



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062439

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 31 Daman Court, Cremorne

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17/08/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17/08/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17/08/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal:

Installation of pool, pool house and associated works

Location:

31 Daman Court, Cremorne

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as

exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner’s name:

Current use of site: Dwelling

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council’s representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 160998	FOLIO 9
EDITION 5	DATE OF ISSUE 09-Apr-2025

SEARCH DATE : 01-July-2026

SEARCH TIME : 09.58 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 9 on Sealed Plan [160998](#)

Derivation : Part of 213 Acres Gtd to E Grimsey

Prior CT [152525/102](#)

SCHEDULE 1

[N244245](#) TRANSFER to JOHN THOMAS SHERMAN and SUZANNE GRACE
SHERMAN Registered 09-Apr-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP160998](#) EASEMENTS in Schedule of Easements

[SP160998](#) COVENANTS in Schedule of Easements

[SP160998](#) FENCING COVENANT in Schedule of Easements

[SP160998](#) WATER SUPPLY RESTRICTION

[SP160998](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP13478](#), [SP24745](#), [SP46789](#), [SP134052](#), [SP142683](#) & [SP152525](#)

COVENANTS in Schedule of Easements

[SP134052](#), [SP142683](#) & [SP152525](#) FENCING COVENANT in Schedule of
Easements

[SP7313](#), [SP9200](#) & [SP13478](#) FENCING PROVISION in Schedule of
Easements

[SP 46789](#) COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962

[SP152525](#) WATER SUPPLY RESTRICTION

[SP152525](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP119743](#), [SP134052](#) & [SP142683](#) COUNCIL NOTIFICATION under
Section 83(5) of the Local Government (Building and
Miscellaneous Provisions) Act 1993.

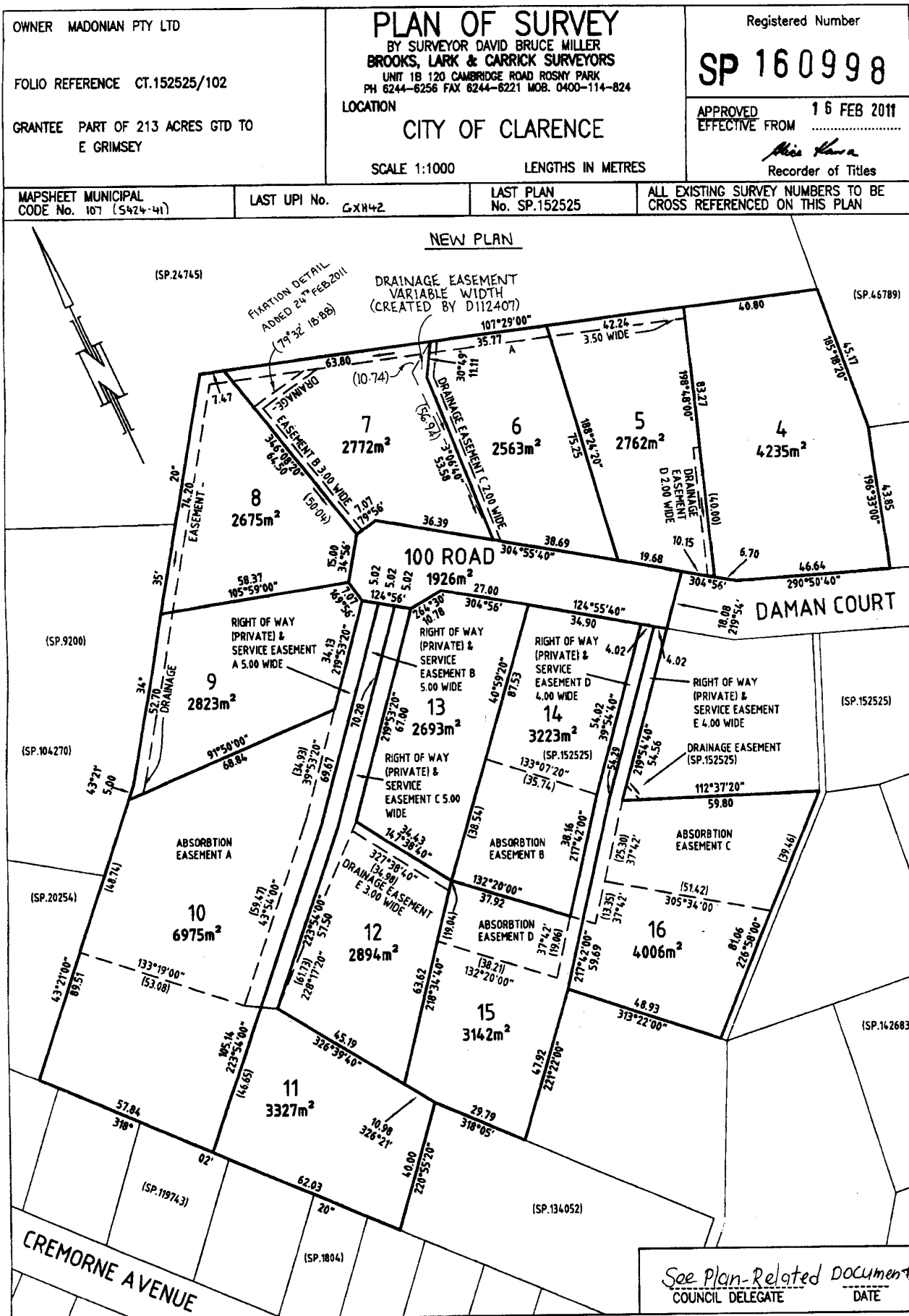
[A122641](#) FENCING CONDITION in Transfer

[C240569](#) AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
15-June-2000 at noon

[C924607](#) AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
16-Feb-2011 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS	Registered Number SP160998
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

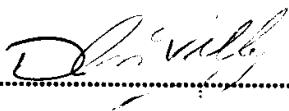
The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Definitions

"Absorbition easement" means the right of stormwater Detention in favour of the Clarence City Council over the land described as "Absorbition Easement A,B,C & D" shown on the plan situated on lots 10, 14, 15 & 16. "Right of stormwater detention" shall mean the full and free right and liberty for the Clarence City Council at all times hereafter:

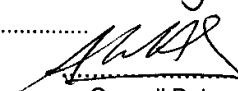
- (a) To store, drain and retain stormwater and other surplus water from the lots on the Plan,
- (b) To enter into and upon the Lot for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing stormwater detention infrastructure without doing unnecessary damage to the Lot and making good all damage occasioned thereby.
- (c) To enter into and upon the Lot for all or any of the above purposes with or without all necessary plant, equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the Lot in consultation with the registered proprietors for the purpose of access and egress to and from the Lot.

"Service Easement" means the full right and liberty for every person who is at any time entitled to an estate or interest in possession of the land herein indicated as the dominant tenement or any part thereof to lay beneath the soil of the service easement 5.00 wide a pipe(s) and/or conduit(s) and/or cable(s) and to maintain such pipe(s), conduit(s), and/or cable(s) as may be required for the purpose of the supply of an electricity service and/or a telephone and/or data service gas and water to the dominant tenement or any part

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(USE ANNEXURE PAGES FOR CONTINUATION)

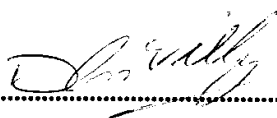
SUBDIVIDER: Madonian Pty Ltd ACN 069 709 039 FOLIO REF: Certificate of Title Volume 152525 Folio 102 SOLICITOR Butler McIntyre & Butler, Lawyers & REFERENCE: Mr Simon Wilding	PLAN SEALED BY: <i>Clarence City Council</i> DATE: <i>19-1-2011</i> <i>SP-1998/33</i> REF NO. <i>SP-1998/33</i>  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP160998
SUBDIVIDER: MADONIAN PTY LTD ACN 069 709 039 FOLIO REFERENCE: Volume 152525 Folio 102	

thereof together with the right of every such person who is at any time entitled to an estate or interest in possession of the land indicated as the dominant tenement or any part thereof by his servants or agents or workmen from time to time and at all reasonable times to enter upon the area of the service easement and to inspect and for the purpose of laying cleaning repairing replacing or renewing the said pipe(s), conduit(s) and/or cables(s) as the occasion may require doing no unnecessary damage to such lands nor unnecessarily hindering access to subservient tenement and upon the completion of the works the surface shall be immediately restored to its former condition or as near thereto as shall be reasonably possible.

