to the Designer and Building Surveyor in the form of a new Glazing Calculator.
 Glazing types available in Tasmania can be access at www.wers.net
 Shower screens:
 1800H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.2 & AS 1288:2021. Minimum 4mm thick Grade A toughened & toughened laminated safety glass, labelled to comply with industry standards.
 Opaque bands:
 Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible in accordance with ABCB Housing Provisions Part 8.4.7, as follows:
 - Marking in the form of an opaque band not less than 20mm in height;
 - The upper edge is not less than 700mm above the floor;
 - The lower edge is not more than 1200mm above the floor.
 Flashings to wall openings:
 All openings must be adequately flashed using materials that comply with AS/NZS 2904.

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047:2014. ALL OTHER GLASS TO COMPLY WITH AS 1288:2021

PROVIDE WEATHER STRIPPING TO ALL EXTERNAL DOORS & WINDOWS.

WINDOW SCHEDULE

Window	Size (w)	Size (h)	Setout	Operation	Area (m ²)	Vent. (m ²)	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
W.1	1800	1800	Sill @ 300 Head @ 2100	Awning	3.24	1.13	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			
W.2	1800	600	Sill @ 00 Head @ 2040	Fixed	1.08	0.53	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE			
W.3	600	900	Sill @ 1200 Head @ 2100	Awning	0.54	0.54	U-Value 4.3 or less SHGC = 0.55 or less	Frosted double glazing	Aluminium	SE	Frosted		
W.4	1800	1500	Sill @ 600 Head @ 2100	Awning	2.7	1.33	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SE			
W.5	1500	900	Sill @ 1200 Head @ 2100	Awning	1.35	0.66	U-Value 4.3 or less SHGC = 0.55 or less	Frosted double glazing	Aluminium	SE	Frosted		
W.6	600	900	Sill @ 1200 Head @ 2100	Awning	0.54	0.54	U-Value 4.3 or less SHGC = 0.55 or less	Frosted double glazing	Aluminium	SE	Frosted		
W.7	1800	600	Sill @ 1500 Head @ 2100	Sliding	1.08	0.53	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			
W.8	1800	1800	Sill @ 300 Head @ 2100	Awning	3.24	1.13	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			
W.9	1800	1800	Sill @ 300 Head @ 2100	Awning	3.24	1.13	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			
W.10	1800	900	Sill @ 1200 Head @ 2100	Awning	1.62	0.79	U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			

DOOR SCHEDULE

Door	Size	Setout	Operation	Area (m ²)	Vent.	Glass value	Glass type	Frame	Orientation	Notes	Lintel	BAL
D.1	920x2040	Sill @ 00 Head @ 2040	Hinged			U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NE			
D.2	3200x2100	Sill @ 00 Head @ 2100	Hinged			U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	SW			
D.3	870x2040	Sill @ 00 Head @ 2040	Hinged			U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			
D.4	870x2040	Sill @ 00 Head @ 2040	Hinged			U-Value 4.3 or less SHGC = 0.55 or less	Clear double glazing	Aluminium	NW			
D.5	2400x2100	Sill @ 00 Head @ 2100	Panel Lift									
D.6												
D.7												
D.8												
D.9												
D.10												
D.11												
D.12												
D.13												
D.14												

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 LOT 7, 60 GREENVILLE ESTATE ROKEBY
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GLAZING SCHEDULES

DATE
 06/ 07/ 2026

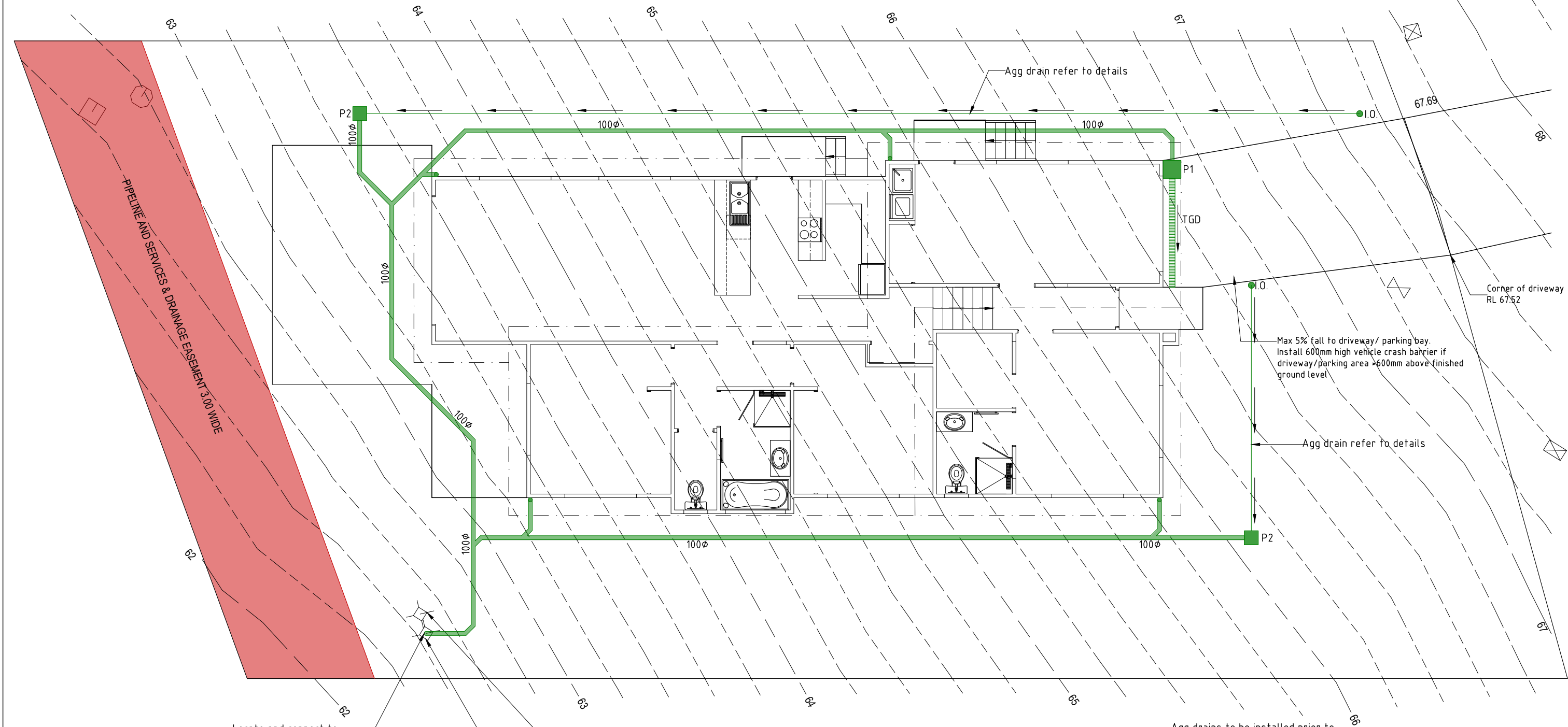
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Locate and connect to
Stormwater Lot connection

Sewer Connection
Lid: 62.38
Invert: 60.79
SW Connection
Lid: 62.37
Invert: 61.25

TGD Trafficable grate drain
P1 450x450 Trafficable pit.
Each grate pit to be fitted with
water quality improvement device.
Designed & installed in accordance
with manufacturers instructions
P2 350x350 grated pit

Agg drains to be installed prior to
slab/footings preparation. Evidence
of the agg drainage installation to
be supplied to the Engineer.

Plumber to confirm the
location of existing on-site
services prior to commencement
of any excavations

S100Ø 100uPVC sewerage
1.67% min. fall

100Ø 100uPVC stormwater
1:100 min. fall

100x100 cast in kerb to downslope
of driveway perimeter
I.O. at each intersection & bend

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STORMWATER CONCEPT PLAN

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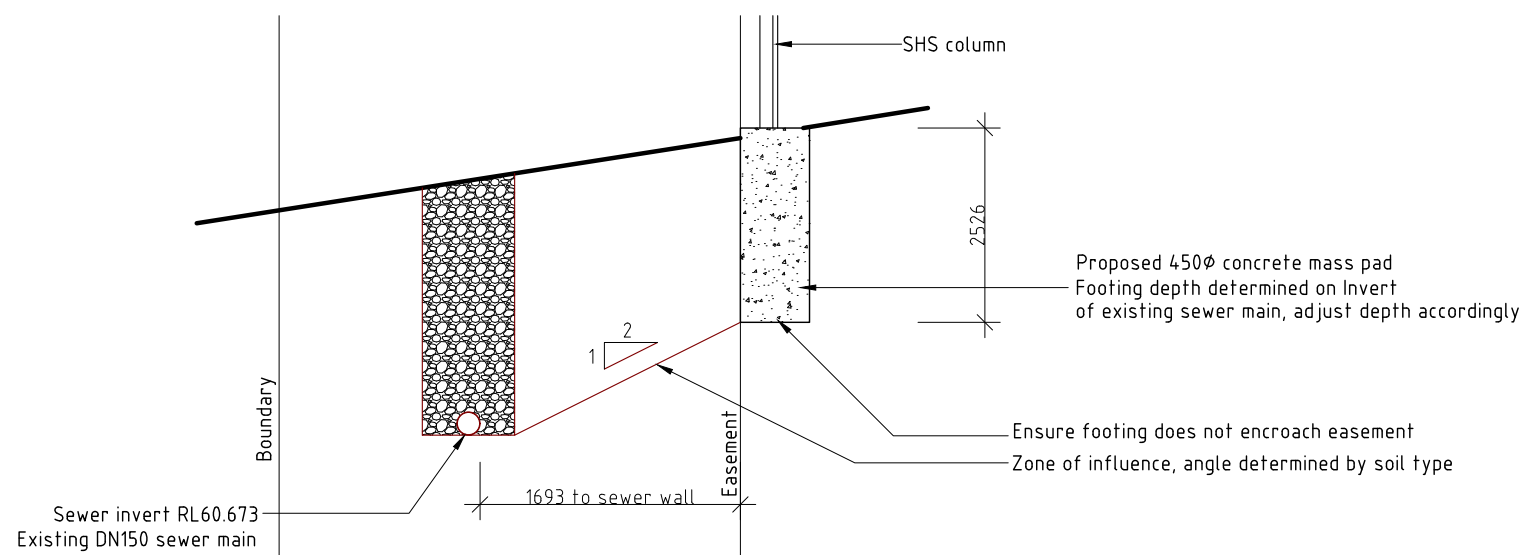
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SOIL TYPE	ANGLE OF SLOPE(H:L)	
	Compacted fill	Cut
Stable rock ¹	2:3	8:1
Sand 1	1:2	1:2
Silt 2	1:4	1:4
Firm Clay	1:2	1:1
Soft Clay	NS	2:3
Soft Soils 2	NS	NS

