

COUNCIL MEETING
MONDAY 10 AUGUST 2026

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BUSINESS TO BE CONDUCTED AT THIS MEETING IS TO BE CONDUCTED IN THE ORDER IN WHICH IT IS SET OUT IN THIS AGENDA UNLESS THE COUNCIL BY ABSOLUTE MAJORITY DETERMINES OTHERWISE

COUNCIL MEETINGS, NOT INCLUDING CLOSED MEETING, ARE AUDIO-VISUALLY RECORDED AND PUBLISHED TO COUNCIL'S WEBSITE

1. ACKNOWLEDGEMENT OF COUNTRY

The Mayor will:

- make the following statement:

“Before proceeding, I pay my respects to the Mumirimina people as the traditional and original custodians of the lands on which we meet, and I acknowledge the continuing connection of the Tasmanian Aboriginal people to the skies, land and waterways.

I pay respect to Elders past and present.”

- invite those present to pause for a moment of quiet reflection and respect before commencing the council meeting.
- advise the Meeting and members of the public that Council Meetings, not including Closed Meeting, are livestreamed, audio-visually recorded and published to Council’s website. The meeting is not protected by privilege. A link to the Agenda is available via Council’s website.

2. APOLOGIES

Cr Hunter (Leave of Absence)

Cr Walker (Leave of Absence)

3. DECLARATIONS OF INTERESTS OF COUNCILLORS OR CLOSE ASSOCIATE

In accordance with Regulation 10 of the Local Government (Meeting Procedures) Regulations 2025 and Council’s adopted Code of Conduct, the Mayor requests Councillors to indicate whether they have, or are likely to have a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

4. OMNIBUS ITEMS**4.1 CONFIRMATION OF MINUTES****RECOMMENDATION:**

That the Minutes of the Council Meeting held on 20 July 2026, as circulated, be taken as read and confirmed.

4.2 MAYOR'S COMMUNICATION**4.3 COUNCIL WORKSHOPS**

In addition to the Councillor's Meeting Briefing (workshop) conducted on Friday immediately preceding the Council Meeting the following workshops were conducted by Council since its last ordinary Council Meeting:

PURPOSE	DATE
Confidential Briefings	
New Youth Centre Site Analysis Report	
Stormwater Climate Change Factors	
No Spray Register Policy Update	
Clarence Plains Plan	27 July
Regional Community Sport Infrastructure Plan	
Cambridge Primary School Gymnasium Update	
Confidential Briefings	
Request Review	3 August

RECOMMENDATION:

That Council notes the workshops conducted.

4.4. TABLING OF PETITIONS

(Note: Petitions received by Councillors are to be forwarded to the Chief Executive Officer within seven days after receiving the petition).

Petitions are not to be tabled if they do not comply with Section 57(2) of the Local Government Act, or are defamatory, or the proposed actions are unlawful.

4.5 REPORTS FROM OUTSIDE BODIES

This agenda item is listed to facilitate the receipt of both informal and formal reporting from various outside bodies upon which Council has a representative involvement.

REPORTS FROM SINGLE AND JOINT AUTHORITIES

Provision is made for reports from Single and Joint Authorities if required.

Council is a participant in the following Single and Joint Authorities. These Authorities are required to provide quarterly reports to participating Councils, and these will be listed under this segment as and when received.

- **COPPING REFUSE DISPOSAL SITE JOINT AUTHORITY**
Representative: Cr Walker
Cr Goyne (Proxy)

Quarterly Reports

September and December 2025 and March and June 2026 Quarterly Reports pending.

Representative Reporting

- **TASWASTE SOUTH**
Representative: Cr Ritchie (Mayor's nominee)
Cr Hunter (Proxy)
- **TASWATER CORPORATION**
- **GREATER HOBART COMMITTEE**

REPORTS FROM COUNCIL AND SPECIAL COMMITTEES AND OTHER REPRESENTATIVE BODIES

4.6 WEEKLY BRIEFING REPORTS

The Weekly Briefing Reports of 20 and 27 July and 3 August 2026 have been circulated to Councillors.

RECOMMENDATION:

That the information contained in the Weekly Briefing Reports of 20 and 27 July and 3 August 2026 be noted.

5. PUBLIC QUESTION TIME

Public question time at ordinary Council meetings will not exceed 15 minutes. An individual may ask questions at the meeting. Questions may be submitted to Council in writing on the Friday 10 days before the meeting or may be raised from the Public Gallery during this segment of the meeting.

The Chairman may request a Councillor or Council officer to answer a question. No debate is permitted on any questions or answers. Questions and answers are to be kept as brief as possible.

5.1 PUBLIC QUESTIONS ON NOTICE

(Seven days before an ordinary Meeting, a member of the public may give written notice to the Chief Executive Officer of a question to be asked at the meeting). A maximum of two questions may be submitted in writing before the meeting.

Questions on notice and their answers will be included in the minutes.

Mr Thomas Chick of Mornington has given notice of the following question:

2022-2026 DEVELOPMENT APPLICATIONS

For the 2022-2026 term of Council to-date, how many development applications have been received and how many approved by Council? If possible, could this be broken down by whether the relevant applications were handled by delegation, and by broad purpose (residential, commercial, accommodation, etc.)?

Mr Bradley Walker of Howrah has given notice of the following questions:

1. AVAILABILITY PERIOD FOR AGENDA

Can council explain how it is allowing 4 days notice of meetings as per the council's Consolidated Meeting Procedures 2025 when the agenda is published almost always on the Thursday prior to the council meetings on Monday. Noting that both the day on which a notice is provided and the day of the meeting are excluded as per the procedures?

2. AVAILABILITY OF PLANNING APPLICATION INFORMATION

The Clarence City Council publicly acknowledge to only have planning staff at the Council Chambers from 9-1 Monday-Friday. Many planning matters dealt with under the Land Use [Planning] and Approvals Act 1993 are only notified, can be viewed and receive representations by certain affected parties, in relation to these, can the Council please provide information on how they are not in breach of fulfilling the Land Use [Planning] and Approvals Act 1993 which states documents must be available for viewing during business hours? I note that I personally have tried to view documents like these on prior occasions and other council staff have been unable to assist.

5.2 ANSWERS TO QUESTIONS ON NOTICE

The Mayor may address Questions on Notice submitted by members of the public.

5.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE

Nil.

5.4 QUESTIONS WITHOUT NOTICE

The Chairperson may invite members of the public present to ask questions without notice.

Questions are to relate to the activities of the Council. Questions without notice will be dependent on available time at the meeting.

Council Policy provides that the Chairperson may refuse to allow a question on notice to be listed or refuse to respond to a question put at a meeting without notice that relates to any item listed on the agenda for the Council meeting (note: this ground for refusal is in order to avoid any procedural fairness concerns arising in respect to any matter to be determined on the Council Meeting Agenda).

When dealing with Questions without Notice that require research and a more detailed response the Chairman may require that the question be put on notice and in writing. Wherever possible, answers will be provided at the next ordinary Council Meeting.

Council's Public Question Time Policy can be found on Council's website at [Public Question Time - City of Clarence : City of Clarence \(ccc.tas.gov.au\)](https://www.ccc.tas.gov.au/public-question-time)

6. DEPUTATIONS BY MEMBERS OF THE PUBLIC

(In accordance with Regulation 46 of the Local Government (Meeting Procedures) Regulations 2025 and in accordance with Council Policy, deputation requests are invited to address the Meeting and make statements or deliver reports to Council)

7 PLANNING AUTHORITY MATTERS
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In accordance with Regulation 29 (1) of the Local Government (Meeting Procedures) Regulations 2025, the Mayor advises that the Council intends to act as a Planning Authority under the Land Use Planning and Approvals Act 1993, to deal with the following items:

7.1 PLANNING APPLICATION PDPLANPMTD-2025/057675 – 242 TRANMERE ROAD, TRANMERE - ADDITIONS AND ALTERATIONS INCLUDING RECTIFICATION WORKS (SINGLE DWELLING)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for Additions and Alterations including Rectification Works (Single Dwelling) at 242 Tranmere Road, Tranmere.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential and subject to the Parking and Sustainable Transport Code, Road and Railway Assets Code, Natural Assets Code and Safeguarding of Airports Code, under the Tasmanian Planning Scheme - Clarence (the Scheme). In accordance with the Scheme the proposal is a discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2025.

Council is required to exercise a discretion within the statutory period which expires on 13 August 2026.

CONSULTATION

The proposal was advertised in accordance with statutory requirements, and three representations were received raising the following issues:

- Scale, height and visual bulk affecting the neighbourhood character;
- Overshadowing and solar access; and
- Restrictive covenant or other instrument restricting height.

RECOMMENDATION:

A. That the Planning Application for Additions and Alterations including Rectification Works (Single Dwelling) at 242 Tranmere Road, Tranmere (Cl Ref PDPLANPMTD-2025/057675) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.
2. Prior to the issue of a building permit, amended plans showing the screen on the ground floor level in deck/pool area to have uniform transparency of not more than 25% must be submitted to the satisfaction of Council's Chief Executive Officer or delegate. When approved, the plans will form part of the permit.

3. An erosion and sedimentation control plan, in accordance with the Derwent Estuary Program Soil & Water Management on Building & Construction Sites document, must be submitted and approved by Council's Chief Executive Officer or delegate prior to the commencement of the use / prior to the issue of a certificate of likely compliance (CLC) for building works, (whichever occurs first). All debris/construction materials must be contained within the property. All works must be carried out in compliance with the approved erosion and sediment control plan or to the satisfaction of Council's Chief Executive Officer or delegate.

4. Driveways, parking areas and other areas accessible to vehicles must be constructed in bituminous concrete or concrete, providing for adequate stormwater drainage, prior to the commencement of the use. Details of the construction must be submitted to and approved by Council's Head of Infrastructure and Natural Assets prior to the commencement of any works.

5. Prior to the issue of the occupancy certificate or certificate of completion, the crossover and the nature strip must be reinstated to the satisfaction of Council's Chief Executive Officer or delegate.

A permit to carry out works within Council's Road reservation is required for the purposes of this condition. An application form is available on Council's website.

6. The owner must, at their expense, repair any council services (e.g. pipes, drains) and any road, crossover, footpath or other council infrastructure that is damaged because of any works carried out by the developer, or their contractors or agents pursuant to this permit. These repairs must be in accordance with any directions given by the Council and in accordance with the Council's Local Highways Standard Requirements By-Law.

If the owner does not undertake the required repair works within the timeframe specified by Council, the Council may arrange for the works to be carried out at the owner's expense.

7. The development must meet all Conditions of Approval specified by TasWater notice dated 16 December 2025. (TWDA 2025/01515-CCC).

- B. That in addition to standard advice, the following advice be provided to the proponent:

- a. An application for Plumbing Approval is required to be submitted to Council's Plumbing Department for the proposed Additions and Alterations. All plumbing works must comply with the Tasmanian Plumbing Code and Australian Standard 3500. Please refer to the Consumer, Building and Occupational Services (CBOS) website to obtain the Form 3 Application for Plumbing Approval <https://www.cbos.tas.gov.au/topics/resources-tools/Building-and-trades-forms,publications-and-report>.

- b. A Building Surveyor is to be engaged for certification for an application for building approval. The building application must ensure the dwelling complies with the ABCB Standard for Livable Housing Design (The Standard).
- C. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

Prior to this application, the crossover and driveway apron had been modified without the consent of the Road Authority.

The extent of the change is considered unacceptable, and reinstatement works have been included in this application.

2. STATUTORY IMPLICATIONS

2.1. The land is zoned General Residential under the Scheme.

2.2. The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

2.3. The relevant parts of the Planning Scheme are:

- Section 5.6 – Compliance with Applicable Standards;
- Section 6.10 – Determining Applications;
- Section 7 – General Provisions;
- Section 8 – General Residential Zones;
- Section C2.0 – Parking and Sustainable Transport Code;
- Section C3.0 – Road and Railway Assets Code;
- Section C7.0 – Natural Assets Code; and
- Section 16.0 – Safeguarding of Airports Code.

- 2.4.** Council’s assessment of this proposal must consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the *Land Use Planning and Approvals Act, 1993* (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a moderately sloping lot of 716m², to the east of Tranmere Road. The land is separated from the public foreshore by Tranmere Road, and adjoins residences to the east, north and south.

The site contains an existing double storey single dwelling (when viewed from the street). The site is serviced with reticulated infrastructure.

3.2. The Proposal

The proposal is made for a substantial redevelopment of the existing dwelling with an addition of a third floor, as well as alterations to the vehicle cross over and landscaping at the front of the site. The maximum height of the proposal will be 6.9m measured from existing ground level.

The lower floor is proposed to be minorly altered to contain a workshop, a storage and a new single vehicle garage.

The ground floor will be modified, mainly to the northern side of the site, with internal renovations and an extension to the front and rear to consist of three existing bedrooms, open plan living/dining/living area, a deck and a pool.

An additional floor is proposed to be constructed above the northern side of the existing dwelling, consisting of one bedroom, a toilet/bathroom and a retreat/office.

4. PLANNING ASSESSMENT

4.1. Compliance with Applicable Standards [Section 5.6]

“5.6.1 A use or development must comply with each applicable standard in the State Planning Provisions and the Local Provisions Schedules”.

4.2. Determining Applications [Section 6.10]

“6.10.1 In determining an application for any permit for use or development the planning authority must, in addition to the matters required by section 51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with section 57(5) of the Act, but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

References to these principles are contained in the discussion below.

4.3. General Provisions

The Scheme contains a range of General Provisions relating to specific circumstances not controlled through the application of Zone, Code or Specific Area Plan provisions.

In this instance, as the proposal includes the demolition of part of the rear of the dwelling and rear deck, General Provision 7.9 – which relates to demolition by itself, is not applicable.

4.4. Compliance with Zone and Codes

The proposal complies with the Parking and Sustainable Transport Code because pursuant to Table C2.1, two car parking spaces are provided on-site.

Council’s consent for works within the road reserve was provided on the basis that the vehicular crossover be reinstated.

The proposal is within an airport obstacle limitation area, although does not exceed 147m AHD. The proposal is therefore exempt under clause C16.4.1 (a).

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone, Parking and Sustainable Transport Code, Road and Railway Assets Code, Natural Assets Code and Safeguarding of Airports Code, with the exception of the following.

General Residential Zone

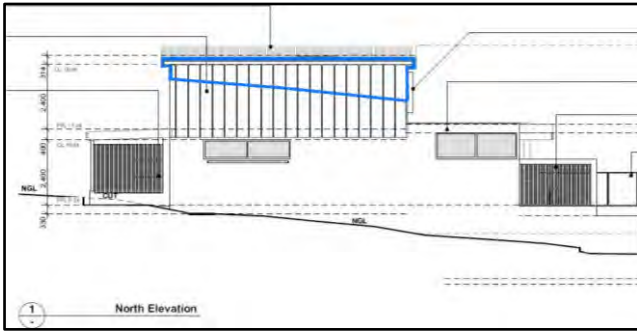
- **Clause 8.4.2 A1** – The proposal does not comply with the acceptable solution because the development includes a retaining wall which does not meet the exemption criteria and is located within 4.5m of the frontage.

The proposal must be assessed against Performance Criteria P1 of Clause 8.4.2 as follows.

Performance Criteria	Assessment
<i>“Clause 8.4.2 - P1”</i>	The proposal is assessed as satisfying the performance criteria as outlined below.
<i>A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints”.</i>	The dwelling is designed in a way that the main elements (façade, roof line, garage and entry) are all setback 4.5m, which complies with the requirement of the acceptable solution. However, the retaining walls, which are within 4.5m of the frontage, are largely below natural ground level, to afford a level parking area and will be no greater than 1m in height. Such an arrangement is taken to be compatible with the nature of a dwelling in the streetscape, where topographical constraints are required to be addressed. The proposed setback is considered compatible with the streetscape with similar examples at 240 Tranmere Road, 317 Carella Street and 6 Arlunya Street.

- **Clause 8.4.2 A3** – The proposal does not comply with the acceptable solution because, while not extending closer to the boundary, the northern elevation will now exceed the 9m wall length. In addition, the upper addition now extends outside the building envelope on the northern face.

The proposal must be assessed against Performance Criteria P3 of Clause 8.4.2 as follows.

Performance Criteria	Assessment
<i>“Clause 8.4.2 – P3</i>	The proposal is assessed as satisfying the performance criteria as outlined below.
<i>The siting and scale of a dwelling must:</i>	
<i>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</i>	The dwelling will be setback 1.75m (at the closest) from the northern side boundary and this wall will be a maximum of 6.5m in height, measured from the existing ground level. Overall, the maximum height above the existing ground level will be 6.95m (as the roof slopes up to the south). As a result, the northern face of the proposal extends beyond the building envelope, as shown in Fig.1 below.  Fig.1 - Extent of the dwelling that lies outside the building envelope along northern elevation.
<i>i. reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</i>	The proposal is supported by shadow diagrams which show that overshadowing due to the new development on the adjoining dwelling to the south, 244 Tranmere Road, is largely within the shadow cast from the current development. Specifically, the proposal does not further reduce sunlight to habitable rooms of the adjoining property on the Winter solstice.
<i>ii. overshadowing the private open space of a dwelling on an adjoining property;</i>	The private open space for 244 Tranmere Road is south-east of the subject site and will not experience any overshadowing from the proposed additions.
<i>iii. overshadowing of an adjoining vacant property; and</i>	Not applicable, there is no adjoining vacant property.