Easements:

- ✓ **Lot 10** on the plan is subject to a Right of Carriageway and Service Easement (appurtenant to Lots 11 & 12 on the plan) over the land that part of Lot 10 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT A 5.00 WIDE. *(private)*
- ✓ **Lot 10** on the plan together with a Right of Carriageway and Service Easement over that part of Lots 11 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT B 5.00 WIDE. *(private)*
- ✓ **Lot 10** on the plan together with a Right of Carriageway and Service Easement over that part of Lots 12 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT C 5.00 WIDE. *(private) in favour of clarence city council*
- ✓ **Lot 10** on the plan is subject to an Absorbtion Easement over that part of Lot 10 marked ABSORBTION EASEMENT A.
- ✓ **Lot 11** on the plan is subject to a Right of Carriageway and Service Easement (appurtenant to Lots 10 & 12 on the plan) over the land that part of Lot 11 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT B 5.00 WIDE. *(private)*
- ✓ **Lot 11** on the plan together with a Right of Carriageway and Service Easement over that part of Lots 10 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT A 5.00 WIDE. *(private)*
- ✓ **Lot 11** on the plan together with a Right of Carriageway and Service Easement over that part of Lots 12 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT C 5.00 WIDE. *(private)*



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

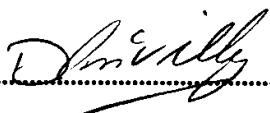
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP160998
SUBDIVIDER: MADONIAN PTY LTD ACN 069 709 039 FOLIO REFERENCE: Volume 152525 Folio 102	

- ✓ Lot 12 on the plan is subject to a Right of Carriageway and Service Easement (appurtenant to Lots 10 & 11 on the plan) over the land that part of Lot 12 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT C 5.00 WIDE. (private)
- ✓ Lot 12 on the plan together with a Right of Carriageway and Service Easement over that part of Lots 10 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT A 5.00 WIDE. (private)
- ✓ Lot 12 on the plan together with a Right of Carriageway and Service Easement over that part of Lots 11 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT B 5.00 WIDE. (private) in favour of clarence city council
- ✓ Lot 14 on the plan is subject to an Absorbtion Easement over that part of Lot 14 marked ABSORBTION EASEMENT B.
- ✓ Lot 15 on the plan is subject to Right of Carriageway and Service Easement over that part of Lot 15 marked ~~D~~ described on the Plan as RIGHT OF WAY & SERVICE EASEMENT 4.00 WIDE. (private) D (appurtenant to Lot 16)
- ✓ Lot 15 on the plan together with a Right of Carriageway and Service Easement over that part of Lot 16 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT E 4.00 WIDE. (private) in favour of clarence city council
- ✓ Lot 15 on the plan is subject to an Absorbtion Easement over that part of Lot 15 marked ABSORBTION EASEMENT D.
- ✓ Lot 16 on the plan is subject to a Right of Carriageway and Service Easement over that part of Lot 16 marked RIGHT OF WAY & SERVICE EASEMENT E 4.00 wide. (private) (appurtenant to Lot 15)
- ✓ Lot 16 on the plan together with a Right of Carriageway and Service Easement over that part of Lot 15 described on the Plan as RIGHT OF WAY AND SERVICE EASEMENT D 4.00 WIDE. (private) in favour of clarence city council
- ✓ Lot 16 on the plan is subject to an Absorbtion Easement over that part of Lot 16 marked ABSORBTION EASEMENT C.

Easements Continued on Page 4

Covenants

All the Lots shown on the Plan which formerly comprised Lot 102 on Sealed Plan Number 152525 and prior to that which formerly comprised Lot 100 on Sealed Plan Number 134052, and formerly comprised Lots 5 and 6 on Sealed Plan Number 46789 are burdened by restrictive covenants created by SP 134052, SP 46789, SP 24745 and SP 13478 and more fully set forth in SP 134052 and SP 152525, SP 142683 & SP 152525

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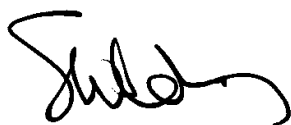
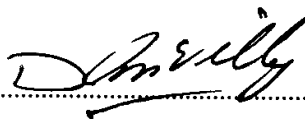
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP160998
SUBDIVIDER: MADONIAN PTY LTD ACN 069 709 039 FOLIO REFERENCE: Volume 152525 Folio 102	

Fencing Covenant

The owners of each Lot on the Plan covenant with the Vendor, Madonian Pty Ltd, that the Vendor shall not be required to fence.

Executed by Madonian Pty Ltd ACN 069 709 039)
As registered proprietor of the land contained in)
Certificate of Title Volume 152525 Folio 102)



.....
Sole Director/Sole Secretary

SIMON WILDING
LEGAL PRACTITIONER
BUTLER MCINTYRE & BUTLER
20 MURRAY ST, HOBART
Tel: (03) 6222 9444

EASEMENTS CONTINUED

The lots on the plan are each together with a Right of Drainage over the Drainage Easement (SP152525) shown on the plan

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

NOT FOR CONSTRUCTION

31 DAMAN CT CREMORNE TAS 7024

BUILDING DRAWINGS

NO	DRAWINGS
000	TITLE PAGE
001	GENERAL NOTES
002	EXISTING SITE PLAN
101	DEMOLITION PLAN
102	PROPOSED PLAN
103	PROPOSED ROOF PLAN
104	ELEVATIONS
105	ELEVATIONS
106	ELEVATIONS/SECTIONS
107	POOL FENCE DETAIL
108	POOL AND FENCE NOTES
109	VERANDAH SECTION
110	DETAILS



CORSO INTERIOR ARCHITECTURE
46 PIN OAK CRESCENT,
FLEMINGTON VIC 3031
T: +613 9013 7020 corso.design.com.au
ABN: 80 480 927 089

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ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE SHOWN. ANY CHANGES MADE BY CONTRACTORS SHALL BE DOCUMENTED & FORWARDED TO THIS OFFICE FOR APPROVAL. CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.

NO.	REVISION	DATE
A	PLANNING	28 07 2026

PLANNING

PROJECT - CLIENT

31 DAMAN CT, CREMORNE

SCALE
N/A @ A3

JOB NO.
2627

DRAWN BY
JC

A

DWG NO.
000

NOT FOR CONSTRUCTION

GENERAL SPECIFICATION

- 1. ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, LOCAL BY-LAWS AND THE RELEVANT AUSTRALIAN STANDARDS.
- 2. STEP SIZES - RISERS 115 MIN. 190 MAX. TREADS 250 MIN. 355 MAX.
- 3. PROVIDE LANDINGS AS SHOWN ON PLAN . OR AS OTHERWISE NOTED ON PLAN WHERE FLOOR LEVEL TO GROUND LEVEL EXCEEDS 190MM.
- 4. PROVIDE 1000 HIGH MIN. BALUSTRADING TO LANDINGS (865 HIGH TO STEPS.) WITH 125MM MAX. SPACING BETWEEN BALUSTRADES TO ALL LANDINGS AND STEPS EXCEEDING 1000 IN HEIGHT.
- 5. ALL GLAZING TO COMPLY WITH AS.1288.
- 6. SAFETY GLAZING COMPLYING WITH AS.1288. TO BE PROVIDED TO ALL WINDOWS, SHOWER SCREENS, ENSUITE WINDOWS AND BATHROOM WINDOWS.
- 7. ALL MATERIAL TO COMPLY WITH RELEVANT CODES AND SPECIFICATIONS.
- 8. REINFORCED CONCRETE TO BE AS PER ENGINEER.
- 9. BRICKWORK TO COMPLY WITH AS. 3700 BRICKWORK CODE. ARTICULATION JOINTS TO BE MAX 6000MM CTRS TO COMPLY WITH BCA 3.3.1.8 OR AS SPECIFIED BY STRUCTURAL ENGINEER