1 Most sand & rock sites with little or no ground movement from moisture changes

2 Sites include soft soils such as soft clay or loose sands landslip minesubsidence collapsing soils soils subject to erosion reactive sites subject to abnormal moisture conditions or sites which cannot be otherwise classified

NOTE: Excavations over 1.5m may require benching & or shoring refer to risk assessment

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FOOTING/ SEWER MAIN SECTION

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WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740

WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:
FLOOR: Waterproof entire floor if no preformed shower base provided
WALLS: Waterproof to not less than 1800mm above the floor substrate
WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof internal and external corners and joints
PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:
FLOORS: Entire floor to be water resistant
WALLS/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:
FLOORS: Waterproof entire floor
WALL/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):
FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
WALLS: Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.
WALL JUNCTIONS AND JOINTS:Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof for the extent of the vessel

AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):
FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
HORIZONTAL SURFACES: Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip
WALLS: Waterproof walls to not less than 150mm above the lip of the vessel
WALL JUNCTIONS AND JOINTS: Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof wall/floor junctions 25mm above finished floor level
PENETRATIONS: Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

OTHER AREAS (LAUNDRIES AND WCs):
FLOOR: Water resistant floor to entire room
WALLS: Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of wall
WALL JUNCTIONS AND JOINTS: Waterproof junctions where a vessel is fixed to a wall
WALL/FLOOR JUNCTIONS: Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used
PENETRATIONS: Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

WATERPROOFING SYSTEMS:
Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.

FALLS TO WET AREA FLOORS:
Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.

STEPDOWN SHOWERS:
Where stepdown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.

HOB CONSTRUCTION:
Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.

ENCLOSED SHOWERS WITH LEVEL THRESHOLD:
Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

UNENCLOSED SHOWERS:
Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joins and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

PENETRATIONS:
All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

FLASHINGS/JUNCTIONS:
All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

SHOWER SCREENS:
1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

HYDRAULIC NOTES:
1. All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.
2. The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.
3. Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.
4. Refer to designers drawings and fixture and equipment technical specifications for pipework connections.

- 5. Make good all disturbed surfaces to match existing.
- 6. Remove all excess soil and surplus materials from site.
- 7. All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.
All plumbing & drainage to be in accordance with local Council requirements.
Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.
Stormwater line (100mm uPVC)
Sewer line (100mm uPVC)

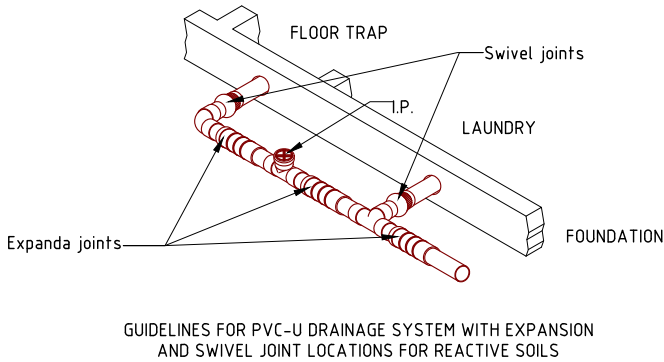
SERVICES
The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia
Thermal insulation for heated water piping must:
a) be protected against the effects of weather and sunlight; and
b) be able to withstand the temperatures within the piping; and
c) use thermal insulation in accordance with AS/NZS 4859.1

- Heated water piping that is not within a conditioned space must be thermally insulated as follows:
- Internal piping:
 - All flow and return internal piping that is -
 - within an unventilated wall spaces
 - within an internal floor between storeys, or
 - between ceiling and insulation and a ceilingMust have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
 - Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
 - All flow and return piping
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
 - Piping located outside the building or in an unenclosed building sub-floor or roof space:
 - All flow and return piping.
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

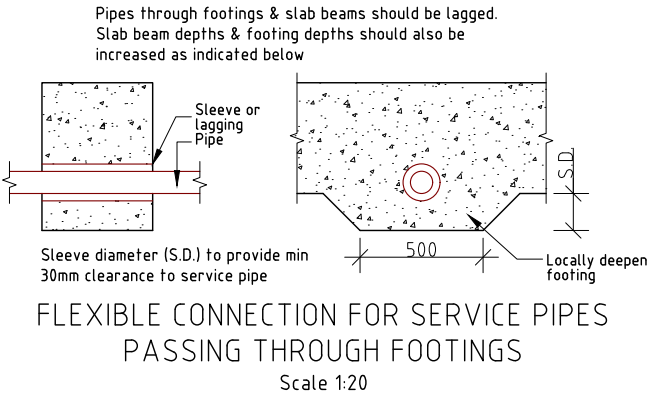
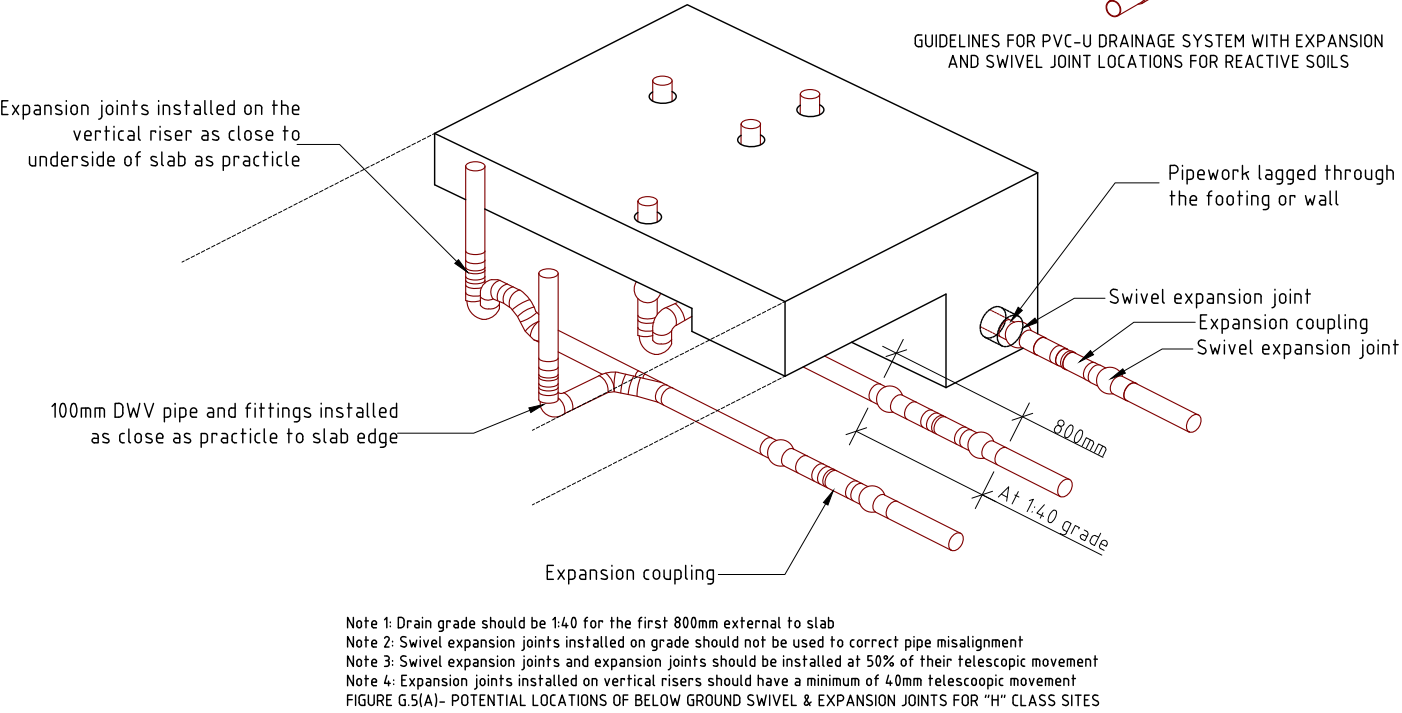
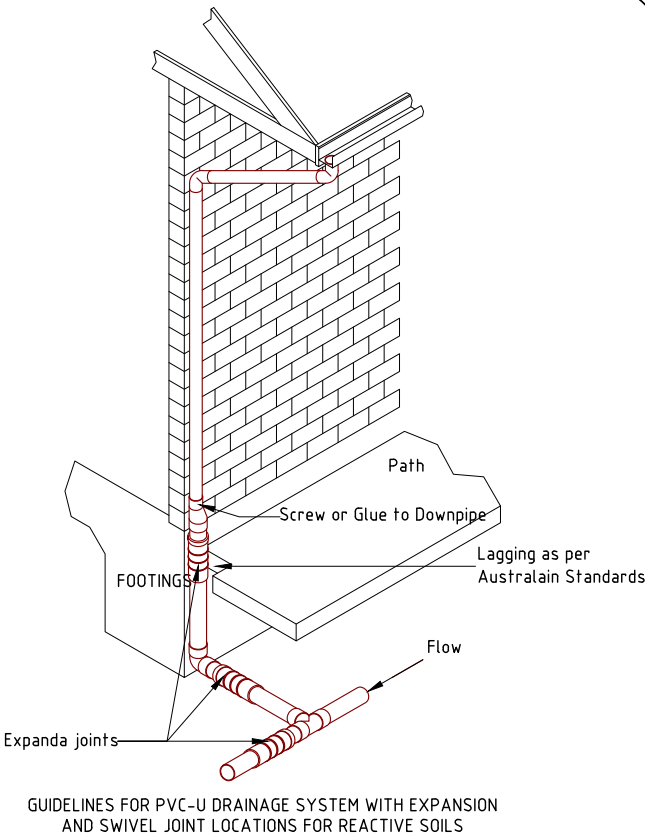
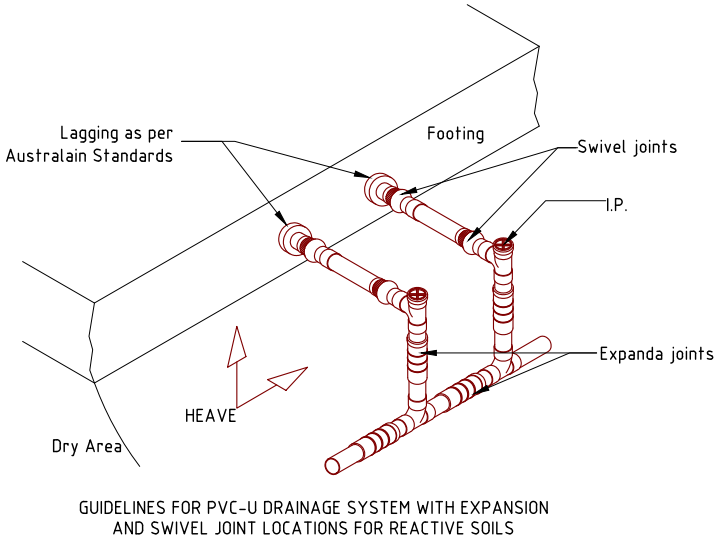
Hot & Cold Water Nominal Diameters		
Branch off takes	Min. DN20	
Max. off take length 6m	DN18	
Max. off take length 3m	DN15	
Max. off take length 1m	DN10	