<i>iv. visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;</i>	The surrounding neighbourhood is characterised by predominately single dwellings which range from one to three storeys. While the proposed dwelling features three storeys, the bulk of the building generally presents as two storeys as it steps back with the topography of the site and is cut into the slope By designing a different layout for each floor, the proposal has created a terraced effect when viewed from the adjoining properties. In addition, by proposing a low-pitched skillion roof and different types of material, the design has broken the mass visually. The natural slope of the land means that properties to the east fronting Carella Street are higher than properties fronting Tranmere Road, including the subject site. This creates a terraced effect, with the proposed third floor at the same level when viewed from the adjoining properties. While this upper floor addition will be visible from the properties to the rear, and will intrude somewhat into the existing extensive viewscape, it is neither expansive nor dominant. Accordingly, any visual impact is considered reasonable.
<i>(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</i>	The setbacks to the dwellings to the north (approximately 3.5m) and to the south (approximately 5.8m) will remain unchanged, which is relatively consistent with nearby properties, for example, 240 Tranmere Road, 1 and 3 Arlunya Street, 317 and 319 Carella Street that range from 4.4m to 5.4m.
<i>(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</i> <i>i. an adjoining property; or</i>	Aerial imagery shows that the only adjoining property with solar panels at the time of assessment is the property to the north, 240 Tranmere Road. However, the proposal cannot overshadow properties to the north.
<i>ii. another dwelling on the same site”.</i>	Not applicable, there are no other dwellings on the site.

Natural Assets Code

- **Clause C7.6.1** - The proposal does not comply with the acceptable solution because works are proposed within the waterway coastal protection area (from the Derwent River) and the development is not within a building envelope described on a sealed plan.

The proposal must be assessed against Performance Criteria P1.1 of Clause C7.6.1 as follows.

Performance Criteria	Assessment
<i>“Clause C7.6.1 – P1.1</i>	The proposal is assessed as satisfying the performance criteria as outlined below.
<i>Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to:</i>	
<i>(a) impacts caused by erosion, siltation, sedimentation and runoff;</i>	An erosion and sedimentation control plan is recommended to be prepared and implemented to reduce the risk of sediment escaping the site.
<i>(b) impacts on riparian or littoral vegetation;</i>	No riparian vegetation is evident; the works are within a private garden.
<i>(c) maintaining natural streambank and streambed condition, where it exists;</i>	The proposal will not affect the streambank, which is further to the west, on the other side of Tranmere Road.
<i>(d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;</i>	The proposal will not have cause for any works within the stream or within any habitat.
<i>(e) the need to avoid significantly impeding natural flow and drainage;</i>	The works will not impede the flow of the river.
<i>(f) the need to maintain fish passage, where known to exist;</i>	The works have no capability of impeding fish passage.
<i>(g) the need to avoid land filling of wetlands;</i>	The proposal does not include land filling.
<i>(h) the need to group new facilities with existing facilities, where reasonably practical;</i>	All proposed connections to the lot would be within the road reserve and connected to existing infrastructure.

(i) <i>minimising cut and fill;</i>	Minimal cut and fill is proposed as part of the works but would be limited to the areas required for construction and access.
(j) <i>building design that responds to the particular size, shape, contours or slope of the land;</i>	The dwelling is separated from the foreshore and is suitable to the topography of the land.
(k) <i>minimising impacts on coastal processes, including sand movement and wave action;</i>	The proposed dwellings will not affect coastal processes including sand movement and wave action.
(l) <i>minimising the need for future works for the protection of natural assets, infrastructure and property;</i>	The proposal is not anticipated to warrant future protection works.
(m) <i>the environmental best practice guidelines in the Wetlands and Waterways Works Manual; and</i>	An erosion and sedimentation control plan is recommended to be prepared and implemented to reduce the risk of sediment escaping the site.
(n) <i>the guidelines in the Tasmanian Coastal Works Manual”.</i>	

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements, and three representations were received. The following issues were raised by the representors.

5.1. Scale, height and visual bulk affecting the neighbourhood character

Two representors raised concerns that the development protrudes from the building envelope, the proposal is not consistent with what is existing in the neighbourhood leading to visual dominance and the proposal negatively impacting the owners to the east of the subject site.

- **Comment**

The protrusion from the envelope is recognised. The impacts of the proposal relative to adjoining properties is considered in the address to clause 8.4.2 (a) of the planning scheme as discussed above. The proposal is assessed as complying with the performance criteria, in that the visual impact of the upper floor addition is of a size and scale that will not present an unreasonable visual impact.

5.2. Overshadowing and solar access

Three representors raised concerns about shadow diagrams not provided in relation to the existing ground level of all adjoining properties, and unreasonable overshadowing to the existing solar energy installation, private open space, kitchen, dining and living room.

- **Comment**

The impact of overshadowing has been assessed above under clause 8.4.2. The provided diagrams clearly show that overshadowing, due to the new development, will not substantially increase overshadowing from the existing development.

5.3. Restrictive covenant or other instrument restricting height

Two representors raised concerns about the proposed development not complying with the restrictive covenant on the property title.

- **Comment**

A review of the Certificate of Title for the site did not identify any restrictive covenants. However, covenants are not a relevant matter for consideration under the planning scheme.

6. EXTERNAL REFERRALS

The proposal was referred to TasWater, who have provided conditions to be included on the planning permit if granted.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with and furthers the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan or any other relevant Council Policy.

9. CONCLUSION

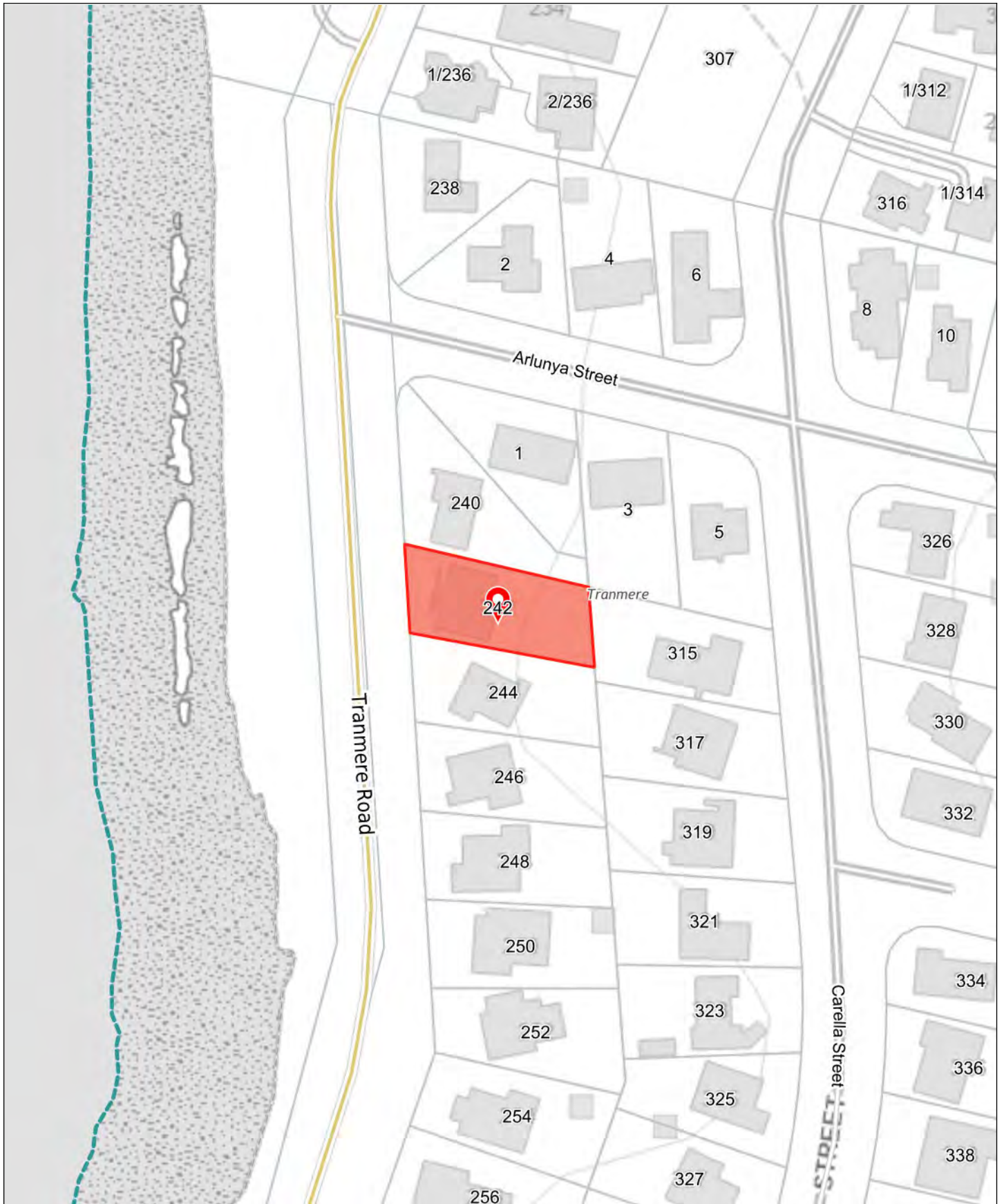
The proposal for Additions and Alterations including Rectification Works (Single Dwelling) is recommended for approval, subject to conditions.

Attachments: 1. Location Plan (1)
2. Proposal Plan (21)
3. Site Photo (5)

Daniel Marr
HEAD OF CITY PLANNING

Council now concludes its deliberations as a Planning Authority under the Land Use Planning and Approvals Act, 1993.

Attachment 1



This map has been produced by Clarence City Council using data from a range of agencies. The City bears no responsibility for the accuracy of this information and accepts no liability for its use by other parties.

24/07/2026

1:1128



	DRAWING SCHEDULE
A.01	LOCATION PLAN
A.02	SITE PLAN - EX/DEMO
A.03	SITE PLAN - PROPOSED
A.04	LOWER FLOOR PLAN - EXISTING
A.05	GROUND FLOOR PLAN - EXISTING
A.06	ROOF PLAN - EXISTING
A.07	LOWER FLOOR PLAN - DEMOLITION
A.08	GROUND FLOOR PLAN - DEMOLITION
A.09	ROOF PLAN - DEMOLITION
A.10	LOWER FLOOR PLAN - PROPOSED
A.11	GROUND FLOOR PLAN - PROPOSED
A.12	FIRST FLOOR PLAN - PROPOSED
A.13	ROOF PLAN - PROPOSED
A.14	ELEVATIONS - EXISTING
A.15	ELEVATIONS - EXISTING
A.16	ELEVATIONS - PROPOSED
A.17	ELEVATIONS - PROPOSED
A.18	3D PERSPECTIVE
A.19	3D PERSPECTIVE
A.20	3D PERSPECTIVE
A.21	3D PERSPECTIVE
A.22	SITE SEWER, DRAINAGE & STORMWATER
A.23	SHADOW DIAGRAMS 21ST JUNE

Attachment 2



242 TRANMERE RD,
TRANMERE

ADDITION
JOB NO: 2509

ARTIST IMPRESSION ONLY

SITE INFORMATION
Title Reference: 14068/5
Property ID: 5242201
Council: Clarence
Planning Zone: General Residential
Covenants

General Overlays:
N/A

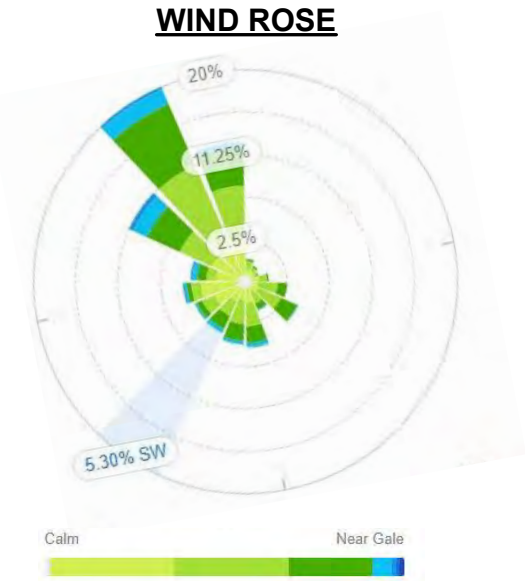
Code Overlays:
Waterway and Coastal Protection Area
Airport Obstacle Limitation Area

Soil Classification: 'CLASS H1'
Refer to GES's Soil Report.

Wind Classification: N3
Region: A
Terrain Category: 1.0
Shielding Classification: NS
Topographic Classification: T0
Design Wind Gust Speed – m/s (Vh,u): 50

NCC Building Class: 1a

AREA SCHEDULE	
Land area:	716m ²
Existing Lower Ground Floor Area:	41.69m ²
Existing Ground Floor Area (Excl.deck):	134.62m ²
Proposed Lower Ground Floor Area:	52.74m ²
Proposed Ground Floor Area (Excl.deck):	172.45m ²
Proposed First Floor Area:	60.40m ²
Total Floor Area:	308.98m²
Proposed Deck Area:	28.93m ²
Proposed Patio Area:	56.15m ²



All dimensions in millimetres
unless noted otherwise.

PRINT ALL DRAWINGS IN COLOUR



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PROPOSAL
ALTERATIONS & ADDITIONS
PROJECT STAGE
DA
DATE
16/06/2026
SCALE
NTS



REV
1
2
AMENDMENT
RFI
RFI

DATES
02/03/2026
16/06/2026

A.01
LOCATION PLAN

LEGEND

- EXISTING BUILDING
- DEMOLITION
- NEIGHBOURING BUILDING
- WATERWAY COASTAL PROTECTION AREA
- AIRPORT OBSTACLE LIMITATION AREA (WHOLE SITE)
- BOUNDARY
- CONTOUR
- SET BACK
- DEMOLITION
- S

EX.SEWER MAIN
- SW

EX. STORMWATER MAIN
- COMMS

TELSTRA PIT
- WM

METER WATER
- SEWER MANHOLE
- PP

POWER POLE

SOIL & WASTE MANAGEMENT NOTES

General Notes
Workmanship, materials and design shall comply with the Australian Standards, The National Construction Code, local Council requirements, and relevant codes and standards.

Monitor sediment and erosion control measures at least once a week and after each rainfall event.
Construct service trenches away from where water is likely to concentrate.

Try not to have service trench open any longer than necessary.

Prevent clean rainwater running across the site by connecting downpipes to the stormwater system as soon as the roof is on the building frame.

Protection of drainage systems
Protect nearby stormwater system including any stormwater pits on and below the site from sediment blockage.
Excavation.

Schedule earthworks in phases throughout the project so that the ground is disturbed for the shortest time possible.

Avoid stripping and excavating until all necessary permits, licenses and approvals have been obtained.
Stabilise areas of exposed soil with vegetation or erosion control blankets and mats.

Diversion drains
Divert up-slope catchment runoff around the site by installing a diversion drain and level spreader.
Material stockpiles.

Designate a location where topsoil and other excavation material will be stockpiled during building and construction.
Provide suitable controls to prevent erosion.

Vegetation
Keep as much vegetation as possible to minimise soil erosion and reduce rainwater running across the site.

Site access
Choose a single, stabilised access point.

Designate an appropriate location within the site where sediment-generating activities can be managed (e.g. wheel wash, brick cutting)



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PROJECT STAGE
DA

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REV	AMENDMENT
1	RFI
2	RFI

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A.02
SITE PLAN - EX./DEMO

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- NEIGHBOURING BUILDING
- WATERWAY COASTAL PROTECTION AREA
- AIRPORT OBSTACLE LIMITATION AREA (WHOLE SITE)
- BOUNDARY
- CONTOUR
- SET BACK
- S

EX.SEWER MAIN
- SW

EX.STORMWATER MAIN
- COMMS

TELSTRA PIT
- WM

METER WATER
- SEWER MANHOLE
- PP

POWER POLE

SOIL & WASTE MANAGEMENT NOTES

General Notes
Workmanship, materials and design shall comply with the Australian Standards, The National Construction Code, local Council requirements, and relevant codes and standards.

Monitor sediment and erosion control measures at least once a week and after each rainfall event.
Construct service trenches away from where water is likely to concentrate.

Try not to have service trench open any longer than necessary.

Prevent clean rainwater running across the site by connecting downpipes to the stormwater system as soon as the roof is on the building frame.

Protection of drainage systems
Protect nearby stormwater system including any stormwater pits on and below the site from sediment blockage.
Excavation.

Schedule earthworks in phases throughout the project so that the ground is disturbed for the shortest time possible.

Avoid stripping and excavating until all necessary permits, licenses and approvals have been obtained.
Stabilise areas of exposed soil with vegetation or erosion control blankets and mats.