- 10. ALL CONCRETE WORKS TO COMPLY WITH AS. 3600 CONCRETE STRUCTURES CODE.
- 11. STEEL REINFORCEMENT TO COMPLY WITH AS.1302, AS.1003, AS.1304, AND AS PER ENGINEER.
- 12. DAMP PROOF COURSE TO BE A POLYETHYLENE FILM NOT LESS THAN 0.254MM THICK.
- 13. FOOTINGS NOT TO ENCROACH OVER EASEMENTS OR BOUNDARY ALLOTMENTS.
- 14. STORMWATER DRAINAGE TO BE CONNECTED TO PUBLIC STORMWATER DRAINAGE SYSTEM AS PER LOCAL AUTHORITIES REQUIREMENTS.
- 15. CARTRIDGE FILTER TO BE EMPTIED BY A PUMP TRUCK
- 16. SERVICES SHALL BE INSTALLED, BUILT IN, EXCAVATED FOR LAID AND TRENCHES BACKFILLED ALL IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES.
- 17. ALL PLUMBING WORKS TO BE CARRIED OUT BY A LICENSED PLUMBER.
- 18. ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A LICENSED ELECTRICIAN.

GENERAL NOTES

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK, THE PURCHASE OR ORDER OF ANY MATERIALS, FITTINGS, PLANT, SERVICES OR EQUIPMENT AND THE PREPARATION OF SHOP DRAWINGS AND/OR THE FABRICATION OF ANY COMPONENTS.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS AND THE GEOTECHNICAL ENGINEERS SITE INVESTIGATION REPORT.

DO NOT SCALE DRAWINGS REFER TO FIGURED DIMENSIONS ONLY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARISE.

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY CIVIL MACHINE CONTROL FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

2. CIVIL MACHINE CONTROL CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.

3. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF CMC.

4. HORIZONTAL DATUM IS MGA (GDA94) PLANE.

5. VERTICAL DATUM IS AHD.

6. SURVEY BY GPS.

7. SITE GNSS RTK SCALE POINT
- BENCH MARK, Large Nail RL:4.25

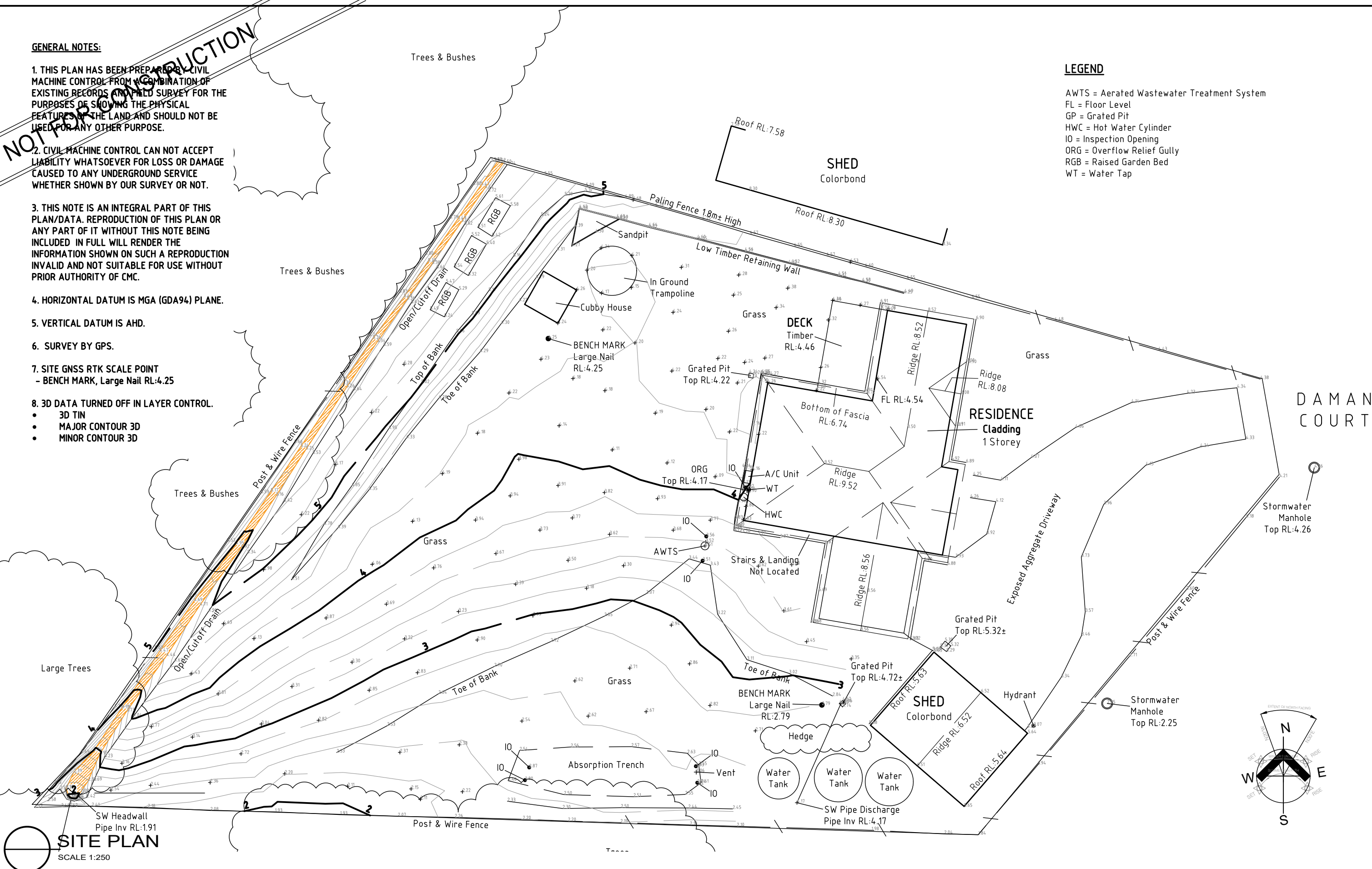
8. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

LEGEND

AWTS = Aerated Wastewater Treatment System
FL = Floor Level
GP = Grated Pit
HWC = Hot Water Cylinder
IO = Inspection Opening
ORG = Overflow Relief Gully
RGB = Raised Garden Bed
WT = Water Tap

NOT FOR CONSTRUCTION



SITE PLAN
SCALE 1:250

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NO.	REVISION	DATE
A	PLANNING	28 07 2026