Insulation Schedule		
Heated Water Pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line	20-25	19mm Bradflex
Offtake	18	13mm Bradflex
Cold Water Pipes Exposed Type	Size Range	Insulation
All	>20	13mm Bradflex
Other Cold Water Pipes Type	Size Range	Insulation
All	All	Not required

NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



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Surface drainage to conform with NCC Vol. 2 Part H2D2.
NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

PROPOSED RESIDENCE FOR
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PLUMBING NOTES

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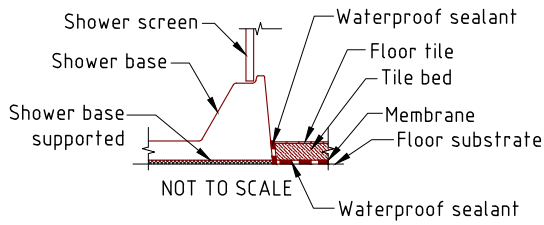
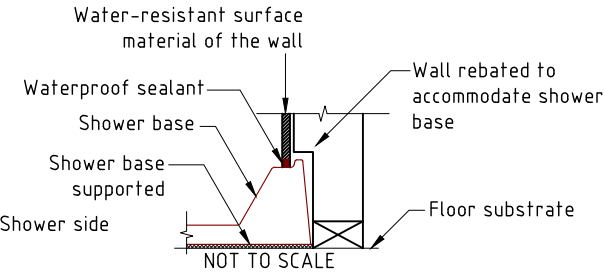
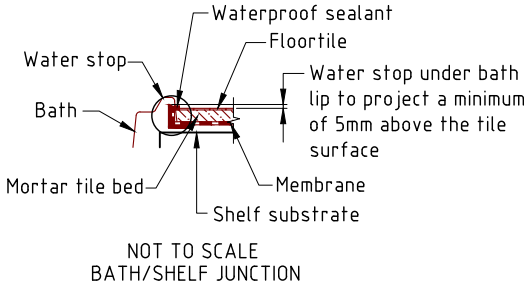
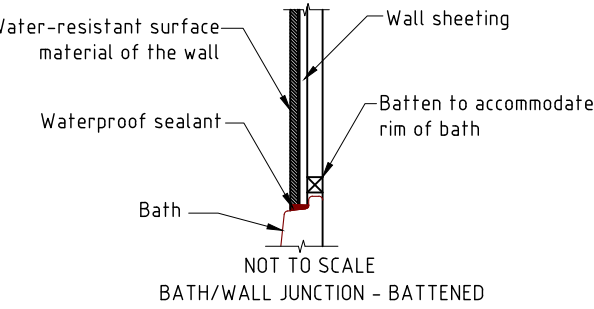
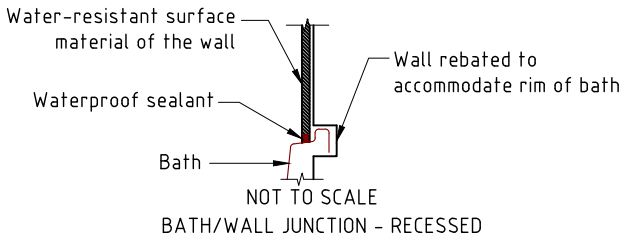
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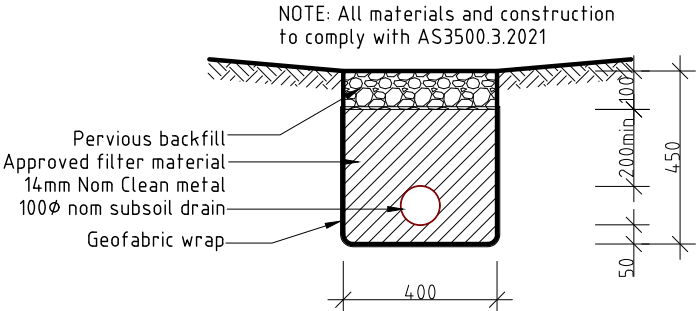
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DELETE THESE DETAILS IF THERE IS NO BATHTUB

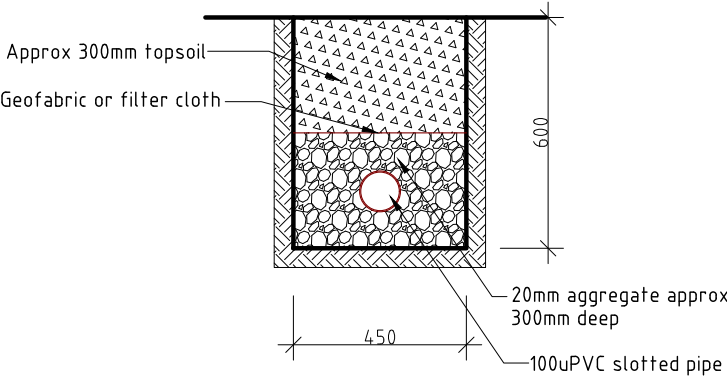


TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION
ON TIMBER FLOORS, INCLUDING PARTICLEBOARD,
PLYWOOD AND OTHER TIMBER MATERIALS
DELETE THESE DETAILS IF THERE IS NO PRE-FORMED SHOWER
BASE

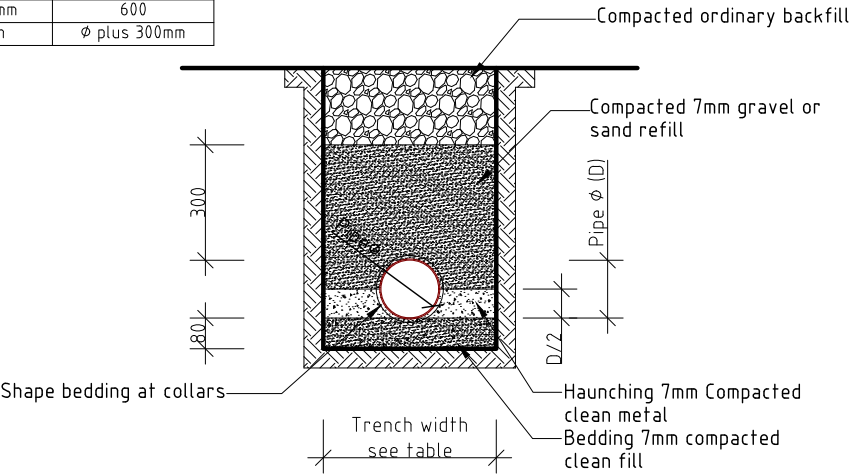


AGG DRAIN DETAIL (TYPICAL)
Scale 1:20

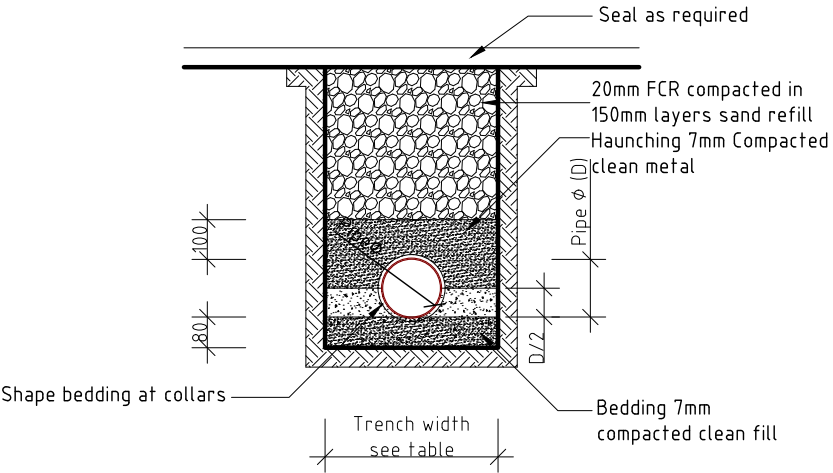
TRENCH WIDTHS	
Pipe diameter	Min. trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	Ø plus 300mm



ABSORPTION TRENCH (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO
NON-TRAFFICABLE AREAS (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO
TRAFFICABLE AREAS (TYPICAL)
Scale 1:20

Surface drainage to conform with NCC Vol. 2 Part H2D2.
NOTE: 50mm fall required over first 1m from building.