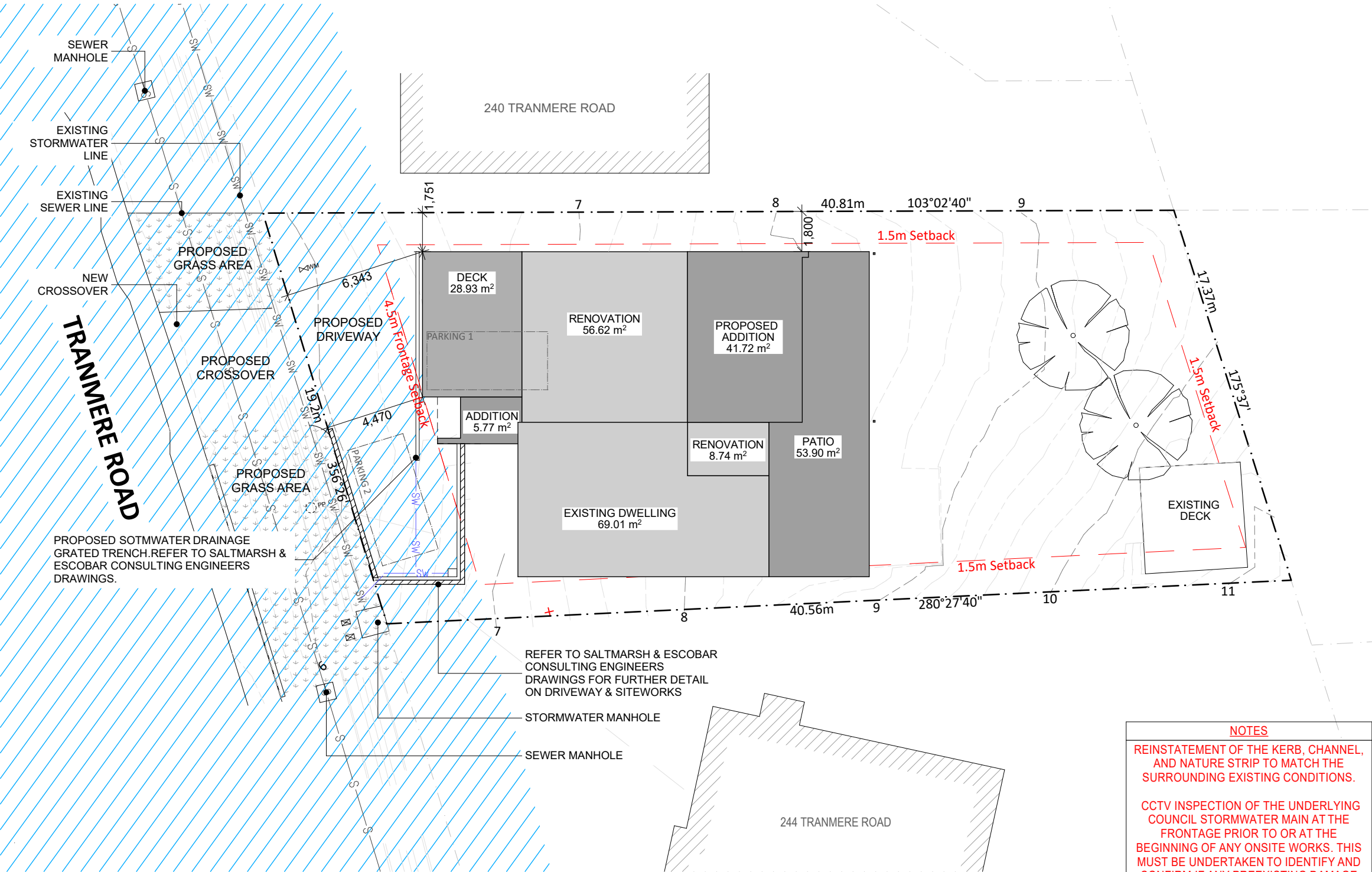
Diversion drains
Divert up-slope catchment runoff around the site by installing a diversion drain and level spreader.
Material stockpiles.

Designate a location where topsoil and other excavation material will be stockpiled during building and construction.
Provide suitable controls to prevent erosion.

Vegetation
Keep as much vegetation as possible to minimise soil erosion and reduce rainwater running across the site.

Site access
Choose a single, stabilised access point.

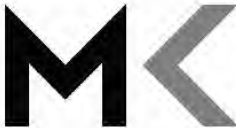
Designate an appropriate location within the site where sediment-generating activities can be managed (e.g. wheel wash, brick cutting)



Site Areas	
Site area	716 sqm
Total Building Area	264.69 sqm
Total Site Coverage	36.96%

- NOTES
- REINSTATEMENT OF THE KERB, CHANNEL, AND NATURE STRIP TO MATCH THE SURROUNDING EXISTING CONDITIONS.
- CCTV INSPECTION OF THE UNDERLYING COUNCIL STORMWATER MAIN AT THE FRONTAGE PRIOR TO OR AT THE BEGINNING OF ANY ONSITE WORKS. THIS MUST BE UNDERTAKEN TO IDENTIFY AND CONFIRM IF ANY PREEXISTING DAMAGE HAS OCCURRED TO THE PUBLIC ASSEST AS A RESULT OF THE UNAPPROVED WORKS.
- REMOVAL OF THE UNAPPROVED FENCE SECTION CURRENTLY LOCATED ON THE NATURE STRIP/ROAD RESERVE.

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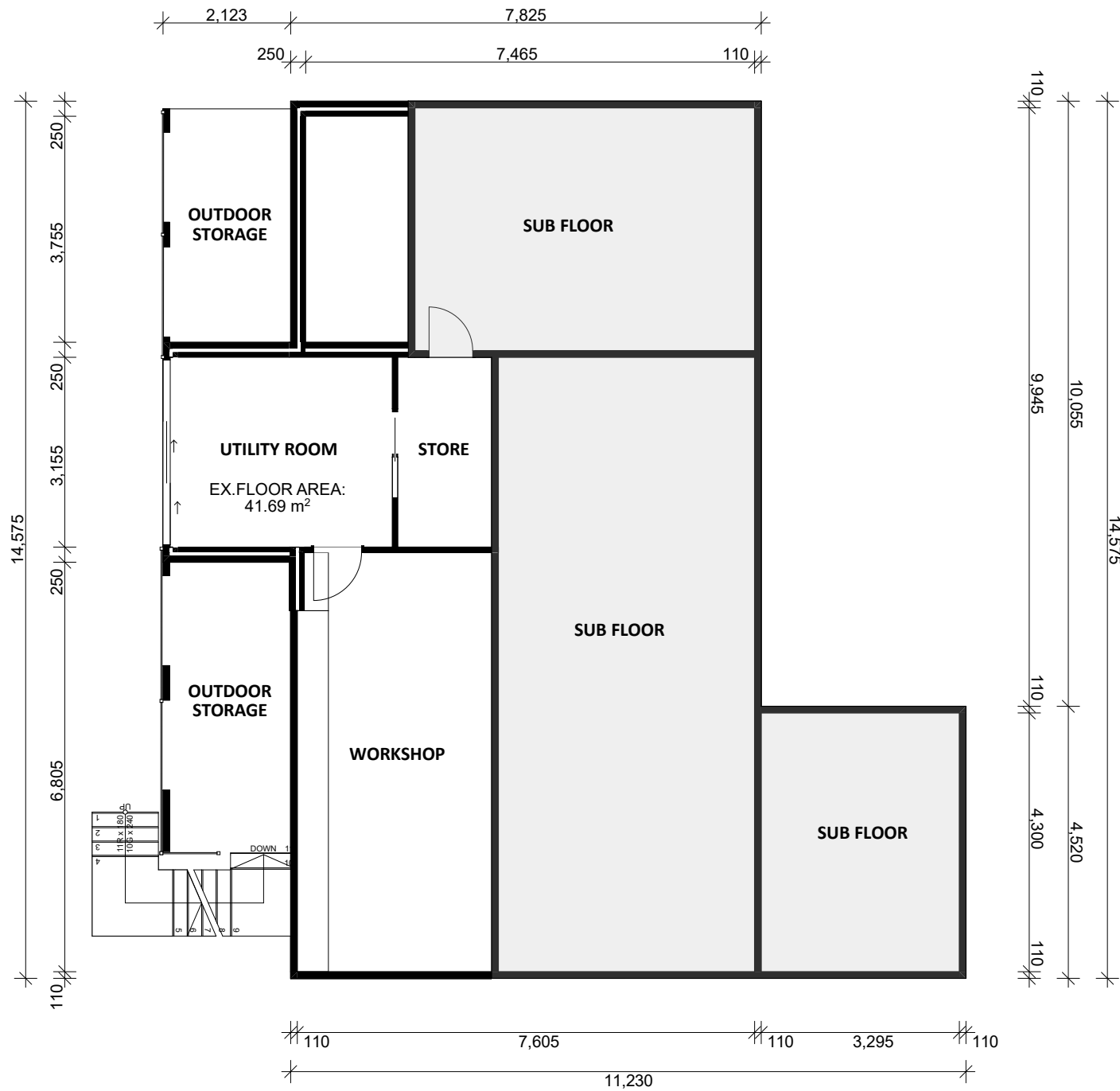
A.03
SITE PLAN - PROPOSED

LEGEND

EXISTING WALLS

NOTES

DOUBLE CHECK ALL EXISITNG
MEASUREMENTS & ROOF PITCH PRIOR TO
CONSTRUCTION



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M

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PROJECT STAGE

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SCALE

1:100 @ A3



REV	AMENDMENT	DATES
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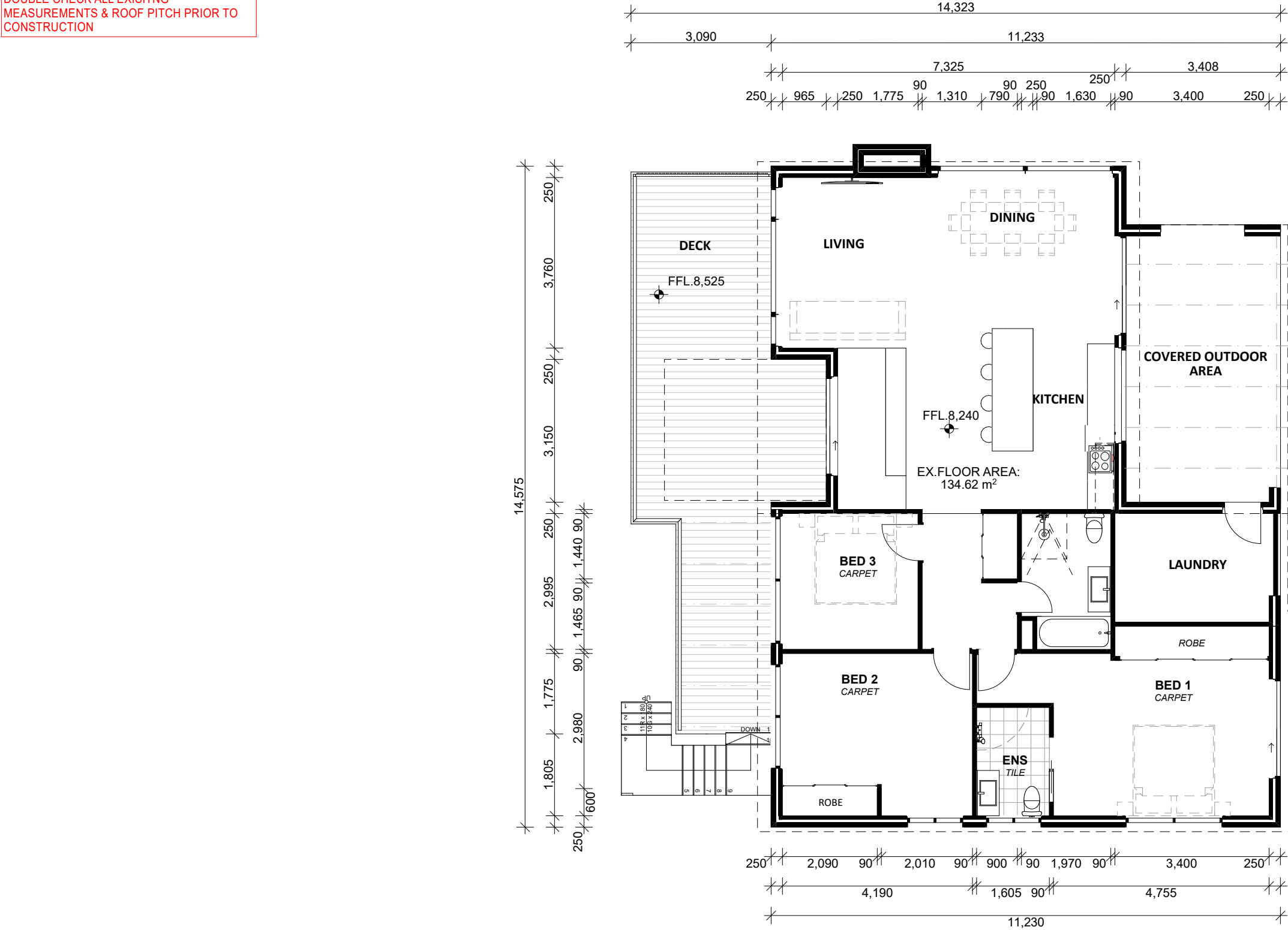
A.04

LOWER FLOOR PLAN -
EXISTING

LEGEND

EXISTING WALLS
FFL. FINISH FLOOR LEVEL

NOTES
DOUBLE CHECK ALL EXISITNG
MEASUREMENTS & ROOF PITCH PRIOR TO
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AMENDMENT
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A.05
GROUND FLOOR PLAN -
EXISTING