PLANNING

PROJECT - CLIENT
31 DAMAN CT, CREMORNE
EXISTING SITE PLAN

SCALE
1:250 @ A3

JOB NO.
2632

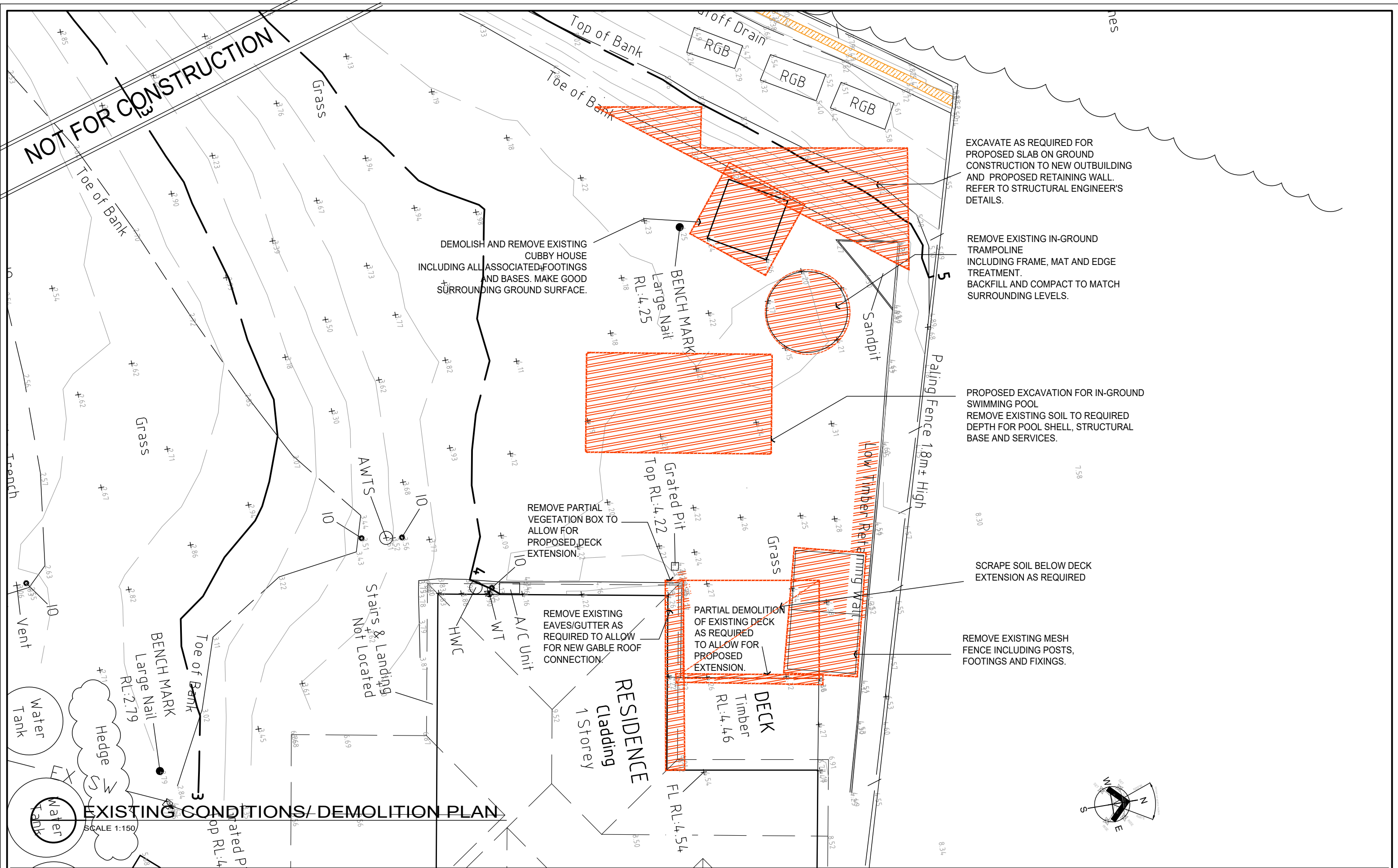
DRAWN BY
JC

DWG NO.
002

cor
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NO.	REVISION	DATE
A	PLANNING	28 07 2026

PLANNING

PROJECT - CLIENT
31 DAMAN CT, CREMORNE
DEMOLITION PLAN

SCALE
1:150 @ A3

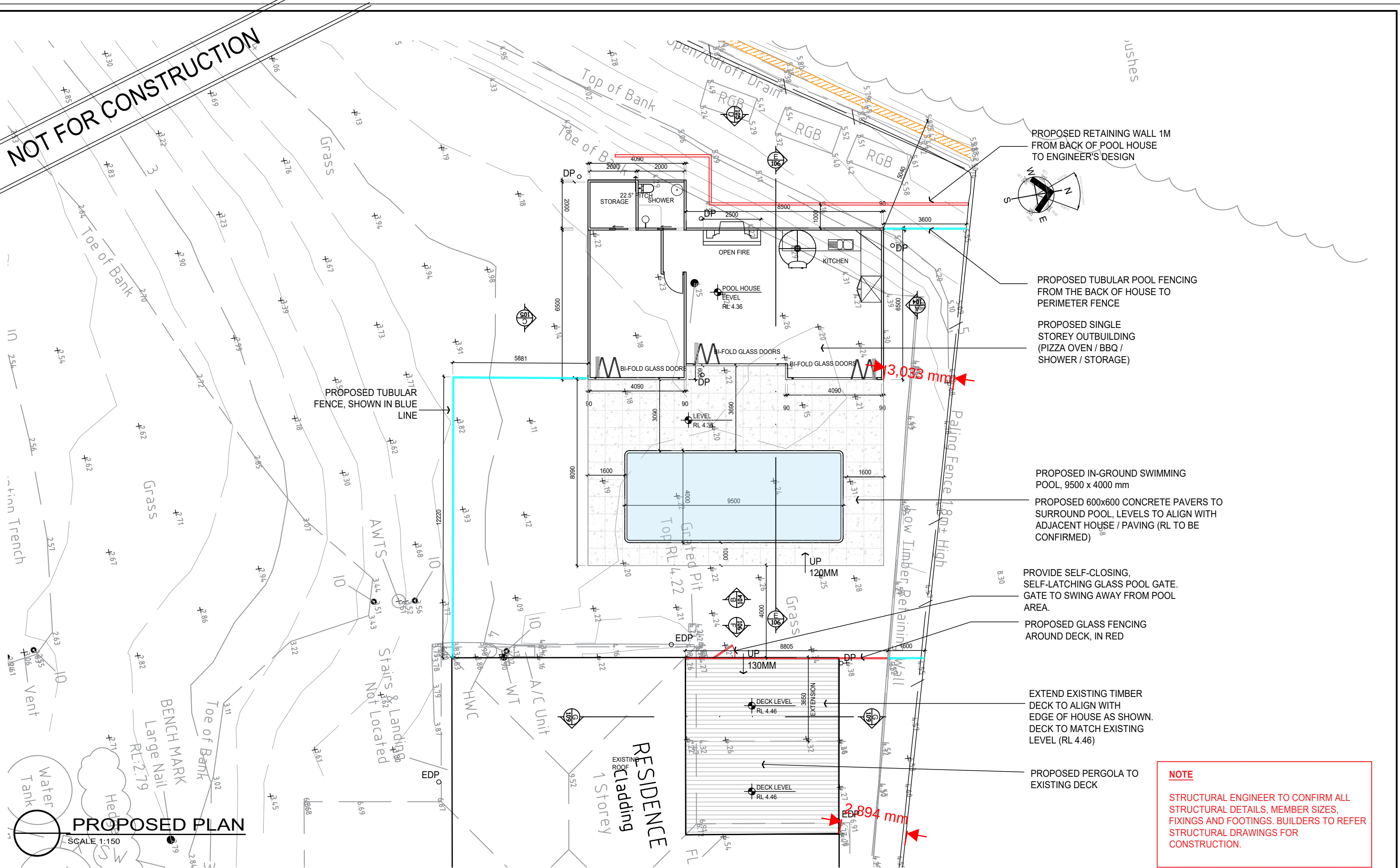
JOB NO.
2632

DRAWN BY
JC

A

DWG NO.
101

NOT FOR CONSTRUCTION



cor
so

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46 PIN OAK CRESCENT,
FLEMINGTON VIC 3031
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PROJECT - CLIENT