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PLUMBING DETAILS

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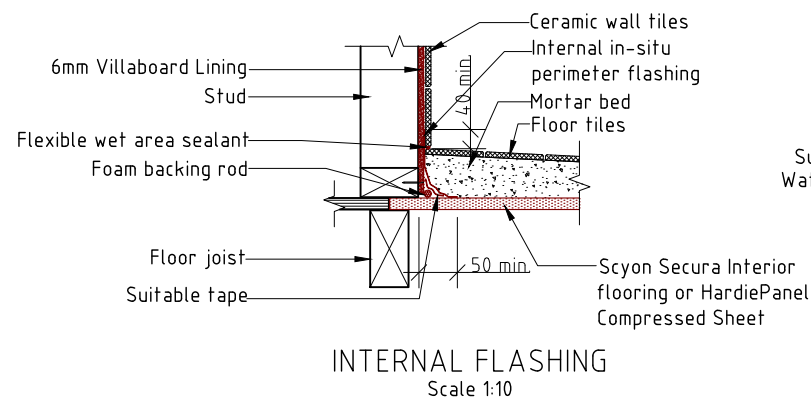
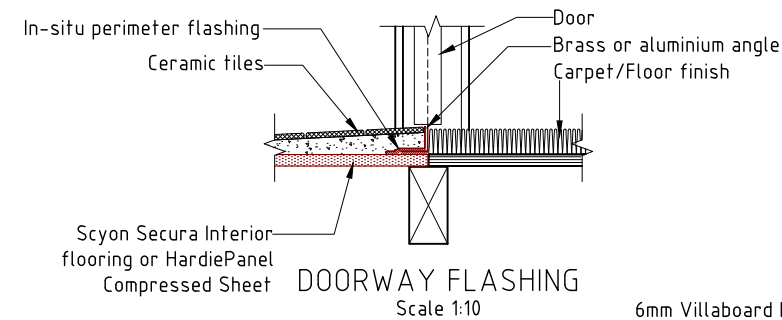
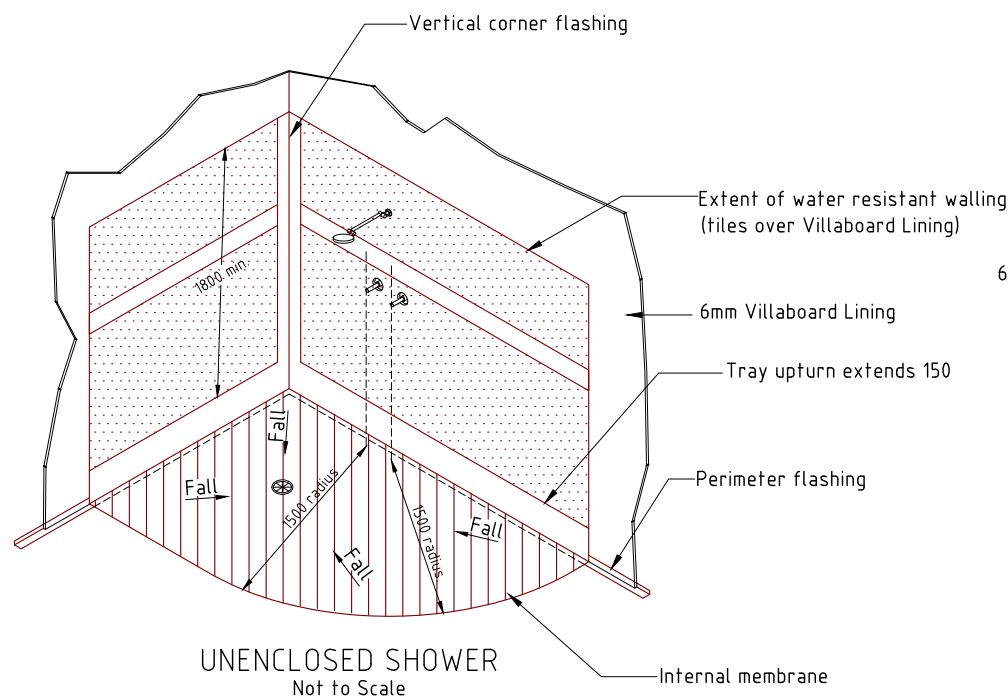
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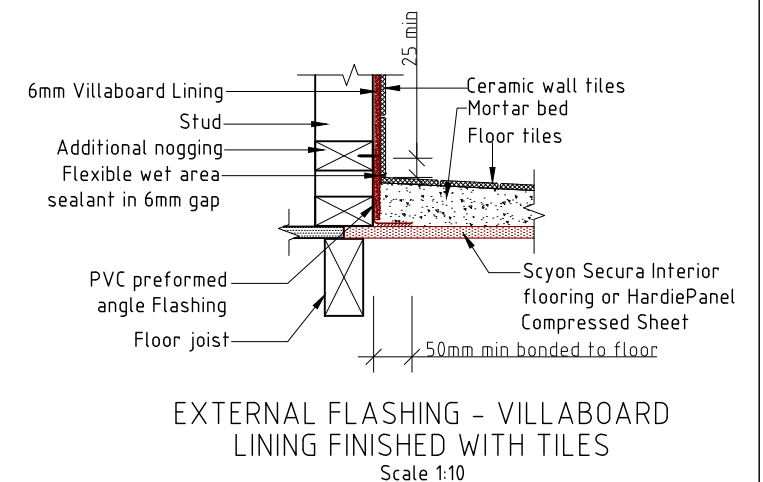
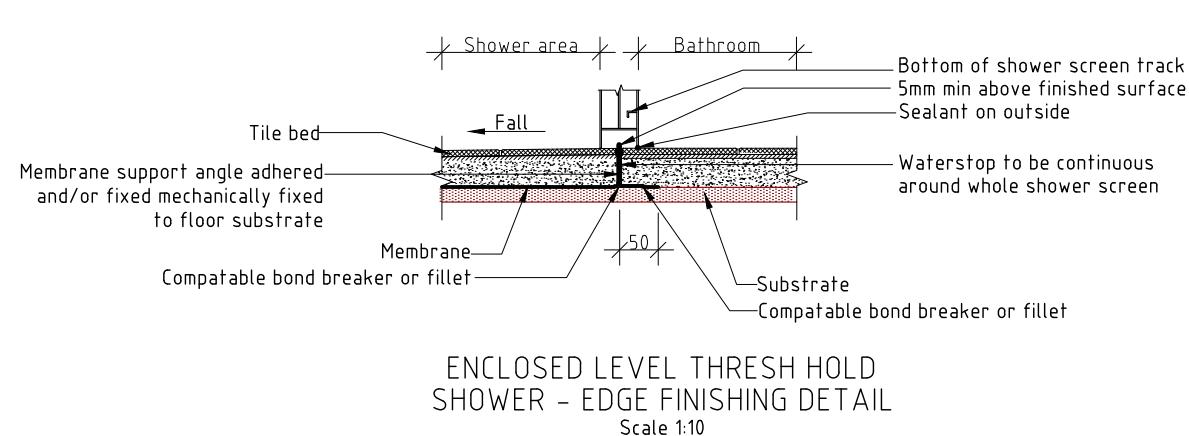
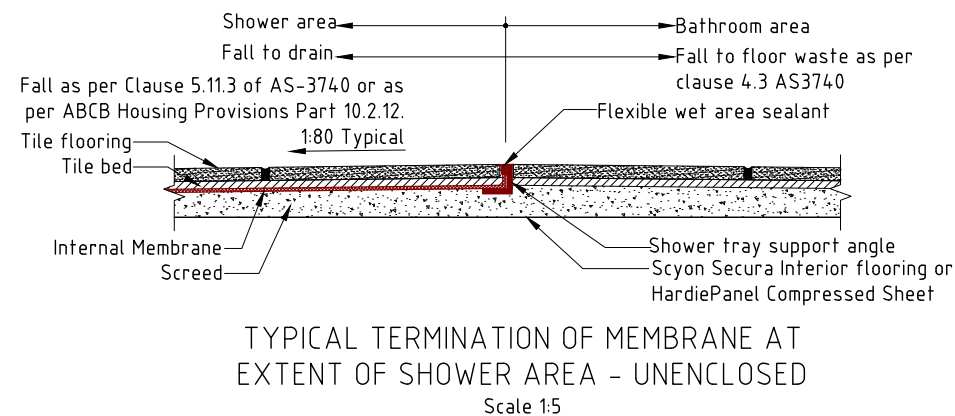
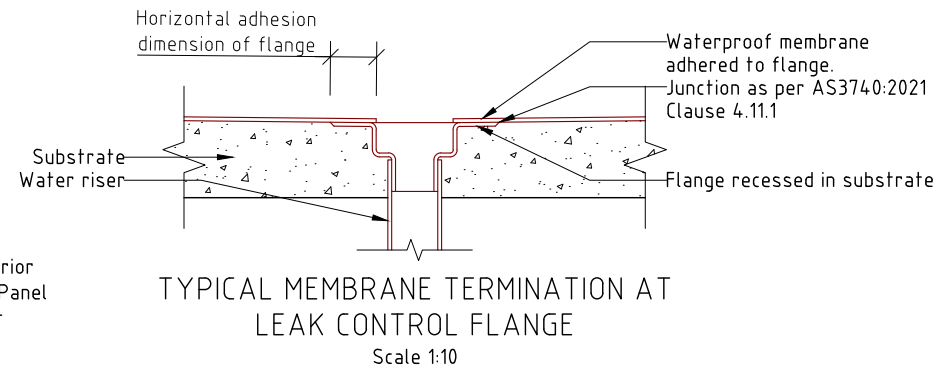
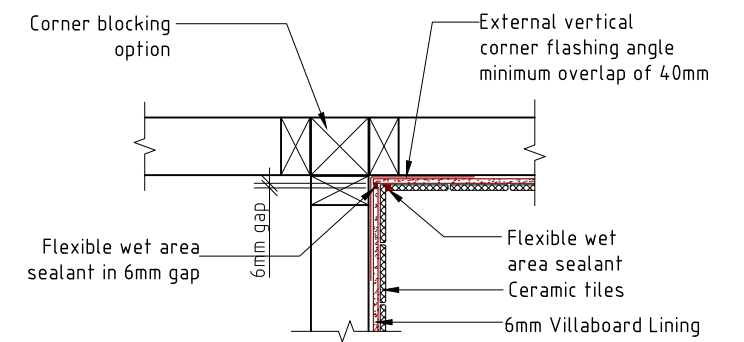
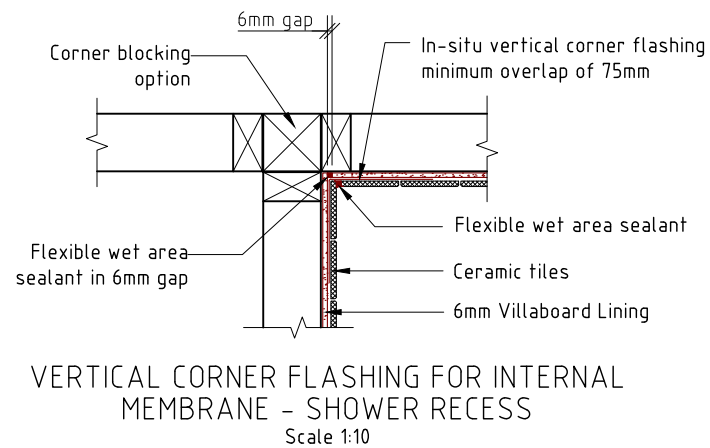
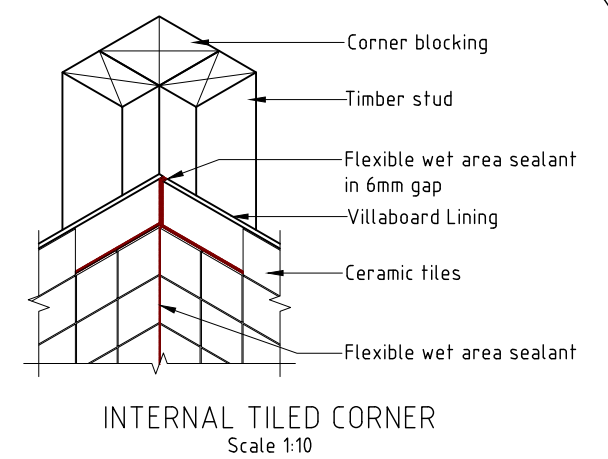
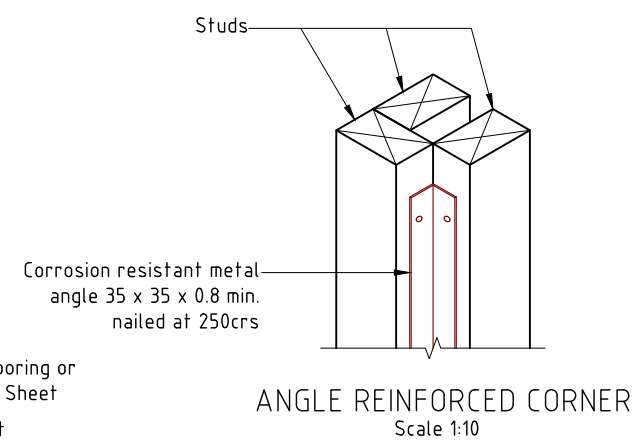
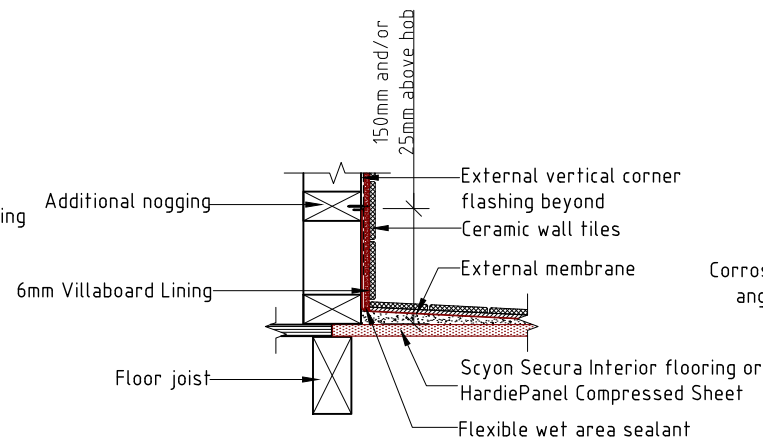
DRAWING NO.
09 OF 09