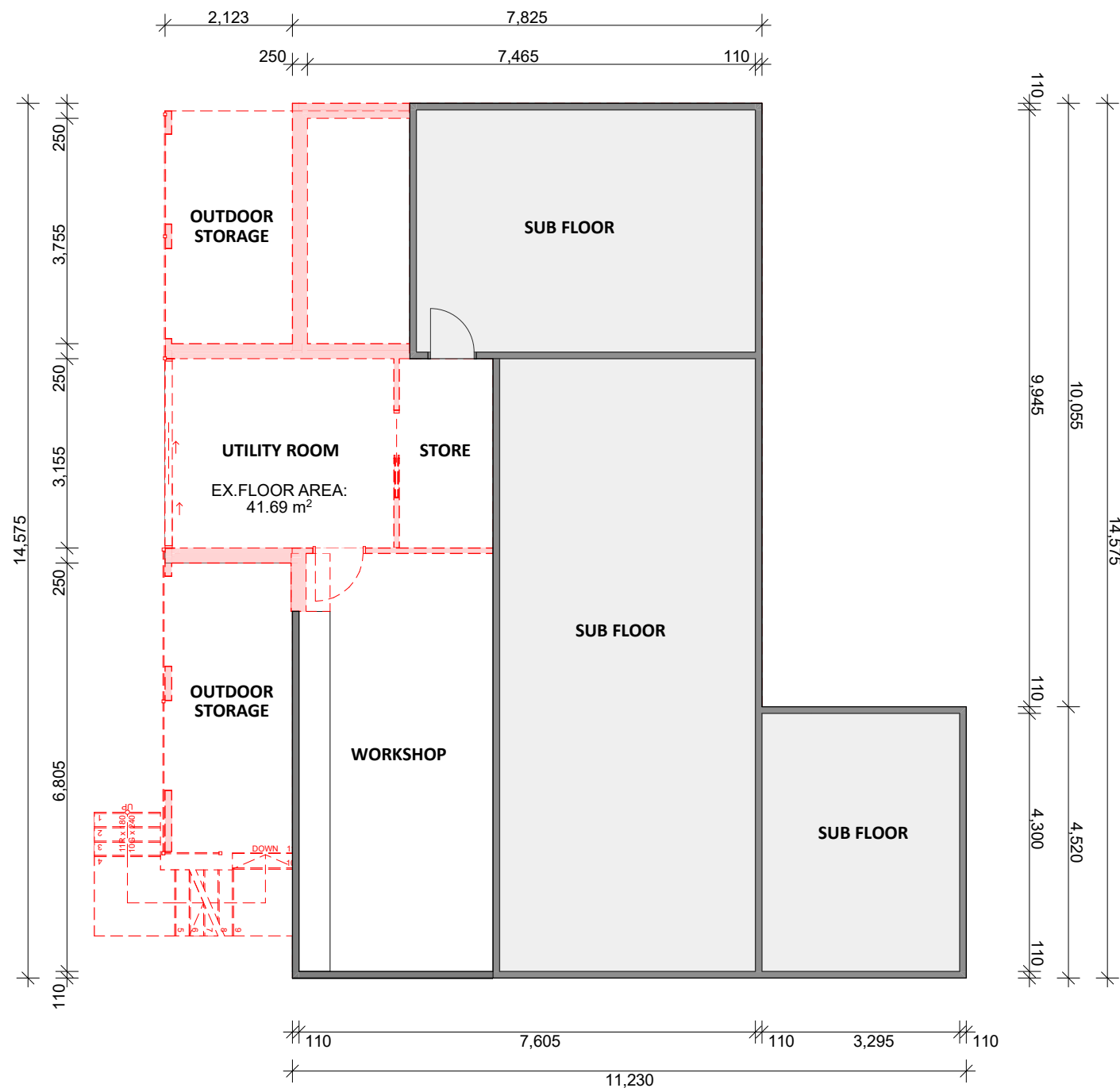
LEGEND

EXISTING WALLS

DEMOLITION WORK

NOTES

DOUBLE CHECK ALL EXISITNG MEASUREMENTS & ROOF PITCH PRIOR TO CONSTRUCTION



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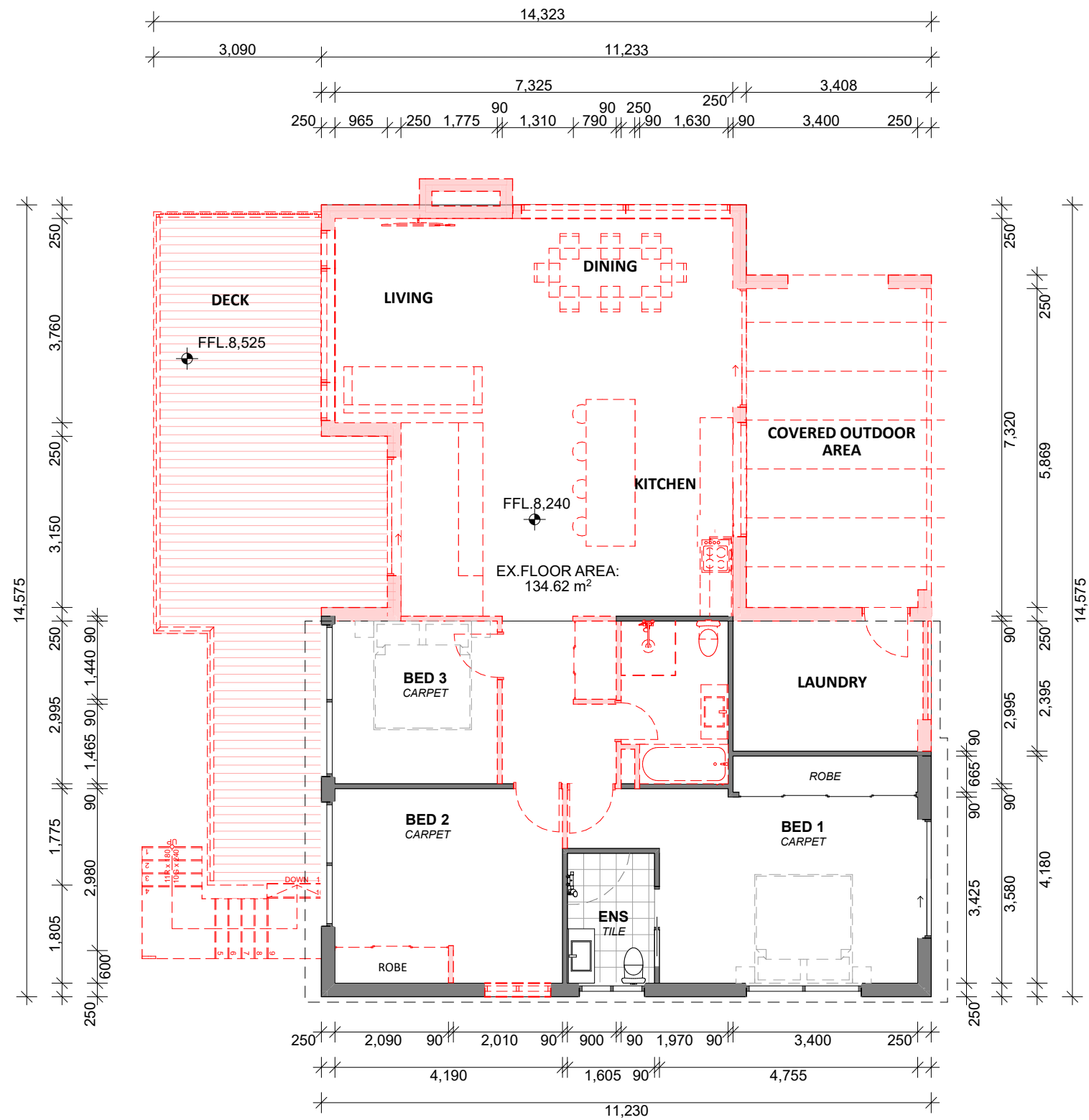
A.07
LOWER FLOOR PLAN -
DEMOLITON



LEGEND

- EXISTING WALLS
- DEMOLITION WORK
- FFL. FINISH FLOOR LEVEL

NOTES
DOUBLE CHECK ALL EXISITNG
MEASUREMENTS & ROOF PITCH PRIOR TO
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A.08
GROUND FLOOR PLAN -
DEMOLITION

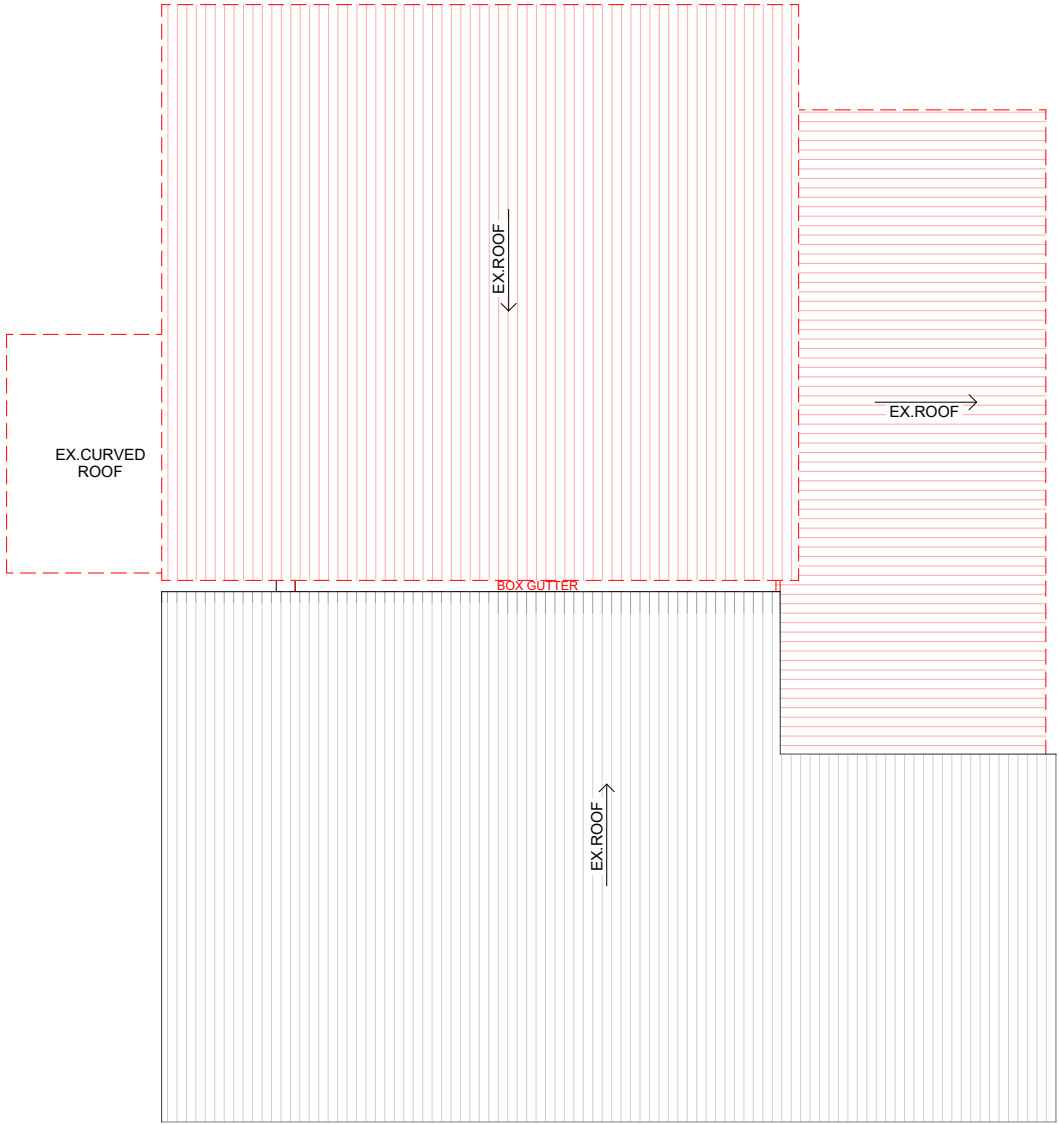
LEGEND

EXISTING

DEMOLITION WORK

NOTES

DOUBLE CHECK ALL EXISITNG
MEASUREMENTS & ROOF PITCH PRIOR TO
CONSTRUCTION



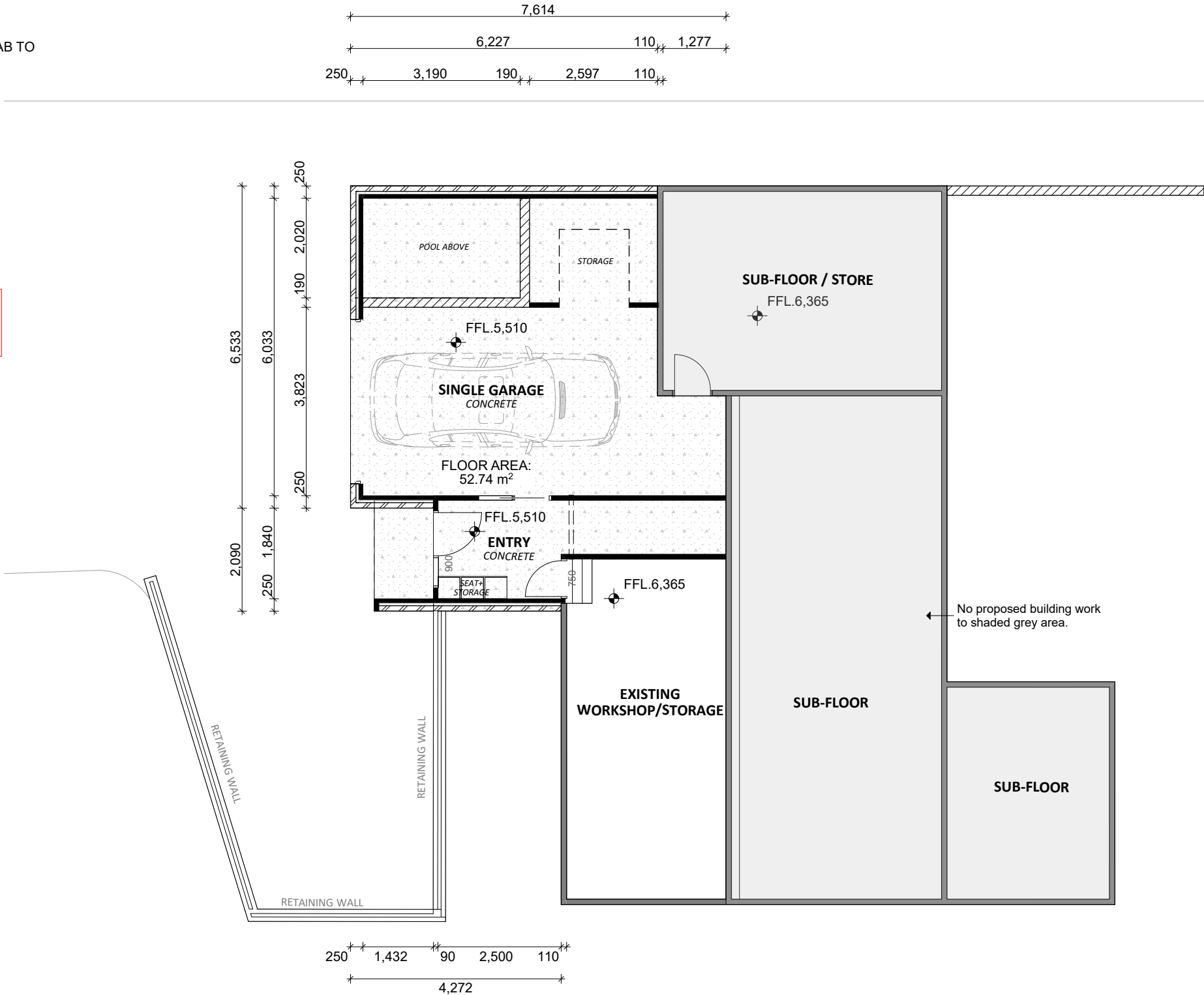
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LEGEND

- EXISTING WALLS
- PROPOSED WORKS
- FFL. FINISH FLOOR LEVEL

CONCRETE POLISHED CONCRETE SLAB TO ENGINEERS DETAILS

NOTES
DOUBLE CHECK ALL EXISITNG MEASUREMENTS & ROOF PITCH PRIOR TO CONSTRUCTION



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REV	AMENDMENT
1	RFI
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02/03/2026
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A.10
LOWER FLOOR PLAN -
PROPOSED

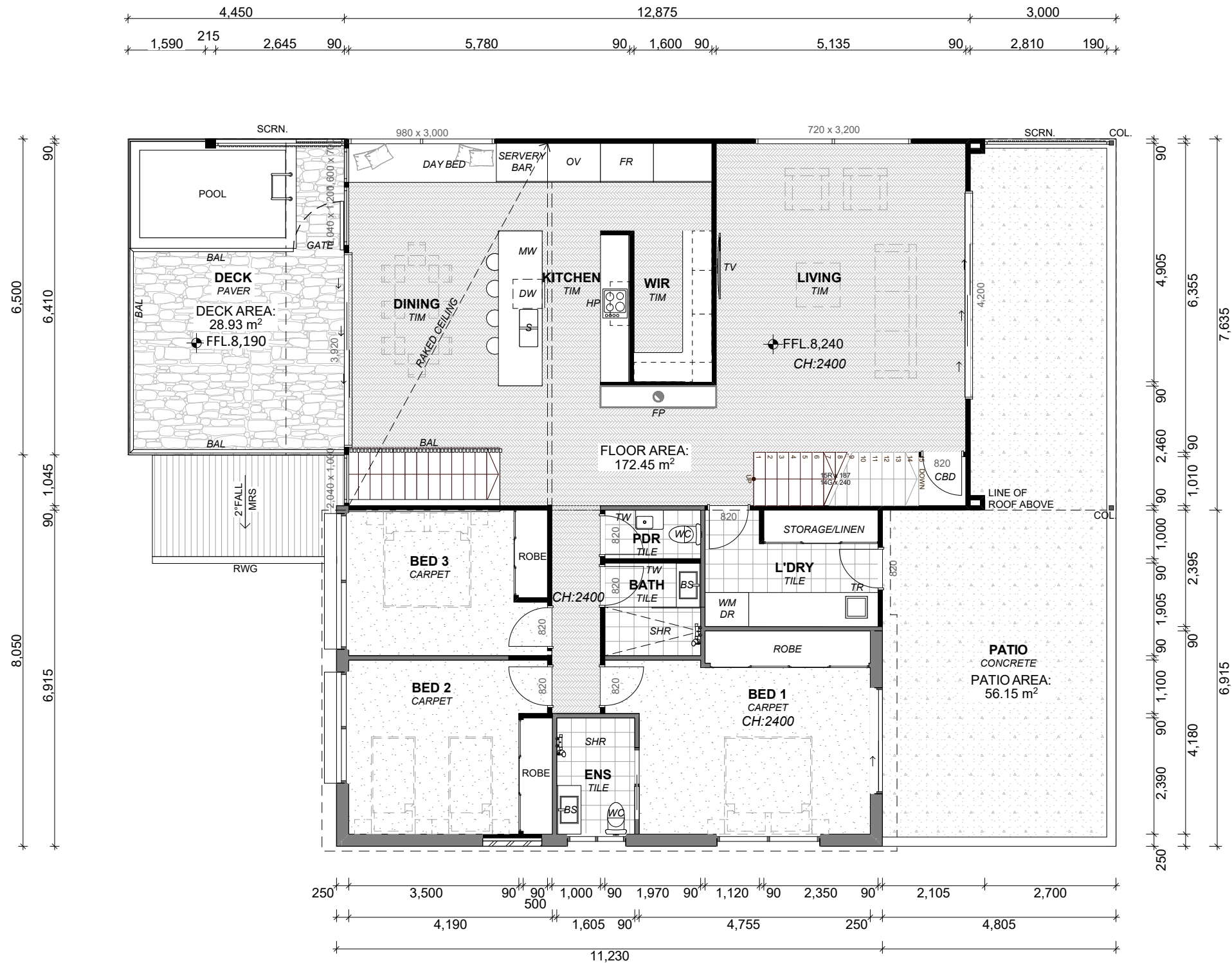


LEGEND

	EXISTING WALLS
	PROPOSED WORKS
CH.	CEILING HEIGHT
FFL.	FINISH FLOOR LEVEL
BAL.	BALUSTRADE, TO OWNERS SELECTION.
BS	BASIN
COL	COLUMN
DR	DRYER
DP	RAINWATER DOWNPIPE
DW	DISHWASHER
FR	REFRIGERATOR
FP	GAS FIRE PLACE
HP	HOT PLATES
MW	MIRCROWAVE
OV	OVEN
RWG	RAINWATER GUTTER
S	SINK
SCRN.	SCREEN, TO OWNERS SELECTION.
SHR	SHOWER
TR	TROUGH
TV	TELEVISION
WM	WASHING MACHINE
WC	WATER CLOSET

CONCRETE	POLISHED CONCRETE SLAB TO ENGINEERS DETAILS
CARPET	CARPET FLOOR FINISH, TO OWNERS SELECTION.
TILE	CERAMIC FLOOR TILE, TO OWNERS SELECTION.
TIM	HERRINGBONETIMBER FLOORING, TO OWNERS SELECTION.
PAVER	PAVER, TO OWNERS SELECTION.