31 DAMAN CT, CREMORNE

PROPOSED PLAN

SCALE
1:150 @ A3

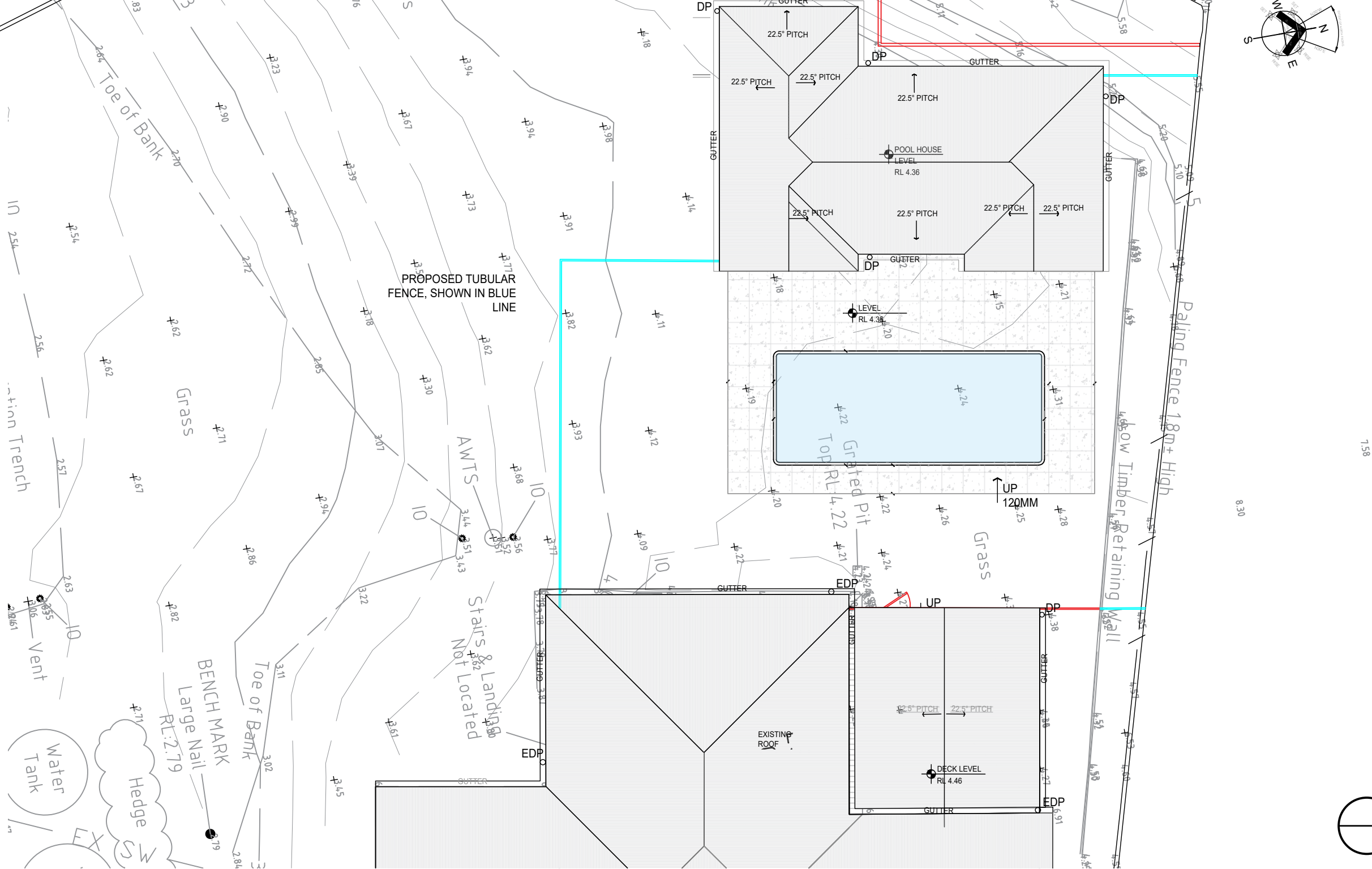
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JC

DWG NO.
102

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NOTE

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ROOF CONSTRUCTION

ENSURE ROOF CONSTRUCTION TO INCLUDE SARKING AND INSULATION BLANKET - BRADFORD GOLD HI-PERFORMANCE CEILING BATTS R6.0

STORMWATER CONSTRUCTION / MANAGEMENT

ALL STORMWATER TO BE DRAINED TO LEGAL POINT OF DISCHARGE

IMPORTANT NOTES:
THESE PLANS TO BE READ IN CONJUNCTION WITH ATTACHED ENGINEERING DRAWINGS. ENGINEERING DRAWINGS TO OVERWRITE ARCHITECTURAL DRAWINGS.

LEGEND

- EDP
○ EXISTING DOWN PIPE
DP
○ NEW DOWN PIPE

PROPOSED ROOF PLAN
SCALE 1:150



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PROPOSED ROOF PLAN

SCALE
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PROPOSED PERGOLA ON EXISTING DECK

EXISTING DWELLING SHOWN INDICATIVE (DASHED)

2400

4.46 DECK LEVEL

4.22

PROPOSED TUBULAR POOL FENCE

4.36 LEVEL

4.31

4.21

7.06

NEW COLORBOND ROOF SHEETING TO MATCH EXISTING HOUSE ROOF PROFILE, COLOUR AND FINISH.

NEW EXTERNAL WALL CLADDING TO MATCH EXISTING HOUSE WEATHERBOARD PROFILE, COLOUR AND FINISH.

5.24

5.58

5.61

5.62

1250

RETAINING WALL

RETAINING WALL

5.83

EXISTING SITE BOUNDARY FENCE

INDICATIVE EXISTING FOOTINGS SHOWN DASHED

NEW FOOTINGS AS PER ENG DETAILS

90 X 90 CYPRESS PINE POSTS IN GROUND 600MM WITH 300X300X300 CONCRETE PAD FOOTING BOLTED THROUGH BEAM WITH 2 X M10 COACH BOLTS MAX SPACING 25X25 - FOOTING 600X300X300 WITH 300X300X300 CONCRETE PAD

A
104 **NORTH ELEVATION**
SCALE 1:100

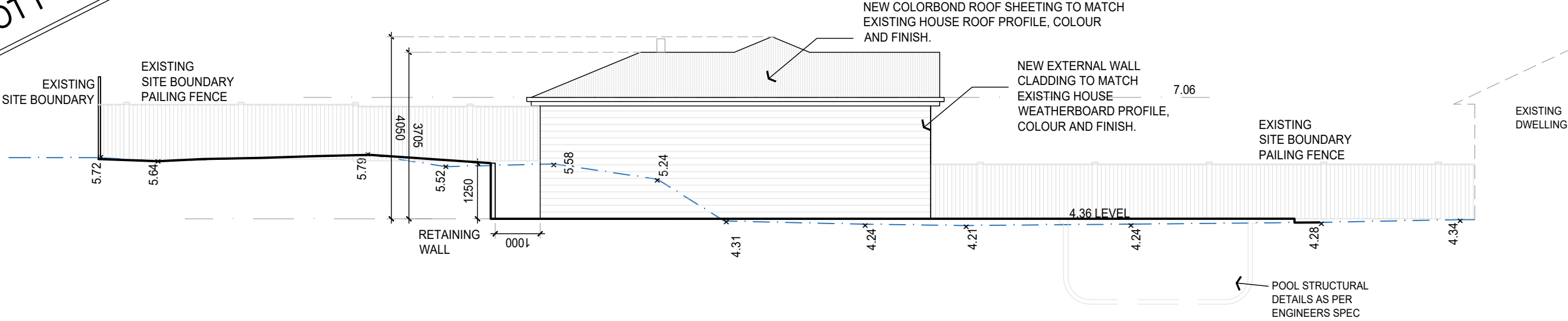
Architectural elevation drawing of a proposed house extension. The drawing includes the following annotations and dimensions:

- NEW COLORBOND ROOF SHEETING TO MATCH EXISTING HOUSE ROOF PROFILE, COLOUR AND FINISH.** (Pointing to the roof of the extension)
- NEW EXTERNAL WALL CLADDING TO MATCH EXISTING HOUSE WEATHERBOARD PROFILE, COLOUR AND FINISH.** (Pointing to the wall of the extension)
- PROPOSED TUBULAR POOL FENCE** (Pointing to the fence on the left)
- END OF POOL FENCE** (Pointing to the end of the fence on the left)
- EXISTING SITE BOUNDARY FENCE** (Pointing to the fence on the right)
- PROPOSED TUBULAR POOL FENCING FROM THE BACK OF HOUSE TO PERIMETER FENCE** (Pointing to the fence on the right)
- NEW ALUMINIUM BI-FOLD GLASS DOORS** (Pointing to the doors on the left and right)
- NEW ALUMINIUM BI-FOLD GLASS DOORS** (Pointing to the door in the middle)
- 4.36 LEVEL** (Indicated by a horizontal line across the base of the extension)
- Dimensions:**
 - Horizontal dimensions: 3.82, 4.09, 4.22, 3690, 4.24, 3690, 4.28, 4.30, 7.06, 4.57
 - Vertical dimensions: 2700, 2100
- FILL** (Indicated by a dashed line on the left side)