DRAWN BY G. Tilley
email: gtilley7@gmail.com
phone ph 0400 671 582

Certified: G. Tilley Accreditation No.CC620H
C copyright 2026 2826



EXTERNAL MEMBRANE -
VILLABOARD LINING
Scale 1:10



DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR
SJM PROPERTY DEVELOPMENTS PTY LTD AT
LOT 7, 60 GREENVILLE ESTATE ROKEBY
7019

PLUMBING DETAILS

SCALE 1:10
0 100 200

AMENDED

DATE
06/07/2026

DRAWING NO.
00 OF 09

DRAWN BY G. Tilley
email: gtilley7@gmail.com
phone ph 0400 671 582

Accreditation No.CC620H
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BUSHFIRE HAZARD REPORT



Proposed residential dwelling
60 Dolina Drive
Rokeby, 7019

Dated 9th July 2026
Report by David Lyne BFP-144
Version 2.0 – addition of deck

11 Granville Avenue
Geilston Bay, 7015
M: 0421 852 987
dave_lyne@hotmail.com

Contents

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Appendix A – Topographic Map with Cadastral & Contour Overlay - indicates subject site

Appendix B – Site photos and designers site plan

Appendix C – Bushfire Hazard Management Plan, by David Lyne – certified date 09.07.2026; & Certificate of Others (Form 55) 1824/26

1. Introduction

I have been engaged by SJM Property Developments to prepare a bushfire report and plan for a new residential dwelling in the suburb of Rokeby. The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully developed for the dwelling in accordance with the Directors Determination – bushfire hazard areas v1.2.

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report should be included with approval documentation forming part of the certified documentation intended to satisfy the Directors Determination. The body of the report describes the site and assesses the requirements to be implemented to satisfy the requirements of the Directors Determination.

2. Limitation of Report

This report has been prepared for the above mentioned clients for their use and distribution only. The intent of the report is to provide supporting documentation for the Development Application (specifically vegetation clearance/maintenance distances) and the Building Application. Should submitted Application Plans differ from the Certified Plans in this report then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of AS3959-2018.

It is also to be noted that the assessment has been conducted according to the site inspection being conducted in May 2026 and does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognises that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward), *It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

This level of residual risk is inherent in all bushfire standards and also applies to this assessment.

3. Site Description and Background

60 Dolina Drive is an existing land parcel located in the municipality of the Clarence Council. The property is currently low threat vegetation, with neighbouring properties currently low threat to the north, south and east, with some unmanaged to the west. There is a registered firetrail/walking track along the western boundary of the property that separates the woodland vegetation, and the residential allotments with a distance ranging from 17m to 19m of separation.

The site has access to a pre-approved public road – Dolina Drive, which links to Winterborne Road and in turn Pass Road. This allotment is provided with a reticulated hydrant water supply for firefighting, with an existing hydrant located to the east of the front boundary.

3.1 Property Details

Address: 60 Dolina Drive, Rokeby 7019

Municipality: Clarence Council

Zoned: General Residential

Lot Number: 184319/7

Type of Development: New residential dwelling

Classified BAL: **BAL-19**



Appendix A: Photo 1 – Site Analysis with Cadastral Overlay – Subject site highlighted blue.

3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018. The Bushfire-Prone vegetation affecting the site is predominantly **Woodland – Group B** in accordance with AS3959-2018. In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Directors Determination it is evident the proposed dwelling location is within 100 metres of greater than 1 hectare of vegetation classified in accordance with AS 3959-2018 and is therefore considered '*Bushfire Prone*'. It should be also noted that Clauses C2.2.3.1 and C2.2.5 of AS3959-2018 state that a sufficient level of distance must be used to determine the vegetation classification and the effective slope which may necessitate the consideration of vegetation out to distances in excess of 100m from the site. As such the classified vegetation and effective slope under the vegetation has been assessed over a distance of 140m of the site.

From the proposed dwelling site, a 360° survey has been conducted to determine the vegetation type, proximity and slope under the vegetation which is of the highest hazard rating. In this case the **Woodland** is the highest hazard vegetation surrounding the proposed dwelling.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard. Appendix A above indicates the Bushfire Prone Vegetation described. Refer to Appendix B for current conditions as at time of inspection.

3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959- 2018.

The *effective* slope under the bushfire prone vegetation is generally Upslope/Flatland to the north and east; downslope 0-5° to the south; and downslope 5-10° to the west.

Refer to Appendix A Image for topographic contour information.

4. Bushfire Assessment

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed dwelling site. In accordance with the Directors Determination, fire-fighting water supply and vehicle access are also considered and discussed in relation to the proposed dwelling.