NOTES
DOUBLE CHECK ALL EXISITNG MEASUREMENTS & ROOF PITCH PRIOR TO CONSTRUCTION



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REV
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AMENDMENT
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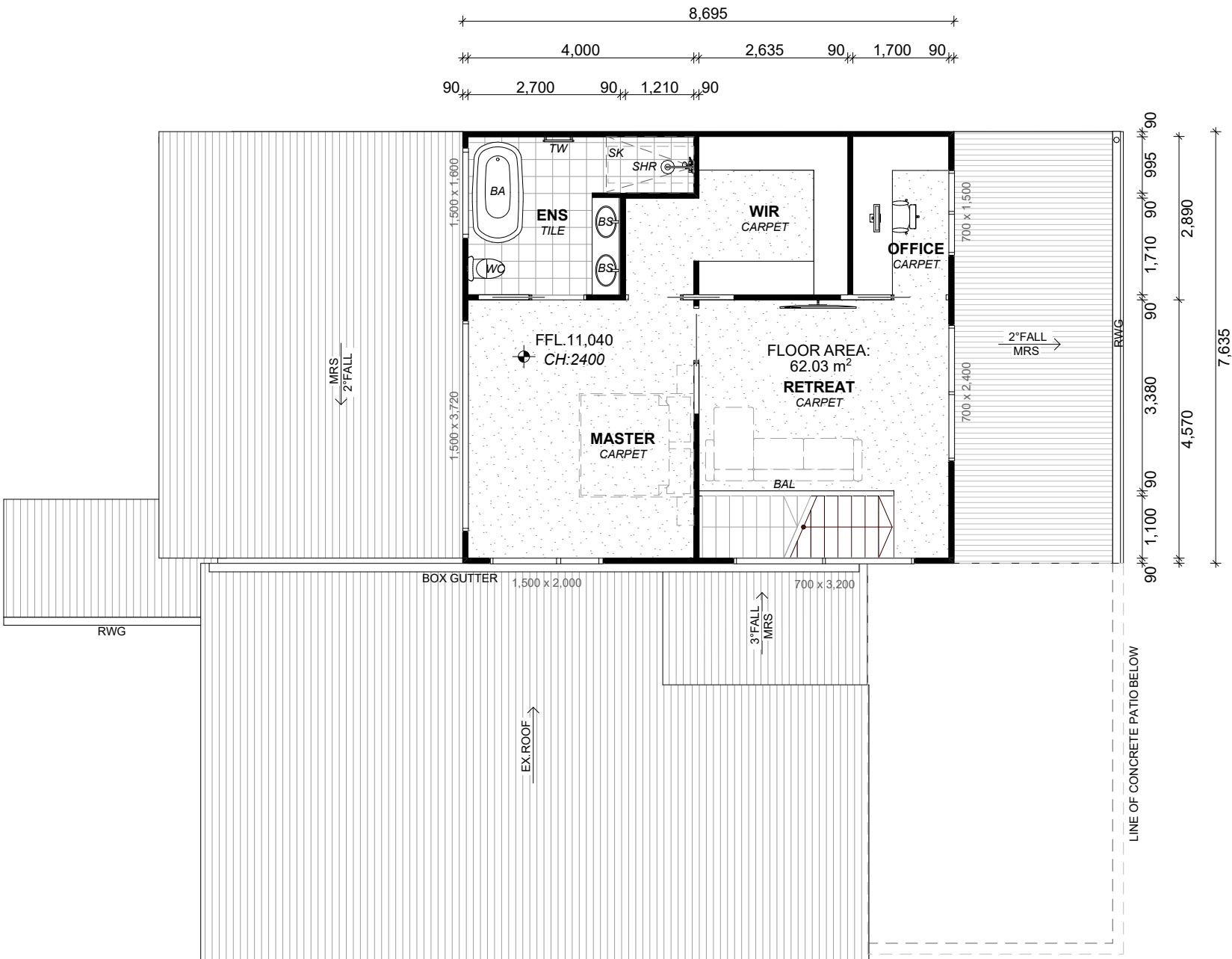
DATES
02/03/2026
16/06/2026

A.11
GROUND FLOOR PLAN -
PROPOSED

LEGEND

- EXISTING WALLS
- PROPOSED BUILDING WORKS
- CH. CEILING HEIGHT
- FFL. FINISH FLOOR LEVEL
- BAL. BALUSTRADE, TO OWNERS SELECTION.
- BA BATH
- BS BASIN
- DP RAINWATER DOWNPIPE
- SHR SHOWER
- SK SKYLIGHT
- TW TOWEL RAIL
- WC WATER CLOSET
- CARPET CARPET FLOOR FINISH, TO OWNERS SELECTION.
- TILE CERAMIC FLOOR TILE, TO OWNERS SELECTION.

NOTES
DOUBLE CHECK ALL EXISITNG MEASUREMENTS & ROOF
PITCH PRIOR TO CONSTRUCTION



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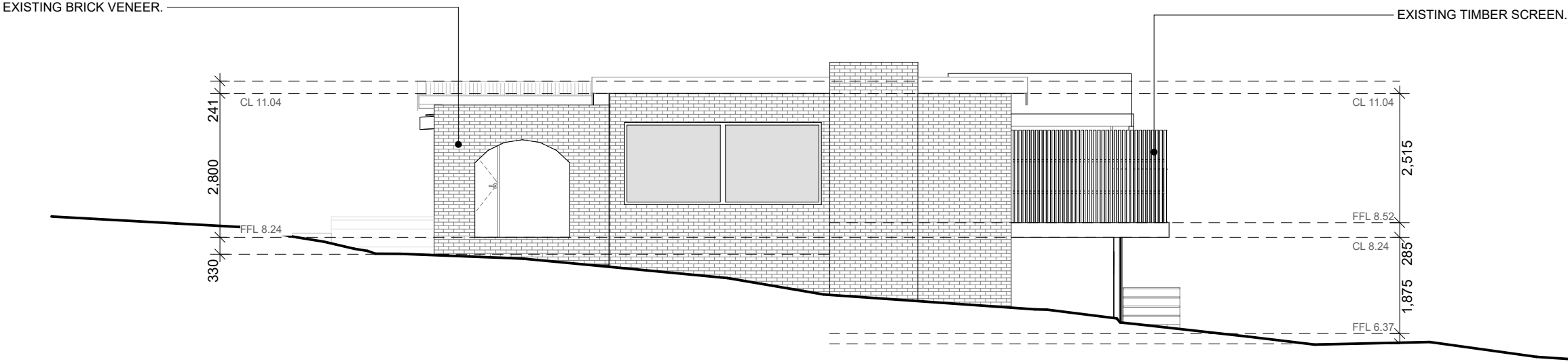
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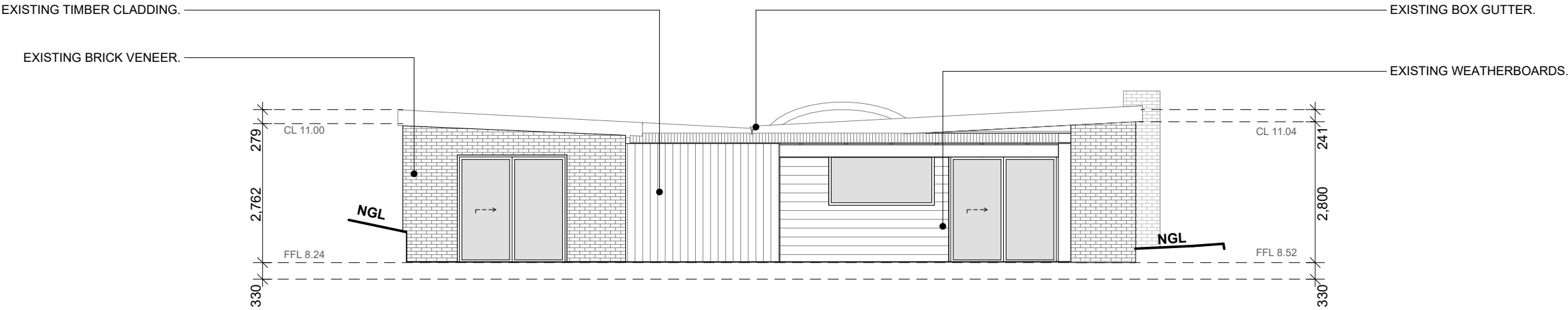
REV
1
2
AMENDMENT
RFI
RFI

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A.12
FIRST FLOOR PLAN -
PROPOSED



1
- North Elevation



2
- East Elevation



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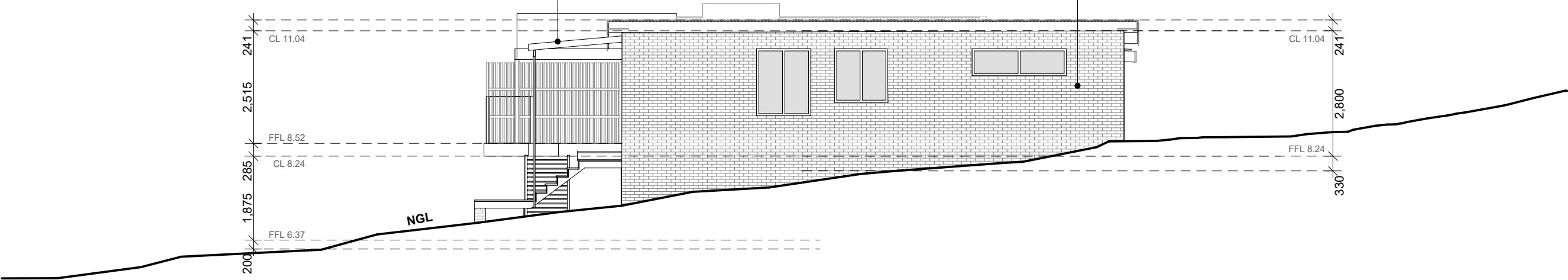
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16/06/2026
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REV	AMENDMENT	DATES
1	RFI	02/03/2026
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A.14
ELEVATIONS -
EXISTING

EXISTING ENTRY PERGOLA.

EXISTING BRICK VENEER.



3
-

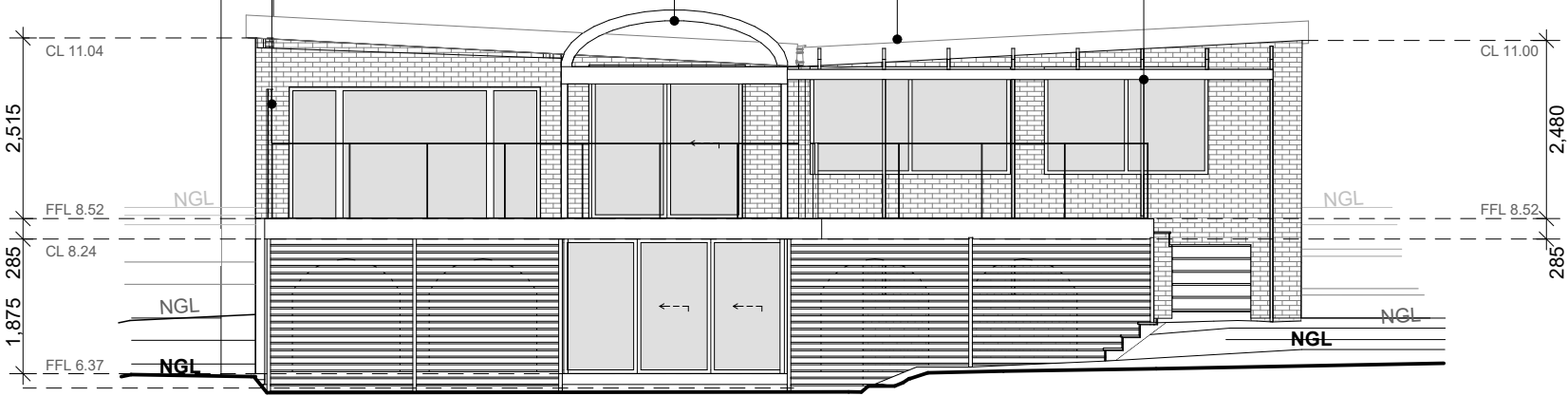
South Elevation

EXISTING CURVED ENTRY
ROOF.

EXISTING TIMBER SCREEN.

EXISTING BUTTERFLY ROOF.

EXISTING ENTRY PERGOLA.



4
-

West Elevation

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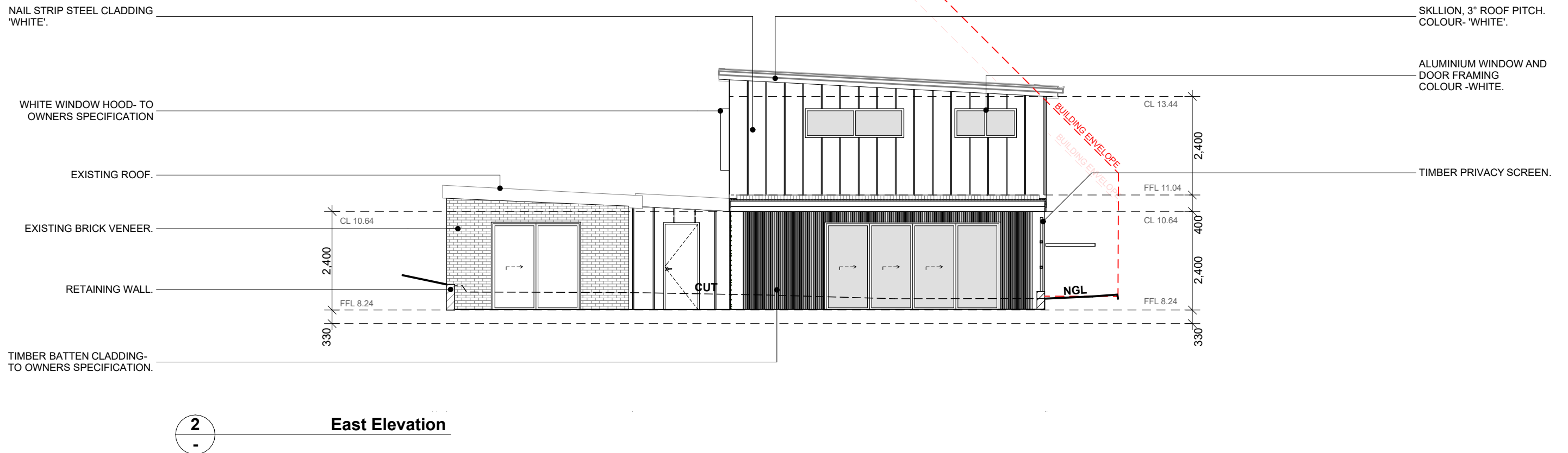
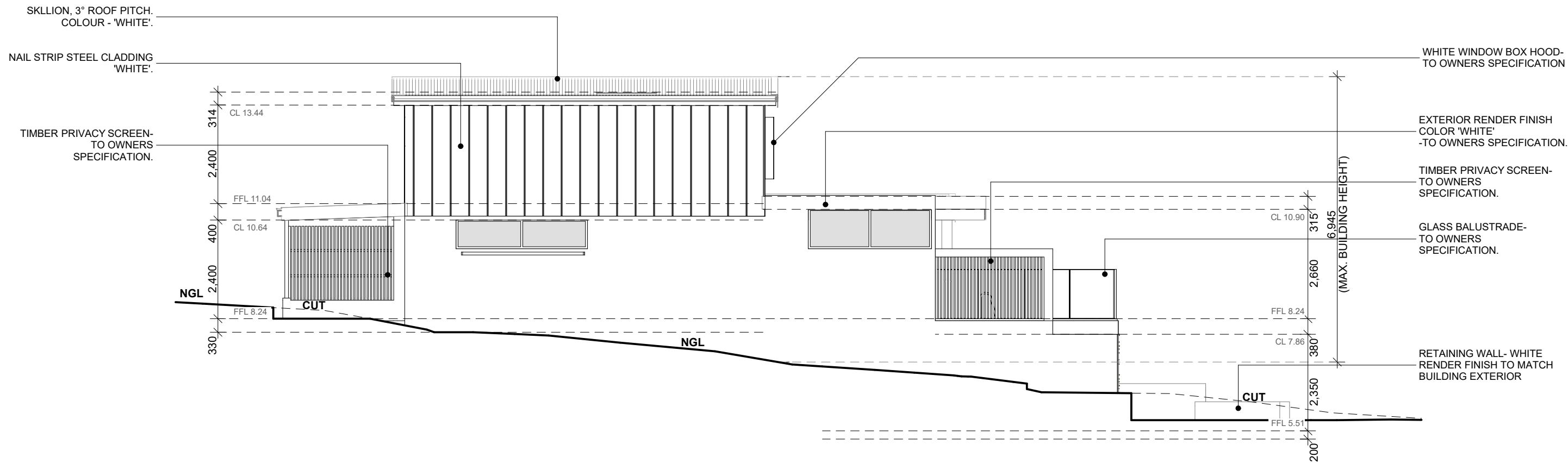
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PROJECT STAGE
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REV	AMENDMENT	DATES
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A.15
ELEVATIONS -
EXISTING