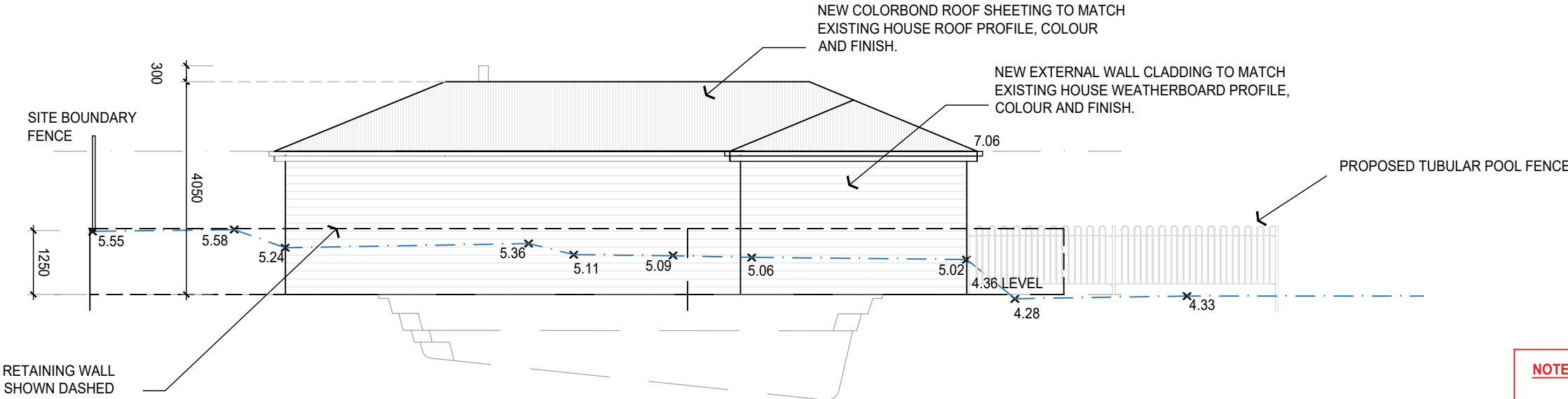
NOTE

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C SOUTH ELEVATION
105 SCALE 1:100



D WEST ELEVATION
105 SCALE 1:100

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31 DAMAN CT, CREMORNE

ELEVATION/SECTION

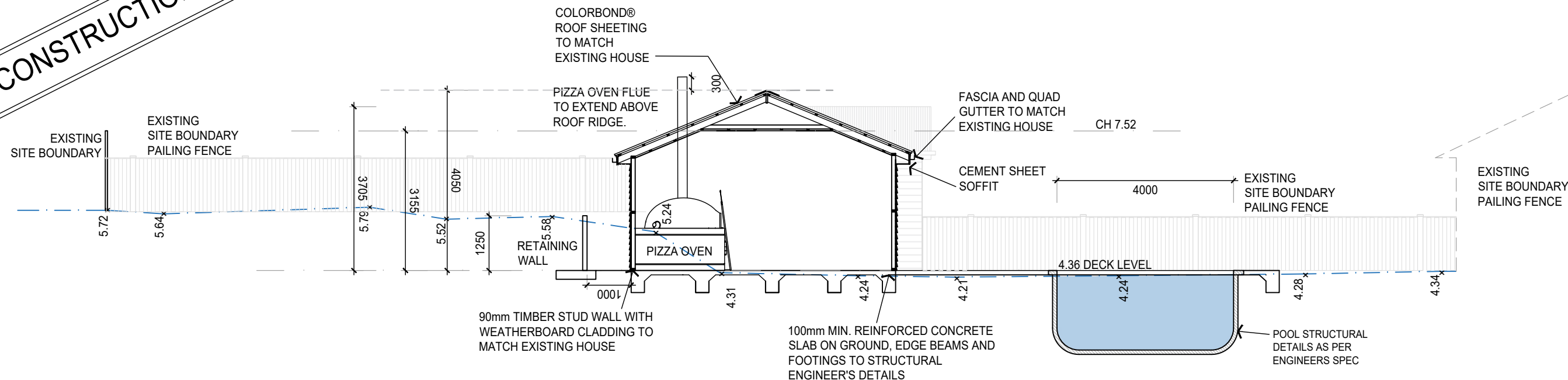
SCALE
1:100 @ A3

JOB NO.
2632

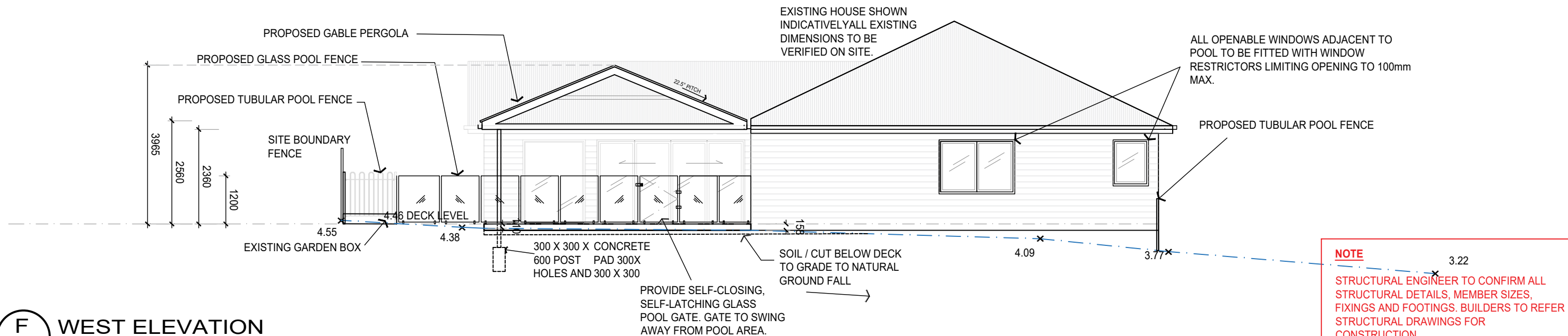
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E SECTION
106 SCALE 1:100



F WEST ELEVATION
106 SCALE 1:100

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31 DAMAN CT, CREMORNE

ELEVATION/SECTION

SCALE
1:100 @ A3

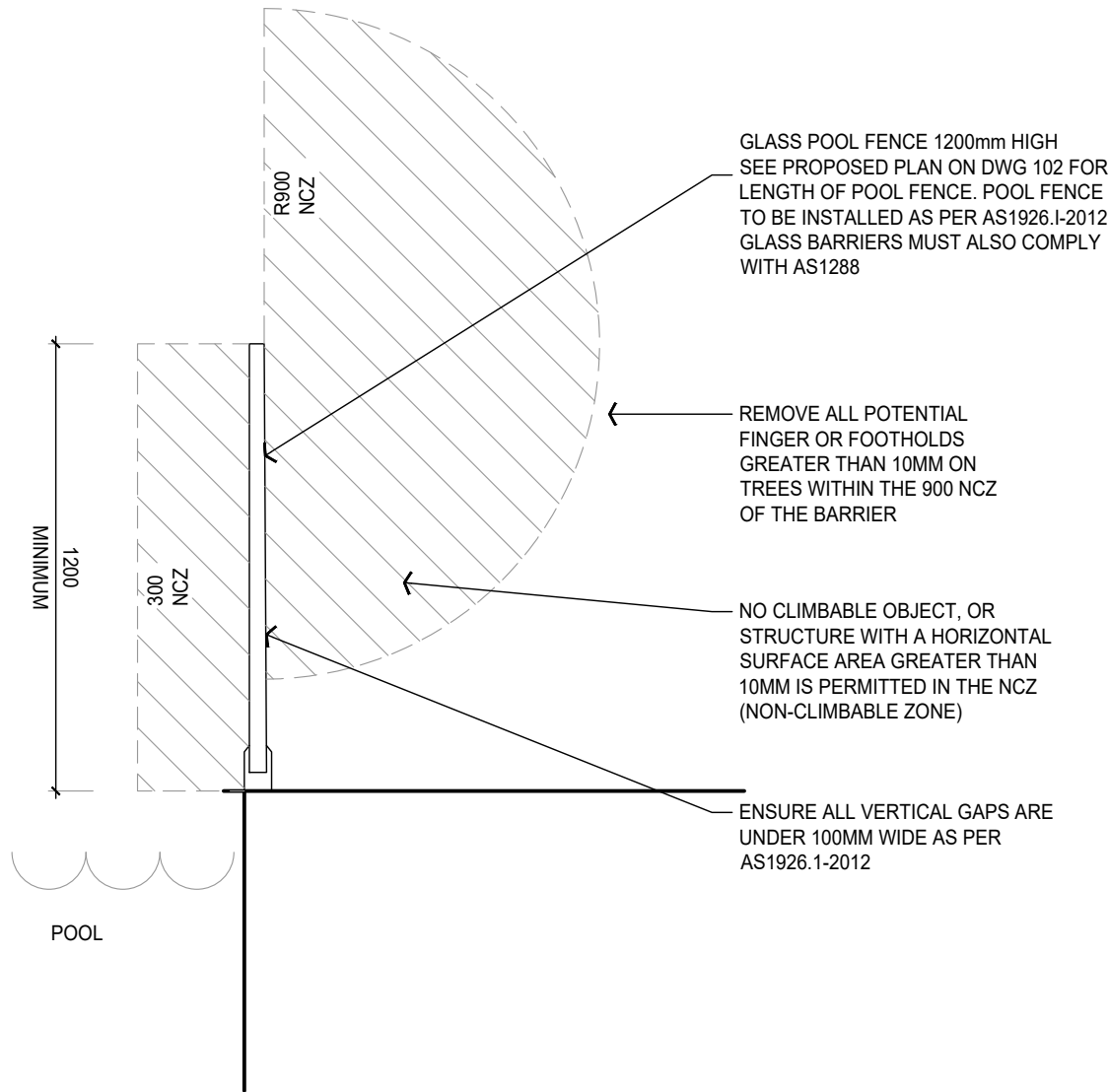
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NOTE:
ENSURE POOL GATE IS SELF CLOSING, SELF LATCHING WITH A LATCH RELEASE 1500 HIGHT, AND OPENS AWAY FROM THE POOL