It should be noted that AS3959 Table 2.6 only provides BAL ratings for separation distance up to and including 50m from grassland. Therefore, grassland less than 100m but greater than 50m separation from the site has been excluded from assessment.

4.1 Bushfire Attack Level

Considering the current conditions, in accordance with AS3959-2018 the dwelling site is capable of achieving **BAL-19** (the minimum required standard being BAL-29 required by the Directors Determination).

The desired BAL rating to be applied in this instance will be **BAL-19**. The vegetation within the Hazard Management Area (HMA) is to be continually maintained in a minimal fuel condition and in which there are no other hazards present which significantly contribute to the spread of a fire.

Table 1 – Bushfire Attack Level Assessment Summary and Notes

Property Details

Applicants Name	SJM Property Developments	Phone	03 6289 6601
Municipality	Clarence Council	Zoning	General Residential
Certificate of Title/Lot No.	184319/7	Lot Size	555m ²
Address	60 Dolina Drive, Rokeby 7019		

Type of Building Work

New Class 1a Buildings	☒
New Class 10a Building	☐
New Class 2 Building	☐
New Class 3 Building	☐
Alteration/Additions to an existing building	☐

Description of building work: e.g. *single dwelling with attached garage*
New residential dwelling

Bush Fire Attack Level (BAL)

Relevant fire danger index: (see clause 2.2.2)

FDI 50

Assess the vegetation within 100m in all directions (tick relevant group)

Note 1: Refer to table 2.3 and figures 2.3 & 2.4 for description and classification of vegetation.

Vegetation Classification (See Table 2.3)	North ☒	South ☒	East ☒	West ☒
	North East ☐	South-West ☐	South-East ☐	North-West ☐
Group -	Low threat veg.	Woodland	Low threat veg.	Woodland

Exclusions (where applicable)	Circle relevant paragraph descriptor from clause 2.2.3.2			
	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)

Distance of the site from classified vegetation (see clause 2.2.4)

Distance to classified vegetation	Show distances in meters			
	N/A	26m	N/A	24m

Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0° X	Upslope/0°	Upslope/0° X	Upslope/0°
	Downslope			
	>0 to 5° ☐	>0 to 5° X	>0 to 5° ☐	>0 to 5° ☐
	>5 to 10° ☐	>5 to 10° ☐	>5 to 10° ☐	>5 to 10° X
	>10 to 15° ☐	>10 to 15° ☐	>10 to 15° ☐	>10 to 15° ☐
	>15 to 20° ☐	>15 to 20° ☐	>15 to 20° ☐	>15 to 20° ☐

BAL value for each side of the site	BAL-LOW	BAL-12.5	BAL-LOW	BAL-19
Separation to achieve BAL-29	N/A	12-<18m	N/A	15-<23m
Separation to achieve BAL-19	N/A	18-<26m	N/A	23-<32m
Separation to achieve BAL-12.5	N/A	26-<100m	N/A	32-<100m

Construction Requirements

For this particular development a BAL-19 rating would suit all directions of this site, construction will be generally compliant with AS3959 -2018 Sections 3 and 6.

4.2 Road / Vehicle Access

The primary access to the lot is from a sealed public road – Dolina Drive, which connects to Winterborne Road and eventually Pass Road. As there is a hydrant within 120m of the proposed dwelling, there are no requirements to upgrade the driveway and access for firefighting purposes.

4.3 Water supply for firefighting

The proposed development has access to a reticulated water supply suitable for firefighting. There is an existing water hydrant located to the east of the front boundary of the property along Dolina Drive.

4.4 Hazard management area

The minimum extents of the Hazard Management Area (HMA) are for the entirety of the residential allotment to be managed and treated as HMA. Management prescriptions for the proposed HMA are provided in Table 2.

Table 2 - Hazard Management Area Prescriptions

Within 10m of habitable buildings	- No storage of flammable materials (e.g. firewood); - Avoid locating flammable garden materials near vulnerable building elements such as glazed windows/doors, decks and eaves (e.g. non-fire-retardant plants and combustible mulches); - Non-flammable features such as paths, driveways and paved areas are encouraged around habitable buildings.
Trees within HMA	- Maintain canopy separation of approximately 2.0m; - Ensure no branches overhang habitable buildings; - Remove tree branches within 2.0m of the ground level below; - Locate any new tree plantings 1.5 x their mature height from buildings;

	• Avoid planting trees with loose, stringy or ribbon bark.
Understory vegetation within HMA	• Maintain grass cover at <100mm; • Maintain shrubs to <2.0m height; • Shrubs are to be maintained in clumps so as to not form contiguous vegetation (i.e. clumps up to 10sqm in area, separated from each other by at least 10m); • Avoid locating shrubs directly underneath trees; • Periodically remove dead leaves, bark and branches from underneath trees and around habitable buildings.

5. Conclusion

The site has been classified as **BAL-19** as per the assessment processes outlined in AS3959-2018. The separation distances shown above are the areas to be maintained and kept in a way to reduce the fuel loads present in order to achieve lower BAL ratings. For this particular site and for where the proposed building is to be constructed, a **BAL-19** rating is easily achieved and would suit all directions of the site.

6. References

- Directors Determination – Bushfire hazard areas v1.2
- LIST map version. Aerial Photograph [online]. Available from: <http://www.thelist.tas.gov.au/listmap/listmap>
- Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.

Statement

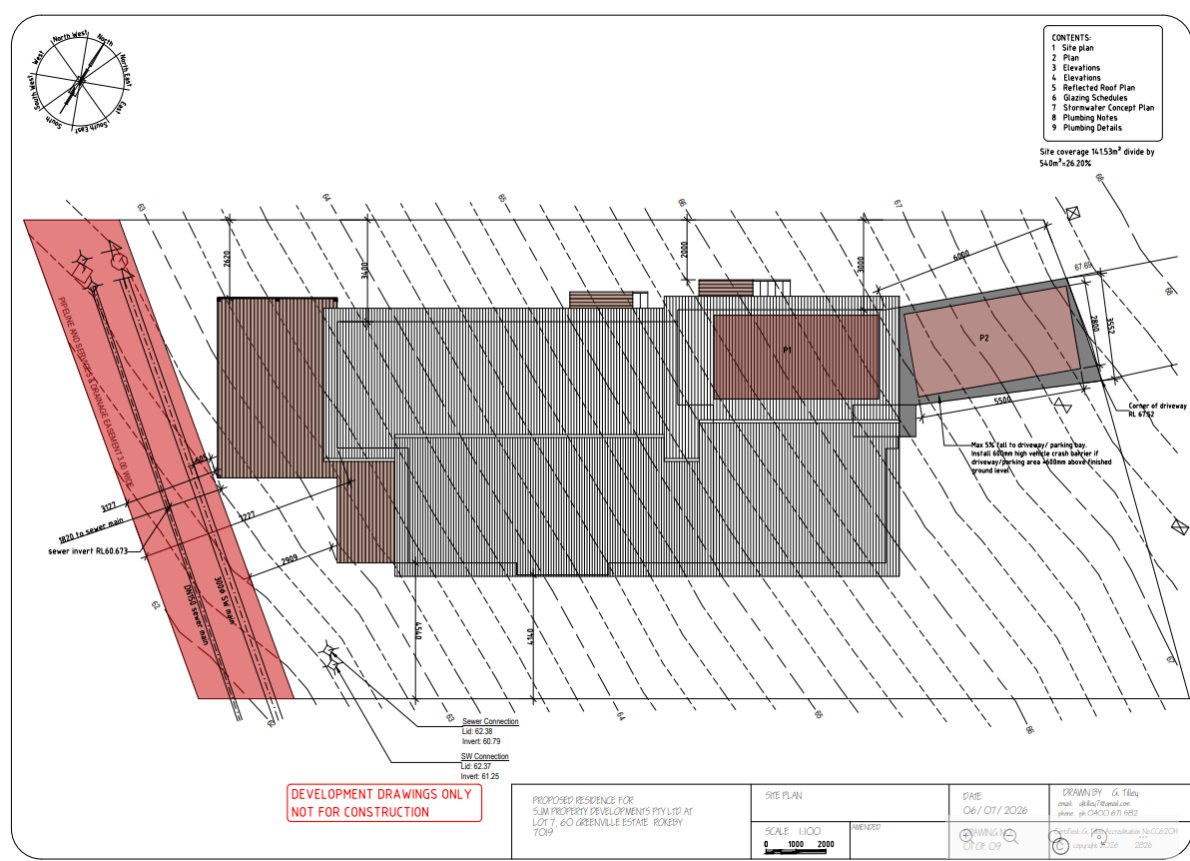
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

It should be noted that this report does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to lack of ongoing maintenance. Compliance with the recommendations contained in this assessment does not mean that there is no residual risk to safety of life or property as a result of bushfire.

Signed:

Date: 09/07/2026.....