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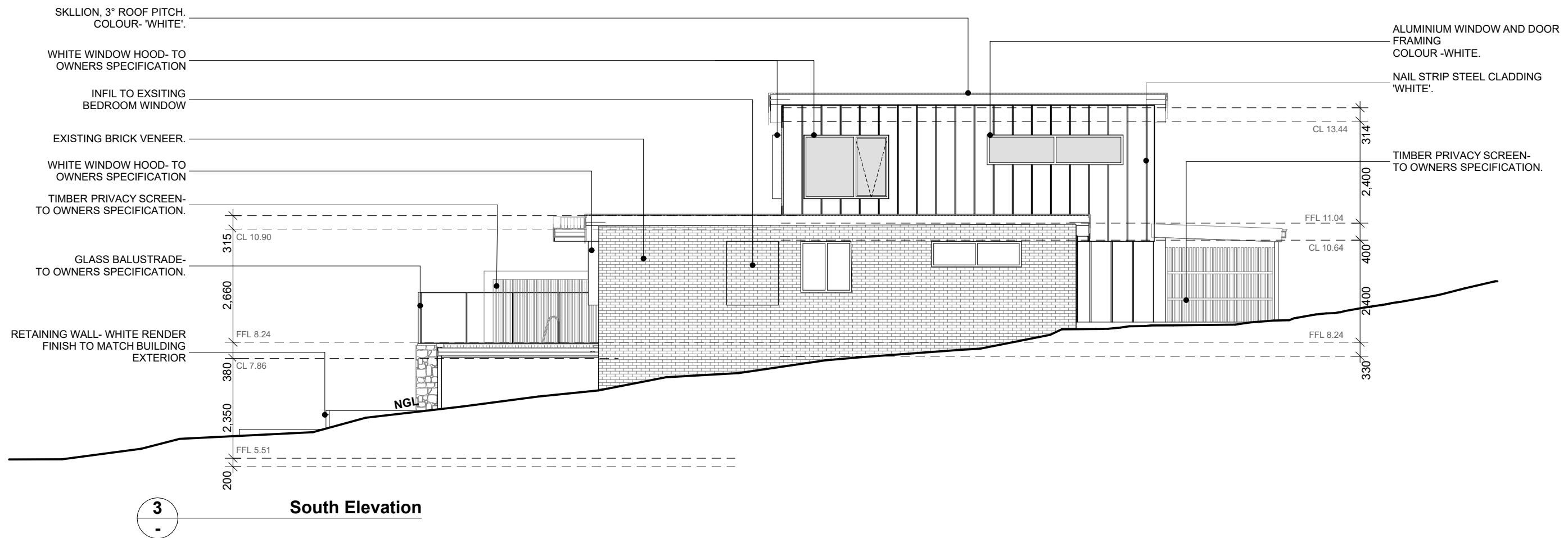
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REV	AMENDMENT
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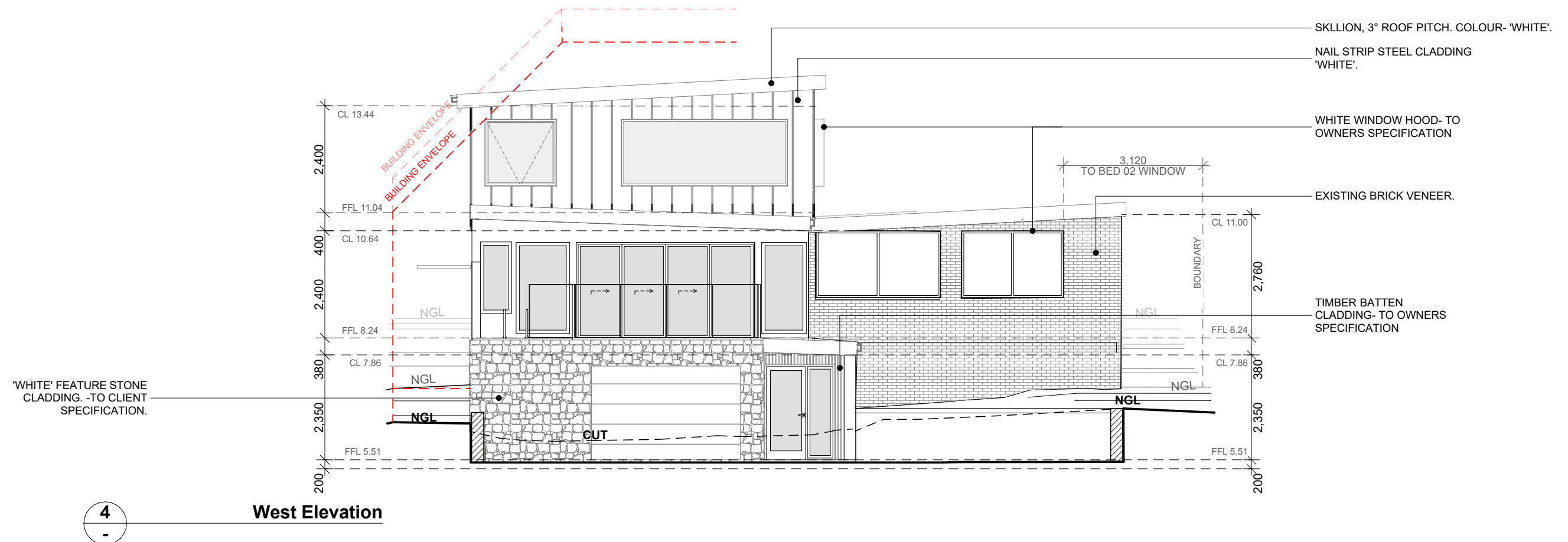
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A.16

ELEVATIONS -
PROPOSED



South Elevation



West Elevation

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A.17

ELEVATIONS -
PROPOSED



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A.18
3D PERSPECTIVE



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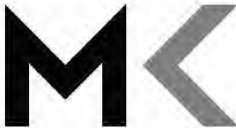
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A.19
3D PERSPECTIVE



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CLIENT:
KLOP

ADDRESS:
242 TRANMERE ROAD, TRANMERE

JOB NO:
2509

PROPOSAL
ALTERATIONS & ADDITIONS

PROJECT STAGE
DA

DATE
16/06/2026

SCALE

REV	AMENDMENT
1	RFI
2	RFI

DATES
02/03/2026
16/06/2026

A.20

3D PERSPECTIVE



ARTIST IMPRESSION ONLY

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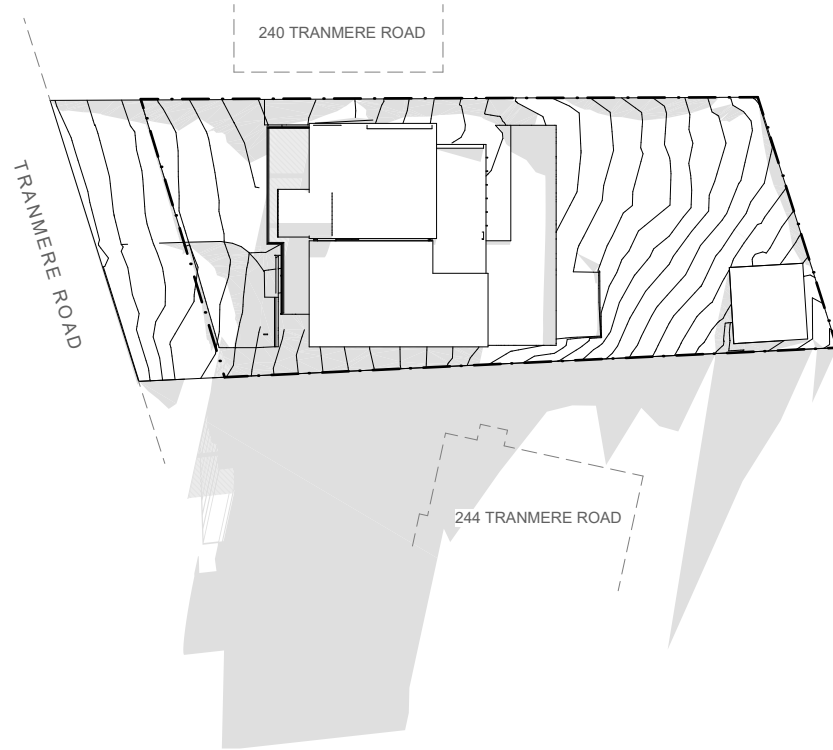
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PROPOSAL
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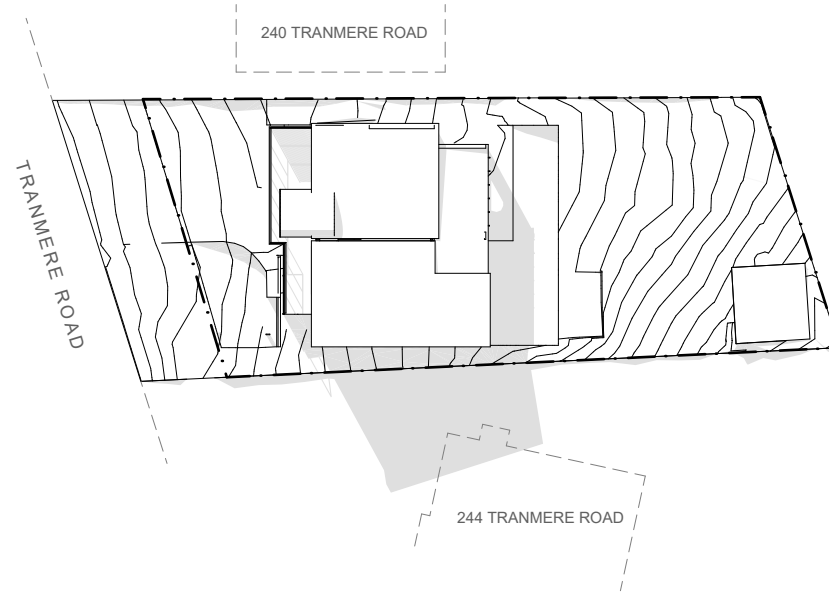
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SCALE

REV	AMENDMENT	DATES
1	RFI	02/03/2026
2	RFI	16/06/2026

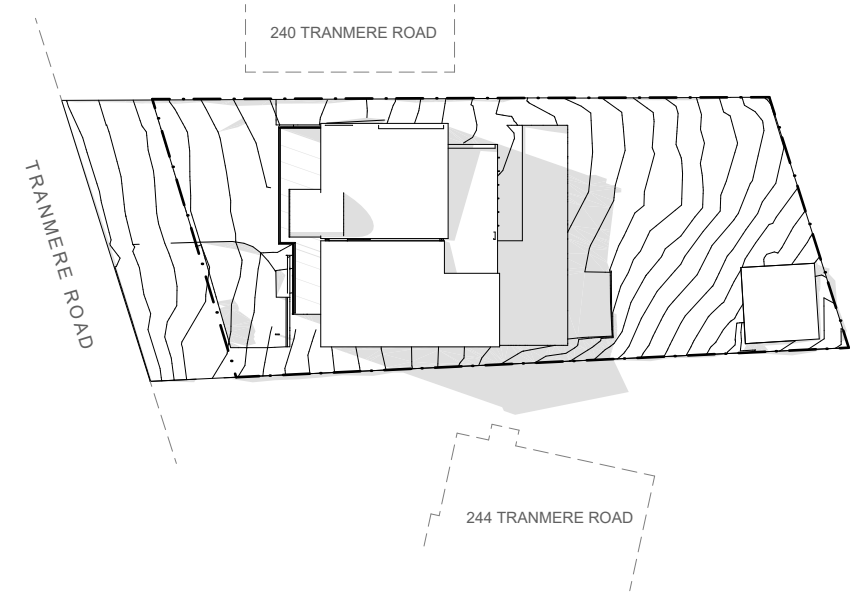
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3D PERSPECTIVE



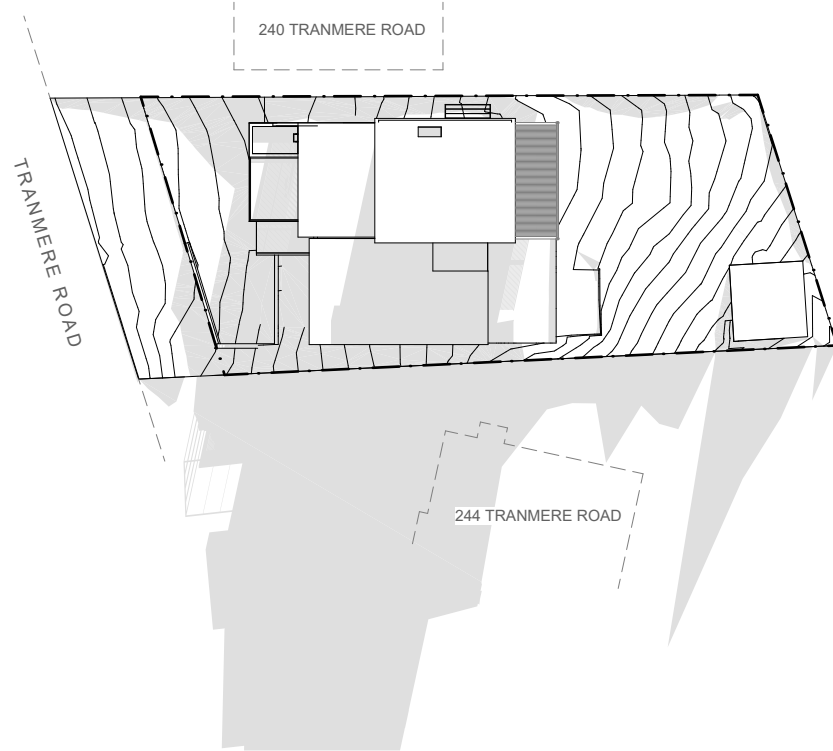
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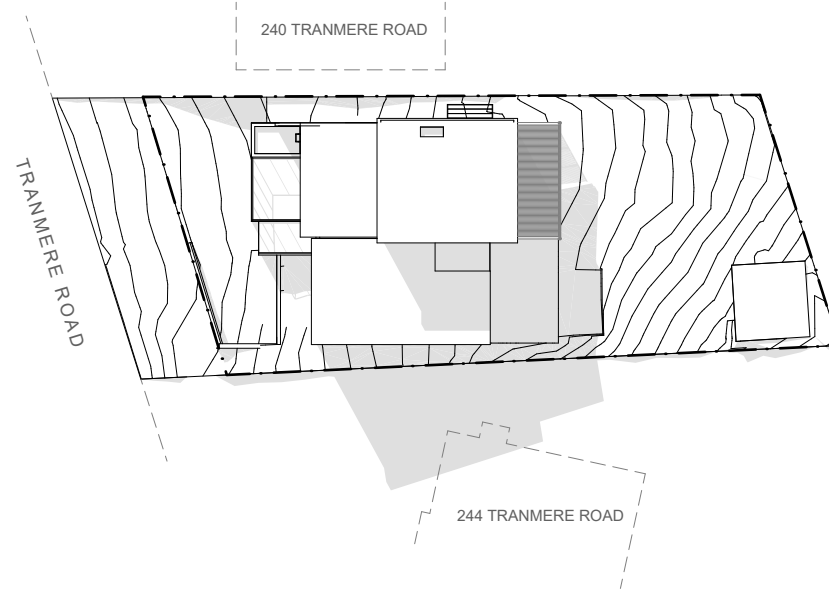
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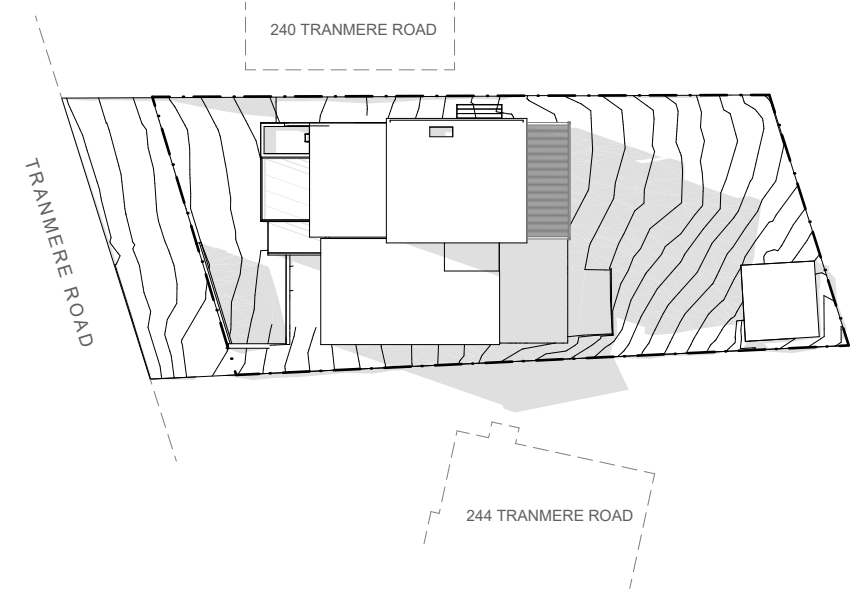
3 3PM SHADOWS (EXISTING)



4 9AM SHADOWS (PROPOSED)



5 12PM SHADOWS (PROPOSED)



6 3PM SHADOWS (PROPOSED)



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PROPOSAL
ALTERATIONS & ADDITIONS
PROJECT STAGE
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DATE
16/06/2026
SCALE
N.T.S



REV	AMENDMENT
1	RFI
2	RFI

DATES
02/03/2026
16/06/2026

A.23
SHADOW DIAGRAMS
21ST JUNE

Subject site



Fig.1 – View from Tranmere Road of the subject site and the adjoining property at 244 Tranmere Road, Tranmere

Subject site



Fig.2 – View from the deck (elevated) of 315 Carella Street, Tranmere looking east of the subject site



Fig.3– View from the backyard of 315 Carella Street, Tranmere looking east of the subject site

Subject site



Fig.4 – Views from the deck (elevated) of 5 Arlunya Street, Tranmere located to the north east of the subject site that functions as a private open space



Fig.5 – View from the backyard of 5 Arlunya Street, Tranmere located to the north east of the subject site that functions as private open space

8. REPORTS OF OFFICERS

8.1 DETERMINATION ON PETITIONS TABLED AT PREVIOUS COUNCIL MEETINGS

8.1.1 PETITION – BAYVIEW PARK, LAUDERDALE

EXECUTIVE SUMMARY

PURPOSE

To consider the petition tabled at the Council Meeting on 20 July 2026 requesting Council upgrade Bayview Park with diverse, high quality play equipment.