WHERE HINGES PROTRUDE MORE THAN 10MM, OR THE GAP BETWEEN THE POST AND GATE IS GREATER THAN 10MM - A 1000 MIN VERTICAL SEPARATION IS REQUIRED TO PREVENT HINGES FROM BEING CLIMBABLE.

NOTE
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107 POOL FENCE DETAIL
SCALE 1:20

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-so

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PROJECT - CLIENT
31 DAMAN CT, CREMORNE
POOL FENCE DETAIL

SCALE 1:20 @ A3	A
JOB NO. 2632	
DRAWN BY JC	DWG NO. 107

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SAFETY FENCING CONSTRUCTION

THE STRENGTH AND RIGIDITY OF FENCING COMPONENTS AND ELEMENTS MUST COMPLY WITH A.S.1926.1 - 2012

THE EFFECTIVE HEIGHT OF FENCING MUST BE NOT LESS THAN 1.2m, AND INCLUDE A NONCLIMBABLE ZONE WITH HAND AND FOOT HOLDS NOT LESS THAN 900mm DISTANCE BETWEEN. BOUNDARY FENCES NOT LESS THAN 1800mm HIGH.

FENCING CONSTRUCTED OF PERFORATED OR MESH MATERIAL WITH APERTURES MORE THAN 13mm BUT LESS THAN 100mm, IN WHICH CASE THE EFFECTIVE HEIGHT MUST NOT BE LESS 1800mm.

RETAINING WALLS OR OTHER SIMILAR BOUNDARIES WHICH FORM PART OF THE SAFETY FENCING MUST COMPLY WITH AS1926.1 WITH A SLOPE NOT MORE THAN 15DEG FROM THE VERTICAL, AND EFFECTIVE HEIGHT NOT LESS THAN 1800mm.

THE CLEARANCE BETWEEN THE BOTTOM OF THE FENCING AND THE FINISHED GROUND LEVEL MUST NOT BE MORE THAN 100mm. SURROUNDING AREA TO BE STABLE AND INTACT AT ALL TIMES (LOOSE SAND NOT ACCEPTABLE).

NO PROJECTIONS OR INDENTATIONS ON THE OUTSIDE SURFACE OF THE FENCING HORIZONTAL OR NEAR HORIZONTAL FENCING COMPONENTS, SUCH AS RAILS, RODS, WIRES OR BRACING, THAT COULD BE USED AS HOLDS FOR CLIMBING MUST -
i IF LOCATED ON THE OUTSIDE FENCING; OR
ii IF LOCATED ON THE INSIDE OF THE FENCING AND THE VERTICAL MEMBERS ARE SPACED MORE THAN 10mm APART;

BE SPACED IN ACCORDANCE WITH THE NON-CLIMBABLE ZONE AS ILLUSTRATED IN AS1926.1 THE CLEAR GAP BETWEEN ADJACENT VERTICAL OF NEAR VERTICAL MEMBERS MUST NOT BE MORE THAN 100mm.

BOUNDARY FENCE
WHERE A BOUNDARY FENCE ACTS AS AS A BARRIER TO A POOL, IT SHALL HAVE A HEIGHT NOT LESS THAN 1800mm ON THE INSIDE AND NCZ 5 FORMED AS A QUADRANT OF 900mm RADIUS DOWN FROM THE TOP OF THE INSIDE OF THE BARRIER. SEE FIGURE 2.2(a)

GATES AND FITTINGS
AS PER AS1926.1 - 2012
a- GATES MUST SWING OUTWARDS FROM POOL AREA.
b- GATES MUST BE FITTED WITH SELF CLOSING DEVICE THAT WILL RETURN THE GATE TO THE CLOSED POSITION AND OPERATING LATCHING DEVICE

- i) FROM ANY POSITION FROM RESTING ON THE LATCHING MECHANISM TO FULLY OPEN; AND
 - ii)FROM STATIONARY START WITHOUT THE APPLICATION OF A MANUAL FORCE.
- c- GATES MUST BE FITTED WITH A LATCHING DEVICE
- i)THAT WILL AUTOMATICALLY OPERATE ON THE CLOSING OF THE GATE AND PREVENT THE GATE FROM BEING REOPENED WITHOUT MANUAL RELEASE; AND
 - ii)THAT CANNOT BE ADVERTANTLY ADJUSTED IN OPERATION OR ADJUST WITHOUT THE USE OF TOOLS

iii)NOT ABLE TO BE LOCKED IN THE 'OPEN' POSITION.

THE SELF CLOSING DEVICE MAY REQUIRE A CUSHIONED BACK-CHECKING OPERATION TO PREVENT SHOCK WHEN THE GATE IS CLOSING. SAFETY FENCING SHOULD CONSIST OF BARRIERS OR WALLS OF SUFFICIENT HEIGHT AND DESIGNED AND CONSTRUCTED WITHOUT OPENINGS AND FOOTHOLDS THAT WOULD ENABLE A YOUNG CHILD TO CLIMB THROUGH OR OVER THE FENCE AND PROVIDED WITH CHILD RESISTANT SELF-CLOSING AND LATCHING DEVICES ON THE GATES