Appendix B – Site photos and designers site plan



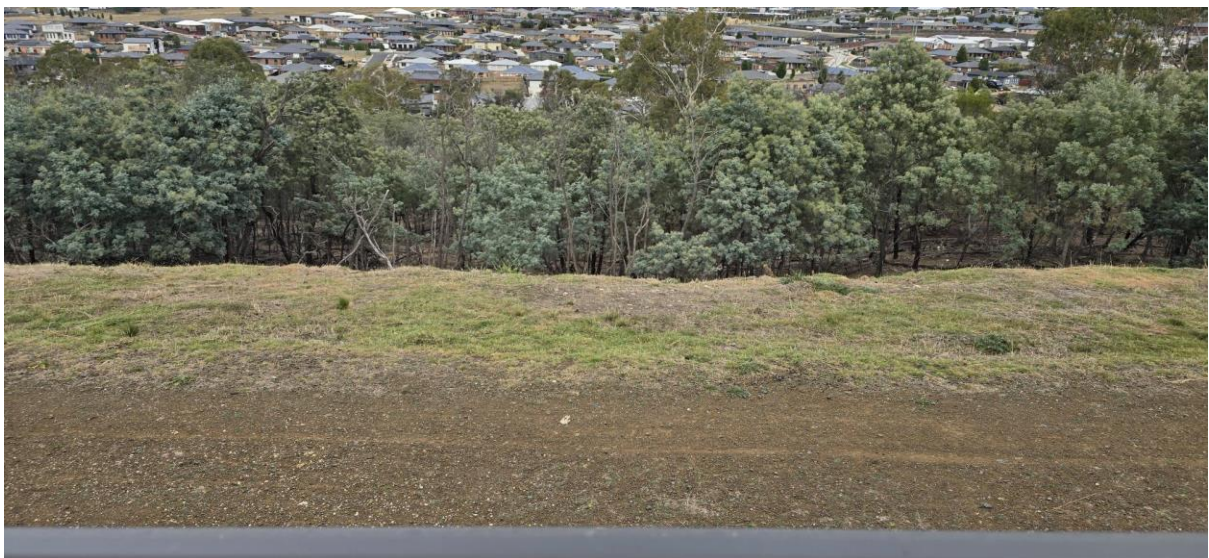
Looking North



Looking South



Looking East



Looking West

HAZARD MANAGEMENT AREAS – HMA
Hazard Management Area includes the area to protect the Building as well as the access and water supplies. The entirety of this allotment should be treated as HMA. Vegetation in the Hazard Management area is to be managed and maintained in a minimum fuel condition.
The HMA is determined from the unmanaged vegetation on neighbouring allotments, and should the level of the unmanaged vegetation increase the BHMP and HMA should be reviewed to determine the ongoing suitability of the BHMP and HMA associated with the development.

- MAINTENANCE SCHEDULE**
- Removal of fallen limbs, leaf and bark litter;
 - Cut lawns short (less than 100mm) and maintain;
 - Remove pine bark and other garden mulch;
 - Complete under-brushing and thin out the under storey;
 - Prune low hanging trees to ensure separation from ground litter;
 - Prune larger trees to establish and maintain horizontal and vertical canopy separation;
 - Maintain storage of petroleum fuels;
 - Maintain access to the dwelling and water storage area Remove fallen limbs, leaf and bark litter from roofs, gutters and around the building;

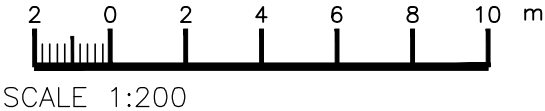
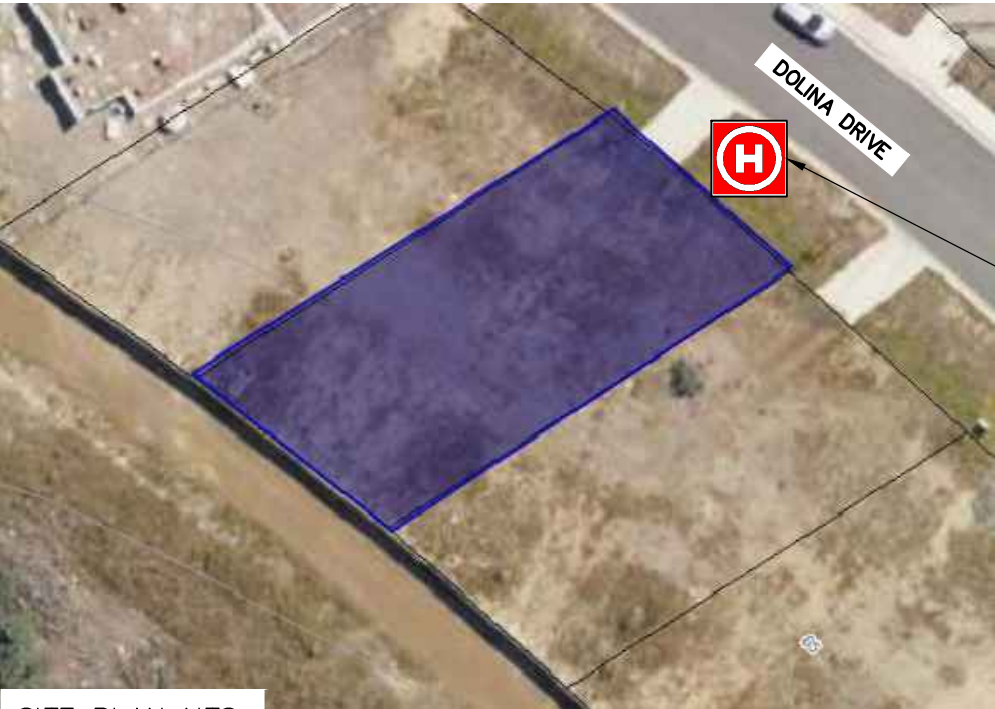
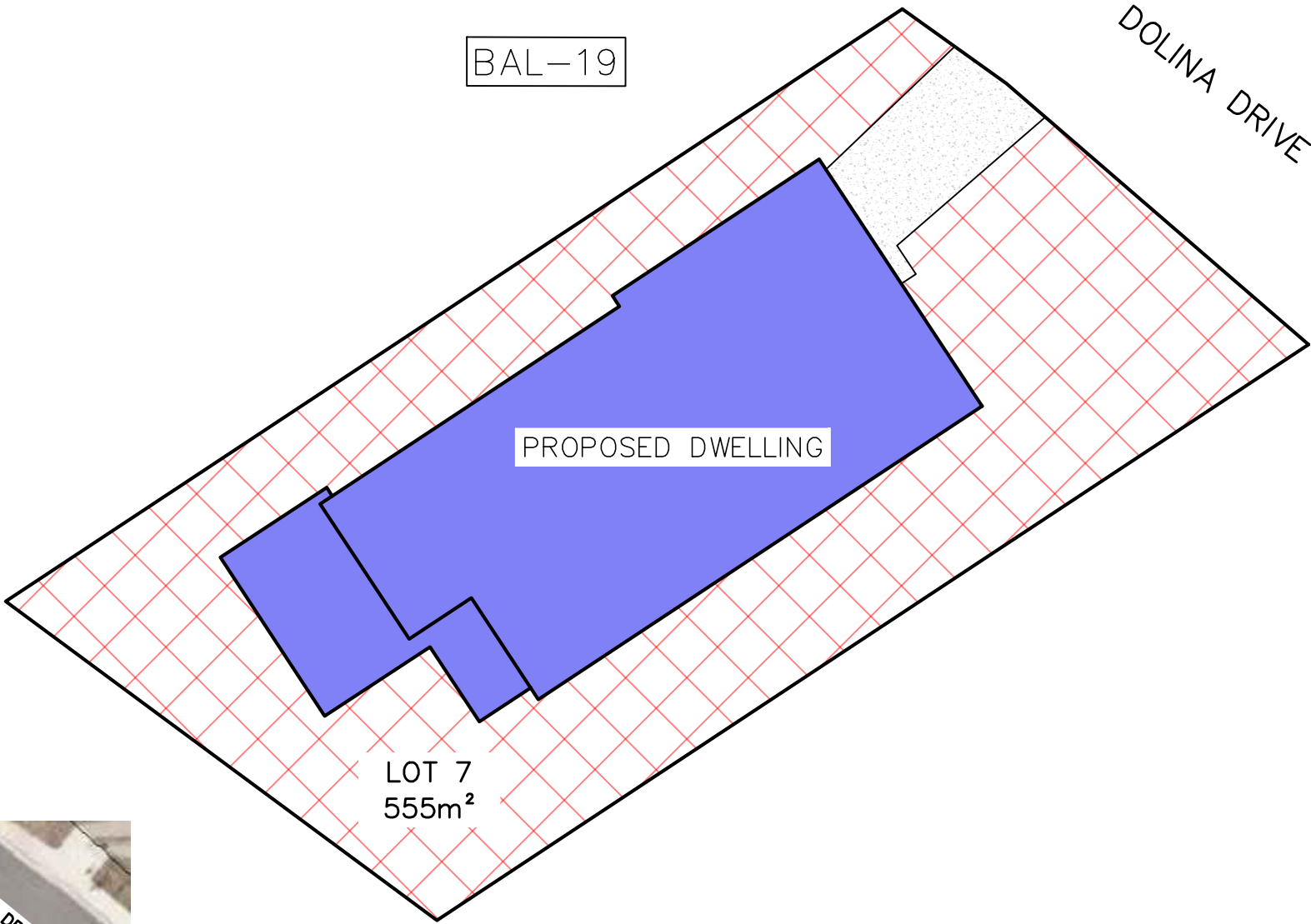
BUSHFIRE PROTECTION MEASURES
To reduce the risk of bushfire attack, continual maintenance of bushfire protection measures including building maintenance, managed vegetation areas, water supply and road construction are to be undertaken by successive owners for perpetuity.

HAZARD MANAGMENT AREA
Low threat, maintained vegetation in accordance with AS 3959 – Clause 2.2.3.2 (e) & (f). Building is to be constructed to meet BAL-19

PLAN TO BE READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) REPORT

NOTIFY COUNCIL AND CERTIFYING BUSHFIRE PRACTITIONER IF ANY VARIATION IN BUILDING SETOUT OR VEGETATION HAZARDS OCCUR

ENSURE THIS PLAN AND ACCOMPANYING REPORT DO NOT CONFLICT WITH OTHER RELEVANT REPORTS AND ASSESSMENTS



BHMP
SCALE 1:200

Prepared By David Lyne – BFP 144

SJM Property Developments
60 Dolina Drive, Rokeby
Tasmania 7019
Job No: 1824

11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
PH: 0421 852 987 EMAIL: dave_lyne@hotmail.com
Accredited Designer: David Lyne CC7063

PLEASE READ CAREFULLY
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREFTER MAY NOT BE POSSIBLE.

FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

SIGNATURES

CLIENT:..... DATE:

CLIENT:..... DATE:

BUILDER:..... DATE:

DWG NO: 1824	SHEET:01
SCALE AT A3: 1:200	DATE:09.07.2026
DRAWN:DL	CHECK:DL
REV	2.0

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person: David Lyne
Address: 11 Granville Avenue Phone No: 0421 852 987
 Geilston Bay TAS 7015 Fax No:
Licence No: BFP-144 Email address: dave_lyne@hotmail.com

Qualifications and Insurance details: Accredited to report on bushfire hazards under Part IVA of the Fire Service Act 1979
(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: Analysis of hazards in bushfire-prone areas
(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: 60 Dolina Drive Lot No: 7
 Rokeby 7019 Certificate of title No: 184319
The assessable item related to this certificate: Assessment – BAL Ratings
(description of the assessable item being certified)
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: Bushfire Hazard
 Bushfire Hazard Management Plan
(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

☒ building work, plumbing work or plumbing installation or demolition work

OR

☐ a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report – New residential dwelling V2.0 Bushfire Hazard Management Plan
Relevant calculations:	• In Accordance with AS3959-2018; and • the Building Regulations (TAS).
References:	• AS3959-2018; • the Building Regulations (TAS); and • Building Code of Australia (BCA).

Substance of Certificate: (what it is that is being certified)

The above mentioned report concludes that a BAL-19 rating is achievable and easily maintained

Scope and/or Limitations

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.
It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2018, which states:

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.

The level of residual risk is inherent in all bushfire standards and also applies to this certification.

The assessment has been undertaken and certification provided on the understanding that; -

1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:	Signed: 	Certificate No: 1824/26	Date: 09/07/2026
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AS2870:2011 SITE ASSESSMENT

60 Dolina Drive

Rokeby

March 2026



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	SJM Property Developments Pty Ltd
Site Address:	60 Dolina Drive, Rokeby
Date of Inspection:	18/03/2026
Proposed Works:	New house
Investigation Method:	Geoprobe 540UD - Direct Push
Inspected by:	C. Cooper

Site Details

Certificate of Title (CT):	184319/8
Title Area:	Approx. 555.7 m ²
Applicable Planning Overlays:	Bushfire-prone areas, Priority Vegetation , Airport obstacle limitation area
Slope & Aspect:	13° SW facing slope
Vegetation:	Grass & Weeds

Background Information

Geology Map:	MRT
Geological Unit:	Permian Sediments
Climate:	Annual rainfall 600mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.50	SM	Silty SAND: trace of gravel, grey, brown, slightly moist, medium dense
	0.50-0.60	CL	Silty CLAY: medium plasticity, brown, slightly moist, stiff,
0.20-0.30	0.60-0.70	GW	Sandy GRAVEL: pale yellow, slightly moist, dense, refusal on rock/boulder.

Site Notes

Soils on the site are developing from Permian sediments. The clay fraction is likely to show slight ground surface movement.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “*Residential Slabs and Footings*”.

The site has been classified as:

Class S

y_s range: **0-20mm**

Notes: that is a slightly reactive clay.

Wind Loading Classification

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

Wind Classification:	N2
Region:	A
Terrain Category:	2.5
Shielding Classification:	PS
Topographic Classification:	T1
Wind Classification:	N2
Design Wind Gust Speed – m/s ($V_{h,u}$):	40

Construction Notes & Recommendations

The site has been classified as **Class S** - slightly reactive clay or silt site, which may experience slight ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for foundation movement.

All earthworks on site must comply with AS3798:2007, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD
Director

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHSIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation; 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^3}{(D_{10})(D_{60})}$	NOTES
	COBBLES	63							
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4	Between 1 and 3	(1) Identify fines by the method given for fine-grained soils. (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.
		medium	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
		fine	GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6	Between 1 and 3	
		medium	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—	—	
		fine	SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—	—	
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Plasticity Chart For classification of fine grained soils and fine fraction of coarse grained soils. Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'					
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
		OL	Organic silts and clays of low plasticity						
	SILTS & CLAYS (Liquid Limit >50%)	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts						
		CH	Inorganic clays of high plasticity, fat clays						
		OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils						

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

1.4 Bearing Capacities and DCP testing.

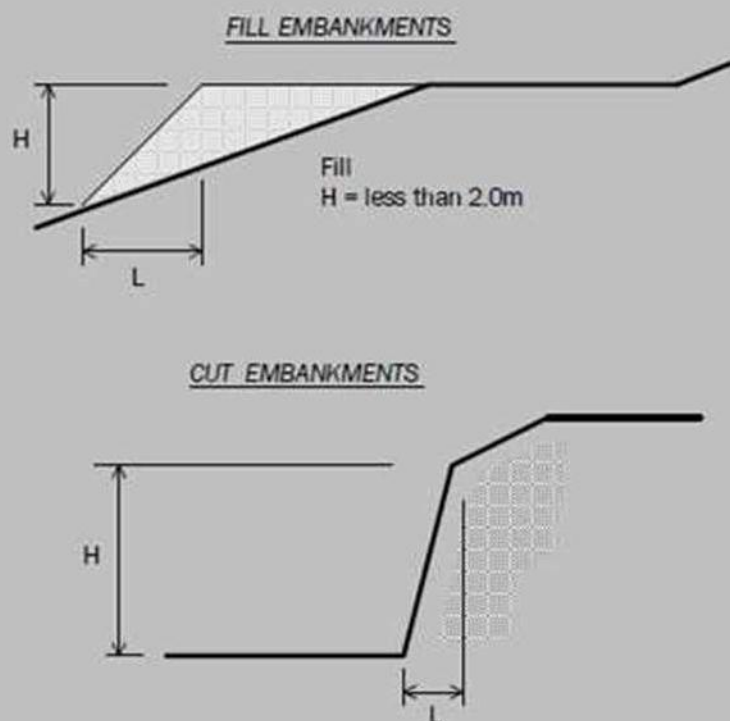
DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)

Note : Retaining walls or other form of soil retaining methods must be adopted where the slope ratio is greater than that indicated in the table below :-



MATERIAL TYPE (refer soils report)		EMBANKMENT SLOPES (Height : Length)	
		Compacted Fill	Cutting
Stable Rock (A*)		2 : 3	6 : 1
Sand (A*)		1 : 2	2 : 3
Silt (P*)		1 : 4	1 : 4
Clay	Firm Clay	1 : 2	1 : 1
	Soft Clay	Not Suitable	2 : 3
Soft Soils (P*)		Not Suitable	Not Suitable

Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

Disclaimer

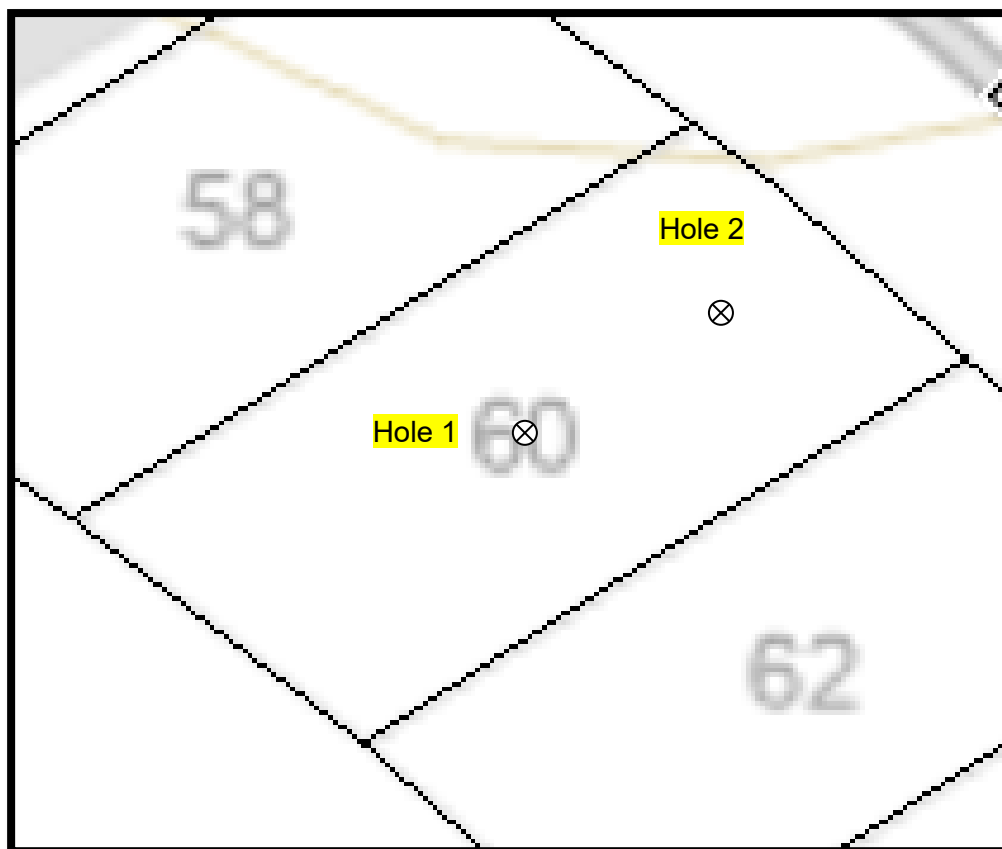
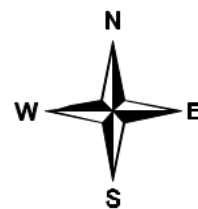
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by a third party.

Site Plan



Appendix 2 – Site Photos

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work ☒
or

a building, temporary structure or plumbing installation: ☐

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J12823

19/03/2026



A handwritten signature in black ink, appearing to be "John Paul Cumming".