RELATION TO EXISTING POLICY/PLANS

Council's Strategic Plan 2025-2035 is relevant.

LEGISLATIVE REQUIREMENTS

Section 60 of the *Local Government Act 1993* (Tas) requires Council to formally consider petitions within 42 days of receipt.

CONSULTATION

Nil.

FINANCIAL IMPLICATIONS

The petition itself has no direct financial implications.

RECOMMENDATION:

That Council:

- A. Notes the petition.
- B. Notes the Chief Executive Officer's advice that the petition complies with Section 59 of the *Local Government Act 1993* (Tas).
- C. Notes, as set out in the Associated Report, that community consultation has been completed, the project is budgeted, detailed design is nearing completion, and the project will go out to tender shortly for delivery in this financial year.
- D. Notes that any decision related to further upgrades will require a full redesign of the park resulting in a delay in delivery of approximately 18 months, and that any redesign risks over-development of the Bayview Park play space.
- E. Authorises the Chief Executive Officer to write to petitioners acknowledging their concerns and advising of Council's decision.

PETITION – BAYVIEW PARK, LAUDERDALE /contd...

ASSOCIATED REPORT**1. BACKGROUND**

- 1.1.** An electronic petition signed by 341 signatories was tabled at the Council Meeting on Monday 20 July 2026 as follows: *“Upgrade Bayview Park with diverse, high quality play equipment”*.
- 1.2.** Of the 341 signatories to the petition, 231 appear to reside within the City of Clarence.
- 1.3.** The petition is a complying petition in accordance with the requirements of the *Local Government Act 1993* (Tas.).

2. REPORT IN DETAIL

- 2.1.** Bayview Park is classified as a local park intended to provide passive recreation and play for nearby residents (within 400 – 800m). It is part of a broader network of local and district parks in Lauderdale, including facilities at Lauderdale Canal and Epping Park. This network allows Bayview Park to provide a complementary range of play opportunities rather than meeting all recreational needs for the suburb.
- 2.2.** Currently about one third of the open space at Bayview Park is taken up by car parking. Stormwater from the road flows directly into the park. The adjacent bus stop and telegraph pole do not meet modern standards, and there is no continuous footpath linking both sides of the street. There are no universal access paths to the play equipment.
- 2.3.** Council’s concept plan (**Attachment 1**) is to deliver a high-quality, vibrant, and accessible park that is not just focussed on equipment.

- 2.4.** By reconfiguring the park and replacing the large asphalt footprint with six indented on-street parking bays, Council is expanding the usable grassed parkland by 380m² (increasing total lawn area to ~1,100m²). This creates significantly more room for play, picnics, and active community enjoyment.
- 2.5.** The project includes a new continuous footpath, new kerb and channel to manage stormwater, a safer buffer between play areas and coastal dunes, and modernised street infrastructure.
- 2.6.** Community consultation undertaken between 8 September 2025 and 6 October 2025 tested the Bayview Park draft concept plan. Around 200 people took part, mostly the local Lauderdale community and nearby suburbs. Overall support for an upgrade was strong, and most comments focused on everyday practicality, safety and ease of supervision. People asked for inclusive play across ages, modest nature play, more shade and seating, and step-free routes between the street, play, shelter and toilets. The detailed engagement report is **Attachment 2**.
- 2.7.** Through the detailed design process, informed by the community consultation, the Bayview Park upgrade has been specifically planned to respond to community feedback and align with the current approved budget for the project of \$600,000. The next step is to release the detailed design package for tender.
- 2.8.** The upgrade directly addresses the petition, as approximately \$120,000-\$150,000 has been allocated to the supply of diverse and high-quality multi-age play equipment that balances fun, accessibility, and ease of parental supervision. Selection of the equipment has been informed by detailed feedback received from the community.
- 2.9.** In direct response to the community members who provided feedback, the design incorporates inclusive play features across age groups, modest nature play elements, increased shade, additional seating, and step-free, universal access paths linking the street, play space, shelter, and amenities.

3. CONSULTATION

3.1. Community Consultation Undertaken

Community consultation was undertaken via Council's Your Say page for a four-week period between 8 September and 6 October 2025. **Attachment 2** is a copy of the Engagement Report dated December 2025.

3.2. State/Local Government Protocol

Nil.

3.3. Other

Nil.

3.4. Further Community Consultation

Nil.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

Council's Strategic Plan 2025-2035 includes the following relevant focus area.

"Focus Area 4 – Wellbeing and Belonging

Building a healthy, inclusive, resilient community where people feel connected and supported.

4.1 Healthy lives for all – We support improved health and wellbeing outcomes across all ages, supported by safe, inclusive and accessible environments, active lifestyles, social connection, and valued parks and open spaces.

4.2 Inclusive and Connected Communities – Welcoming public spaces and services that foster connection, participation and belonging".

5. EXTERNAL IMPACTS

Nil.

6. RISK AND LEGAL IMPLICATIONS

Nil.

7. FINANCIAL IMPLICATIONS

Nil.

8. ANY OTHER UNIQUE ISSUES

Nil.

9. CONCLUSION

9.1. Detailed design for the Bayview Park upgrade is almost complete, incorporating the valuable feedback received from residents. The project is fully funded, with the next immediate step being the release of the detailed design package to market for construction tender, with site construction scheduled for 2027. Re-opening the design to expand the scope beyond the approved \$600,000 budget would require a full redesign and re-consultation process, delaying the delivery of this long-awaited park upgrade by at least 18 months.

9.2. Within Lauderdale's broader open space network, multiple local parks and larger parcels are due for renewal in the coming years. To ensure community needs are adequately met, a balanced and strategic approach is required. While the proposed Bayview Park upgrade is designed to deliver a high-quality, functional, and inclusive local play space, over developing it beyond its immediate local catchment would set unsustainable expectations for Lauderdale's remaining parks. Furthermore, over-embellishing a local park beyond its intended neighbourhood catchment would generate high-volume visitor traffic, exceeding the capacity of the local street network and parking infrastructure.

9.3. Council's approach is to deliver well-designed, functional and inclusive play spaces that provide strong play value within available funding and broader strategic priorities. The current proposal for the Bayview Park upgrade has been developed in line with this approach and is expected to deliver a high-quality local play space for the Lauderdale community.

Attachments: 1. Bayview Park and Playground Renewal Concept Plan (1)
2. Bayview Park Upgrade Engagement Report December 2025 (15)

Ross Graham

HEAD OF INFRASTRUCTURE AND NATURAL ASSETS



LEGEND

- (A) New indented on street parking for 6 spots, with continued vehicle access to park for maintenance and new footpath. The change of parking configuration will allow for the continuation of the footpath along the street edge to connect to the existing footpaths. The inclusion of kerb and channel will also reduce the overland flow of water into the park during rain events. The change of parking will result in more usable park space.
- (B) Existing telegraph post and bus stop to be retained and formalised to provide safe access to bus services.
- (C) New footpaths connecting parking to park, toilet block and beach access.
- (D) Proposed location of new toilet block. Exact location to be confirmed. Existing toilet block to be demolished and removed. Bicycle parking and bins will be co-located at this location.
- (E) New picnic shelter with barbecue, picnic tables. Picnic table will be centrally located to provide a 360 degree view of the park. Picnic Table will include 2 tables with space for wheel chair access.
- (F) Proposed locations for new play equipment to replace existing equipment. New equipment will aim to be inclusive and provide play options for all. Below is where the proposed items will be placed.
 Purple - Spring rocker
 Red - Swing
 Yellow - Climbing feature
 Blue - Combination Unit
 Refer to page 1.
- (G) Existing vegetation to be retained and tidied with new endemic native plantings provide buffer to the neighbouring properties.
- (H) New level grassed areas for relaxation, a kick about and ball activities. Total grassed areas will be approximately 980m².
- (I) Kayak wash down cradle with sub soil drainage. (Existing cradle will be relocated to this location.)
- (J) Existing access to beach to be retained. Improved beach access will be assessed and developed as per outcomes of the future Clarence Coastal Access Strategy.
- (K) Existing spiral change room to be removed.

BAYVIEW PARK AND PLAYGROUND RENEWAL

Concept Plan

Draft Only 2/2

124 Bayview Rd, Lauderdale
 April 2025
 NTS @ A3



CITY OF CLARENCE

Bayview Park Upgrade Engagement Report

December 2025





Contents

- 1 BACKGROUND
- 2 WHAT WE DID
- 3 DATA SUMMARY
- 4 KEY FINDINGS
- 5 SUMMARY

Background

Bayview Park is a small local park in Lauderdale that serves residents within a 400–800 metre walk. We are upgrading the park to reinvigorate its primary use by renewing the play space, improving everyday access and safety, and better protecting the adjoining dune environment.

Today, about one third of the site is taken up by parking, paths are limited, and stormwater from the road can flow into the park. The bus stop and telegraph pole area has safety issues, and there is no continuous footpath linking both sides of the street. There are no universal access paths to the play equipment.

The concept plan responds by shifting parking to six indented on-street bays and adding kerb and channel and a new footpath along the road edge. This creates a continuous path of travel, clearer links to the park and toilet, and reduces water entering the park during rain. Reallocating space from parking increases grassed area by around 380 m² (to about 1,100 m²) for play, sitting and picnics. The layout also moves the play space further from the dunes to provide a better buffer to sensitive coastal habitat.

What's in scope for this stage includes new inclusive play equipment (two fit-for-purpose options to choose from), improved paths and landscaping, and a more efficient location for the shelter, barbecue and amenities. A new accessible toilet was delivered via a separate project and is now open to the public.

Broader beach access upgrades are out of scope and considered through the Coastal Access Strategy.

Survey design

Purpose of the survey

The survey was conducted to gather feedback from the community about the concept plan. It specifically focused on listening to community feedback regarding aspects of the park's upgrade plan which could still be influenced and to identify any reoccurring themes and concerns.

Feedback sought

The survey asked how people use Bayview Park and sought feedback on the play options. We also sought ideas for inclusive play, views on the kayak wash-down location and the modular change room, and an overall support rating.

Rationale for the design of the questions

Questions were designed to capture community support for the concept plan's negotiables and to gauge current usage of park elements. The survey also aimed to capture local insights and lived experiences to refine priorities.

Structure of the survey (i.e. questions under outcome areas)

Questions followed the concept's outcome areas. We began with current park use, then facilities and the change room. We compared complete play options and key elements, gathered open comments on inclusion, safety and comfort, asked for a preferred kayak wash-down location, and closed with an overall support rating and demographics.

What we did

How the survey was promoted



582 unique visitors to the Bayview Park Upgrade **Your Say** webpage and 900 page views



Corflutes displayed at Bayview Park.



Consultation ad in the Eastern Shore Sun.



No written submissions were received.



Social media posts with a total reach of **18,492 people** and an engagement of 297.

Ways people engaged and provided feedback



206
Online survey responses



31%
of visits resulted in a contribution



39
Facebook comments



32
Site Context Plan downloads

Consultation period

4 weeks (8 September – 6 October 2025)

Data Summary

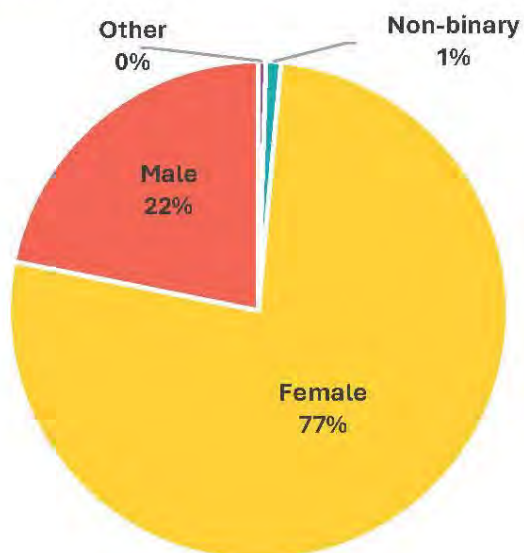
Bayview Park Upgrade Consultation Report



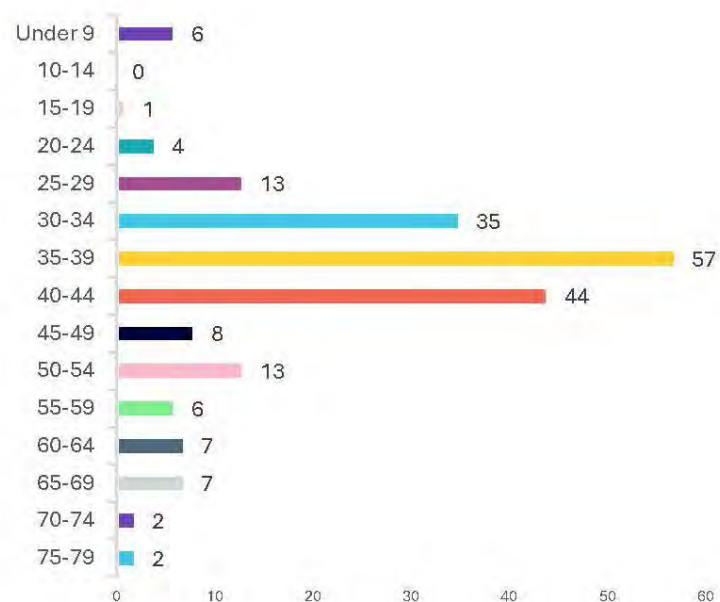
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Demographics

Gender



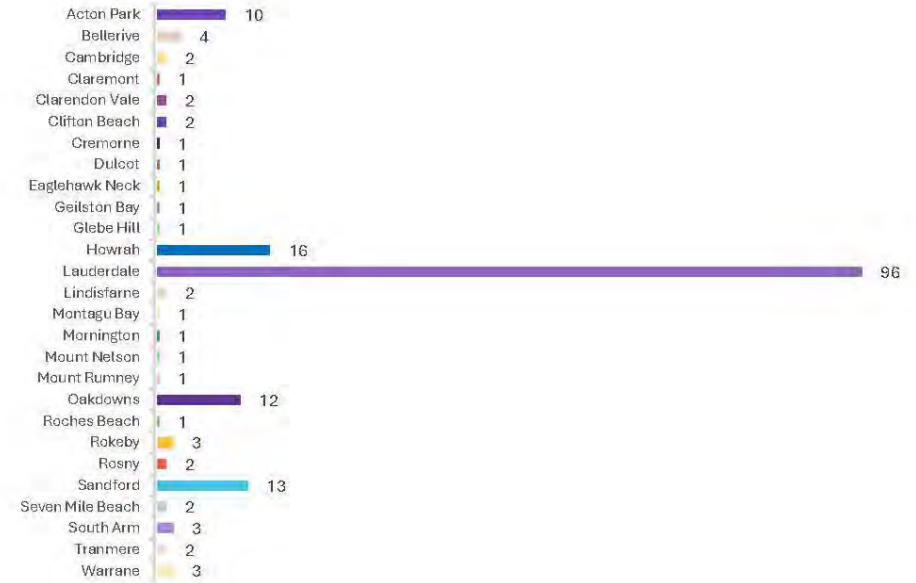
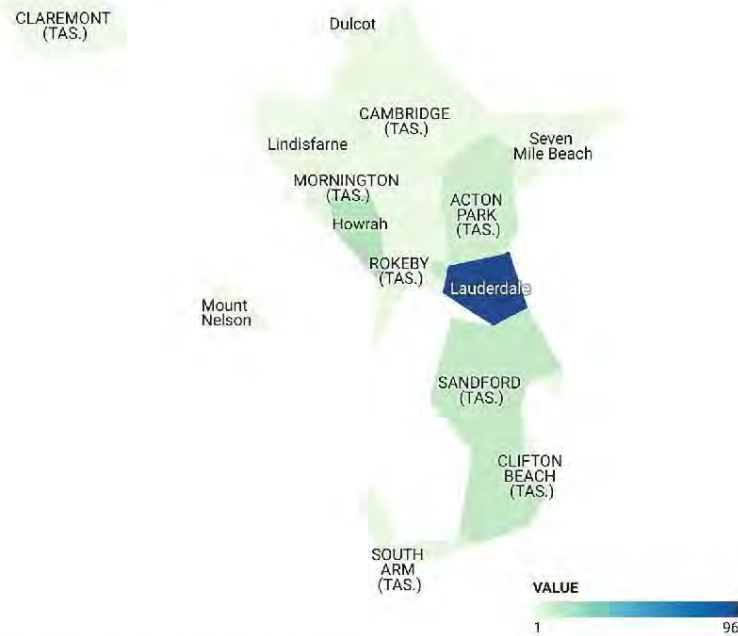
Age



3

Demographics

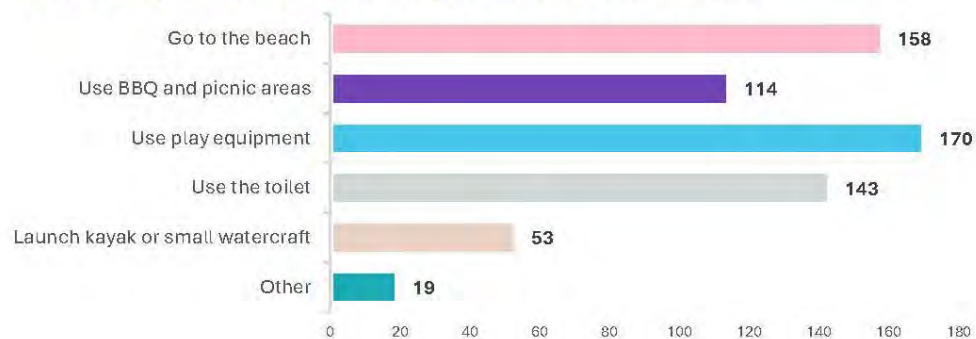
Suburbs



Park use



What do you like to do when you visit Bayview Park?