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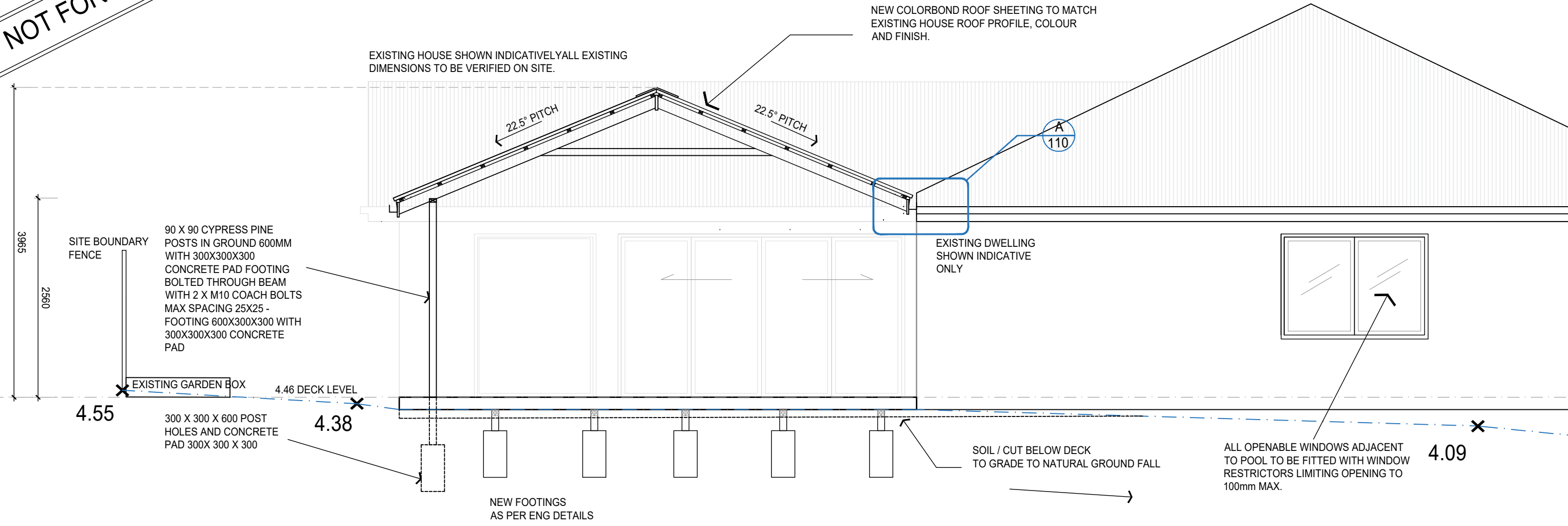
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POOL AND FENCING NOTES

SCALE N/A @ A3	
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G 109 VERANDAH SECTION
SCALE 1:50

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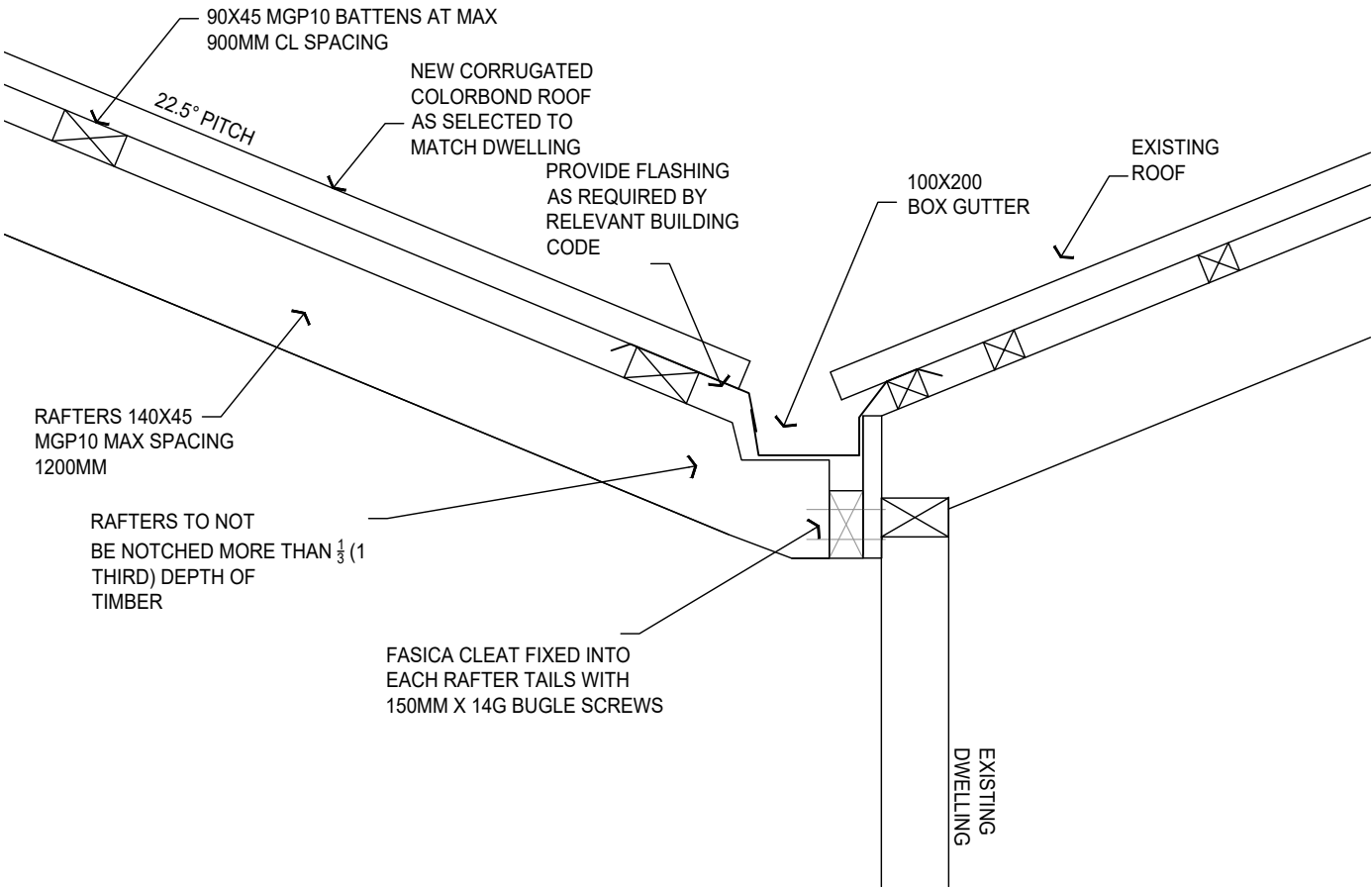
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VERANDAH SECTION

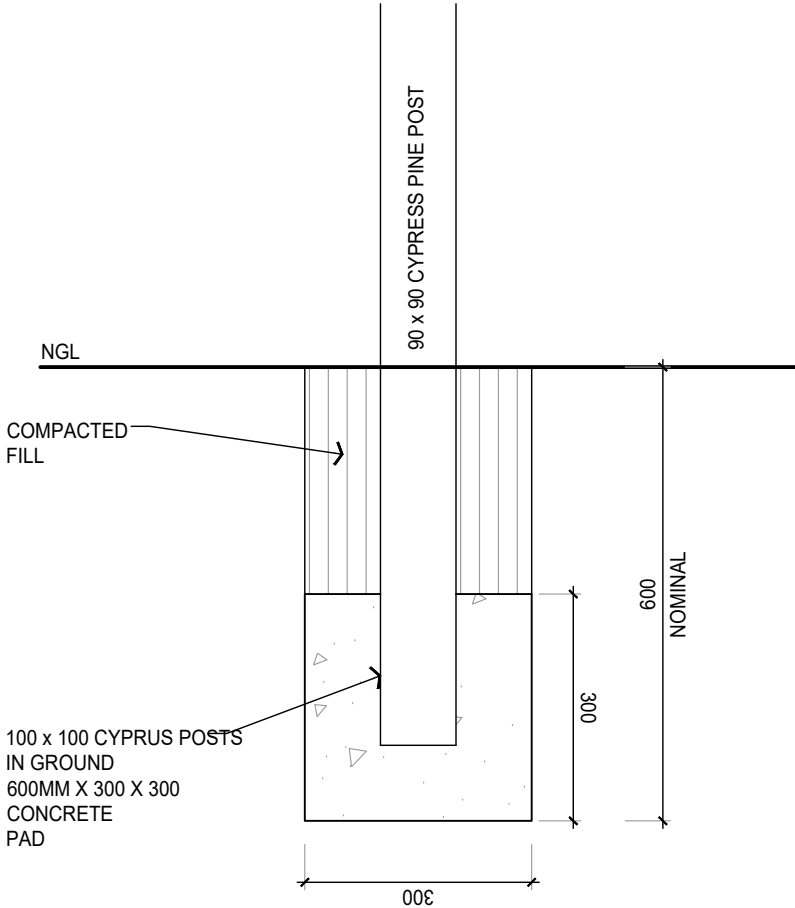
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A
110 **GUTTER DETAIL**
SCALE 1:10



110 **FOOTING DETAIL**
SCALE 1:10

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