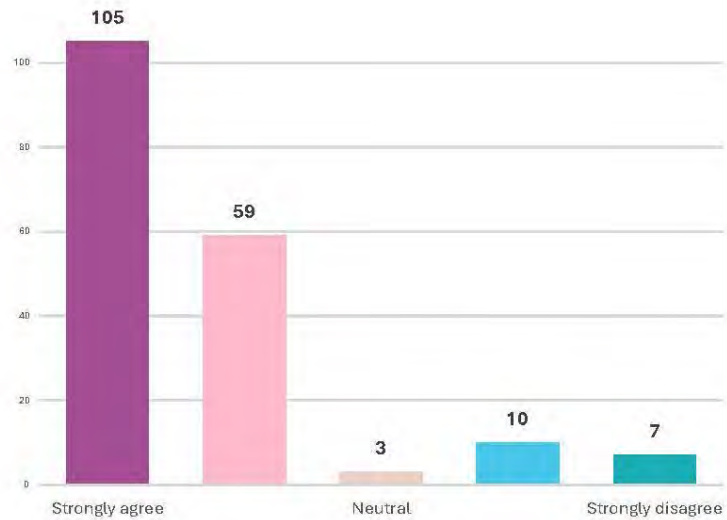


Do you use the existing modular beach changing room?



Park use

Overall, how supportive are you of the proposed plans?



3

Play equipment

Preference testing shows a clear majority for the **PPS-054 combination play** and for the **Apostle 1 climbing play**. Rocker choices lean towards balance-type equipment.

Swing preferences are close to evenly split between a nest style and a traditional A-frame. Free-text comments often tie equipment choices to multi-age use and ease of assistance. (*"Nest swing is great for kids with additional needs."*)

Nature play is commonly requested as a light layer. People mention logs, rocks and planting for texture and graduated challenge, while noting a desire to keep sightlines open and surfaces usable for wheels. (*"A few natural elements would be good without blocking views."*)



3

Main themes

Kayak washdown station

A main theme raised by respondents was around the kayak washdown station and use of the park by a large group of kayakers on the weekends. Most respondents did not care if the washdown station was relocated.

Some “no” respondents expressed concern with the removal of the washdown station at Bayview Park because they worried it would not be relocated to another site.

“Yes” respondents indicated a few sites, many within Bayview Park, but some proposing Roches Beach at Lauderdale Canal as a better alternative.



Top comments

“Near Roches beach as they already have a lot of parking. If not it could go at the top of Longview Court as there is already a lot of parking there too.”

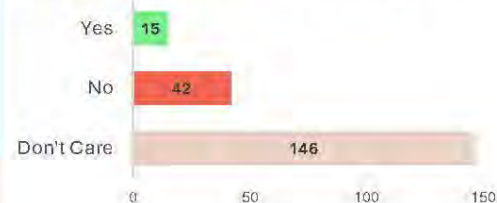
“The Kayak Station is frequently used of a weekend but it is currently located in the main thoroughfare through to the beach...”

“If there is reduced parking, then the kayakers will not come and we will not need a kayak wash station.”

“The boat ramp and the end of the canal could be designated kayak area so residential street isn’t congested.”

“The extra green space to kick a ball or play cricket is extremely important to us. Hopefully our needs will be heard over the large groups of kayakers who just drive in and out.”

Relocate washdown station?



Parking

The most controversial change to Bayview Park was the proposed parking restructure from the large, gravel one to six indented, identified parks with connected footpaths, and new kerb and channel to manage stormwater.

Parking came through strongly in free-text responses. It was tagged in 10 of 132 inclusive-play answers (8%) and in 19 of 91 “any other comments” (21%), with several requests for angled bays and clearer line-marking.

The themes were consistent: retain capacity at busy times, formalise on-street bays, improve sightlines around the bus stop/telegraph pole, and provide an accessible bay or short-stay drop-off near amenities. Many linked peak demand to kayak groups, school visits and weekend sport. Given who responded (about 77% women, with most aged 30–44) and the local catchment across Lauderdale and nearby suburbs, comments often tied safe movement for prams and kids to the trade-off between parking and open space. A smaller set supported fewer bays if kerb, channel and a continuous footpath deliver safer access.

4

Key findings

Age coverage and challenge

Comments consistently describe a need for play that works for toddlers, juniors and older children within a compact footprint. People seek progressive challenge and easy supervision across the space. Typical remarks link multi-age use with clear sightlines and a central place to sit and watch. (*"Please include something for older kids, not just toddlers."*)

Mobility and step-free movement

Prams and wheels feature strongly. Responses describe the value of continuous, step-free routes from the street footpath to key items and amenities, with room to turn and rest points near play. (*"Paths for prams and scooters, not gravel."*)

Safety and street interface

Views on fencing vary. Some respondents call for stronger edge protection near the street; others prefer open edges with visual cues and clear paths separating walking from parking. The common thread is maintaining visibility and avoiding concealed spaces.

Sensory accessibility and seating

Respondents want a calmer, easy-to-navigate play zone with predictable loops and tactile cues, plus one or two sensory features that engage without constant noise. They also value places to stay: shaded seating facing the play, companion seating at picnic tables and informal perches, all with clear sightlines for passive surveillance. *"A quiet corner would help when it gets busy,"* and *"shade and a table where grandparents can watch"* capture the tone.

Differences by subgroup

Carers with prams emphasise step-free routes, shade and seating facing the play. Paddlers reference separation of activities and firm surfacing. Older residents frequently mention seating height, shade and shorter walking distances. Respondents from Lauderdale speak to daily convenience and supervision; nearby suburbs more often reference weekend peaks and mixed-age groups.

Tensions in the data

Divergent views appear on three issues: the preferred swing type, the degree of street-edge containment, and the balance of provision for older children versus a stronger toddler focus. There is also a split between those prioritising more green space and those prioritising parking capacity at busy times, which indirectly affects perceptions of safety around play.



Group use

Our consultation captured key information about the use of Bayview Park by different groups, the largest being Clifton Surf Life Saving Club. During winter and poor weather, the club uses the space twice per week for training, with around 25 vehicles attending on average.

The club identified they use the site due to protection from swells and the amenities at the site. They praised the park upgrade and the proposed open spaces. Their two main points of concern were the kayak washdown station and parking, however, they were open to other sites if these features were present.

Other groups which use the park include schools, other training organisations, stand-up paddleboarding groups, etc.



5

Summary

The consultation tested the Bayview Park draft concept. Around 200 people took part, mostly Lauderdale locals and nearby suburbs.

Respondents skewed female and in the 30–44 age range, reflecting family use. People visit for the play equipment, beach and toilets, with a notable group launching kayaks and small craft. Overall support for an upgrade was strong, and most comments focused on everyday practicality, safety and ease of supervision.

Parking and movement drew the most feedback. Many accepted shifting parking to the street edge if a continuous footpath, kerb and channel, and clear sightlines are delivered. Views split on capacity at peak times and on the type of swings, while the preferred combination unit and climbing element were clearer. People asked for inclusive play across ages, modest nature play, more shade and seating, and step-free routes between the street, play, shelter and toilets. Paddlers highlighted the wash-down area, firm surfaces and keeping loading separate from play. Several supported setting the play area back from the dunes.



8.2 ASSET MANAGEMENT**8.2.1 CLARENCE PLAINS PLAN 2026 FOR ADOPTION****EXECUTIVE SUMMARY****PURPOSE**

To present the finalised Clarence Plains Plan 2026 to Council for adoption.

RELATION TO EXISTING POLICY/PLANS

Council's Strategic Plan 2025–2035 is relevant.

LEGISLATIVE REQUIREMENTS

Nil.

CONSULTATION

Community consultation on the Clarence Plains Plan 2026 was undertaken during development of the Clarence Plains Master Plan, in 2021 and more recently in September and October 2022.

FINANCIAL IMPLICATIONS

Adoption of the Clarence Plains Plan 2026 does not commit Council to specific projects. It provides a strategic framework to guide decision making, inform investment priorities and shape future Council strategies and projects affecting Clarence Plains. Any future investments will be guided by this plan and the staging and sequencing in short, medium and long term projects.

RECOMMENDATION:

That Council adopts the Clarence Plains Plan 2026.

ASSOCIATED REPORT**1. BACKGROUND**

- 1.1.** In 2014, Mission Australia prepared a master plan for the Clarence Plains area to guide future improvements. While this document played an important role in shaping early community development initiatives, it was limited in scope and no longer aligns with Council's broader planning frameworks.

- 1.2.** In response, Council resolved in 2019 to develop an updated and integrated master plan for the whole of Clarence Plains encompassing the suburbs of Rokeby, Clarendon Vale, Oakdowns and part of Howrah. The intention was to produce a high-level, long-term vision for the area’s growth, liveability and identity, supported by a practical implementation framework.
- 1.3.** A draft version of the Clarence Plains Master Plan was released for community consultation in September 2022. Feedback received during the consultation highlighted broad community support for the intent of the draft Master Plan, while also raising concerns about the length of the document, the complexity of the maps, and the need for clearer guidance around implementation.
- 1.4.** Following the 2022 consultation, Council officers undertook a full review of the document in collaboration with internal stakeholders. The revised version of the Clarence Plains Master Plan was updated in response to community and internal feedback, with significant changes made to its structure, presentation and clarity, while maintaining the ambition and long-term focus of the original draft.
- 1.5. 2023–2025 Strategic Review and Alignment**

As regional planning reforms progressed and major infrastructure projects advanced, Council undertook a detailed review of the draft Master Plan. This review reassessed its structure, clarified its purpose and ensured alignment with emerging Council-wide strategies, infrastructure planning and regional policy settings.
- 1.6.** Since March 2025, the Clarence Plains Master Plan has undergone a comprehensive review and redrafting process and has been superseded by the current Clarence Plains Plan 2026 (“the Plan”). While the underlying vision and many of the core ideas have been retained, the Plan has been significantly strengthened in terms of its structure, strategic focus, and alignment with broader planning frameworks.

- 1.7.** The Plan now represents a deliberate shift from a traditional “master plan” format towards a high-level, place-based strategic framework to guide the long-term development of Clarence Plains. The Plan now aligns with Council’s process for the delivery of strategies, plans and master plans.

2. REPORT IN DETAIL

- 2.1.** The Plan sets out a vision for the future of Clarence Plains over the next 20 to 30 years. It is intended to inform and guide Council decision-making, planning and investment, and support coordinated action across Council and with external partners.

- 2.2.** With a vision to create: *“a connected and confident Clarence Plains that strengthens community pride, recognises cultural heritage, enhances everyday liveability and coordinates growth with infrastructure, environment and opportunity”*.

the Plan aims to help Council achieve the following outcomes:

- a strong inclusive community
- a green and active environment
- connected neighbourhoods
- local jobs and economic opportunity; and
- well-planned and supported growth.

- 2.3.** The Plan is organised around five Focus Areas, which collectively respond to the key opportunities and challenges facing Clarence Plains. The five Focus Areas are:

1. People, community and culture
2. Recreation and environment
3. Transport and connectivity
4. Business and employment; and
5. Structured growth and housing.

Each Focus Area follows a consistent structure:

- Context – outlines the relevant background and establishes the importance of the Focus Area.
- Opportunities – identifies key opportunities based on existing knowledge and analysis.
- Strategic Directions – sets the overarching policy intent through high-level statements.
- Priorities – identifies areas of medium-term focus for Council.
- Early Actions – outlines potential short-term actions to support implementation.

This structure reinforces the role of the Plan as a strategic document, with more detailed land use planning, infrastructure planning, and capital delivery to be progressed through subsequent strategies and project-level processes.

2.4. The Plan is aligned with regional planning frameworks and emerging Council strategies. It has also been structured to remain flexible as further strategic work is completed. This includes:

- Stronger alignment with regional frameworks such as the Southern Tasmania Regional Land Use Strategy and the Greater Hobart Plan.
- Referencing upcoming Council strategies that are under development (including the Open Space Strategy, Housing Strategy and Activity Centre Review) and noting that the Plan will help inform their development.
- A more flexible structure that allows the Plan to respond to future strategic planning work and changing circumstances over time.

2.5. Some of the key strategic directions include:

- Managing the South Arm Highway transition and respond proactively to the impacts of the highway realignment to protect and enhance local connectivity and place quality.

- Creating an integrated open space network to strengthen and connect the network of neighbourhood, district and regional open spaces across Clarence Plains through development of a Living Landscape Corridor along the Clarence Plains Rivulet, anchored by the proposed South East Regional Parkland.
- Providing clearer articulation of housing growth and “structured growth” principles to guide future development, without predetermining the outcome of future strategic land use planning processes.
- Connecting neighbourhoods to reduce physical and perceived barriers between residential areas, open spaces and community facilities.
- Supporting active and public transport to create a transport system that supports everyday walking, cycling and public transport use.
- Supporting local enterprise and small business to encourage conditions that support small businesses and local services.

2.6. Staging and delivery of the Plan will occur progressively over time. While individual projects will be subject to detailed scoping and budget consideration, implementation can be broadly understood across three stages.

- Short Term (0 to 5 Years)
- Medium Term (5 to 10 Years)
- Long term (10 plus years)

2.7. Council is currently underway with some short term implementation work including:

- Advocacy and key stakeholder discussions with the Department of State Growth on the South Arm Highway upgrade, including opportunities for key connections and active transport improvements through the Rokeby village area.
- Preliminary investigations for the South-East Regional Park.
- Development of the Open Space Strategy, which will include key elements in the Clarence Plains area.

- Continued advocacy for funding Bayview Secondary College Sport Precinct.

3. CONSULTATION

3.1. Community Consultation Undertaken

The Master Plan has been shaped by engagement with the Clarence Plains and wider communities. Community Consultation took place in two phases in 2021 and 2022.

The first phase of community consultation took place in late 2021 with the purpose to identify the key issues and potential opportunities to shape the draft Master Plan.

The second phase was conducted in 2022, when the draft Master Plan was released for public comment. Community consultation activities included a detailed online survey, supported by pop-up engagement and opportunities to provide written submissions. A total of 52 survey responses was received, along with seven written submissions. Feedback indicated strong support for the overarching vision and direction of the Master Plan; however, there were various suggestions for improvement focused on the document's length, readability, the complexity of maps, and the need for greater clarity on implementation.

The final version of the Plan responds directly to the feedback received, and reflects a balance between community aspirations and practical, staged implementation.

3.2. State/Local Government Protocol

Nil.

3.3. Other

Nil.

3.4. Further Community Consultation

Further community consultation is not proposed in relation to the Plan itself. However, engagement will occur as part of the planning, design and delivery of individual projects as the Master Plan is implemented over time.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

The Plan supports multiple objectives and strategic outcomes from the City of Clarence Strategic Plan 2025–2035, including:

“1.4 Effective policy and planning

Council develops, delivers, and monitors policies, strategies and initiatives that are evidence-based, community-informed and aligned with Clarence's long-term vision.

2.4 Sustainable asset management and investment

Proactive maintenance, renewal and optimisation of existing assets, alongside investment in climate ready and resilient infrastructure and services that protect the community, support liveability and enable sustainable growth over the long-term.

3.4 Safe, vibrant and distinctive places

Well-designed places that are safe, welcoming, inclusive, reflecting Clarence's environment, culture, and creativity, enhancing liveability strengthening connection across our city and building a strong sense of place.

4.1 Healthy lives for all

Council supports improved health and wellbeing outcomes across all ages, supported by safe, inclusive and accessible environments, active lifestyles, social connection, and valued parks and open space”.

5. EXTERNAL IMPACTS

5.1. The Plan is expected to generate positive outcomes for the broader community, particularly through improvements to liveability, accessibility, and environmental quality. The Plan supports the coordinated development of open space, transport, housing and community infrastructure in a way that benefits current and future residents.

5.2. The focus on population growth and proposals to investigate densification is essential to the sustainable growth of Greater Hobart and ensuing it has sufficient housing supply to meet growing demand.

- 5.3.** The Plan also provides a strong basis for partnership and advocacy with other levels of government, service providers, developers and the not-for-profit sector. Its emphasis on clear spatial planning and community outcomes positions it as an effective platform for seeking external funding and collaboration.

6. RISK AND LEGAL IMPLICATIONS

- 6.1.** There are no direct legal implications arising from the adoption of the Plan.
- 6.2.** Implementation of individual projects identified in the Implementation Plan (once adopted) may require further Council decisions, planning scheme amendments, statutory approvals or third-party agreements depending on their scale and complexity. These matters will be considered on a project-by-project basis at the appropriate time.
- 6.3.** As with all strategic documents, delivery of the Plan is subject to the availability of funding, resourcing, and partnerships. The Implementation Plan will help manage delivery risk by establishing clear timeframes, responsibilities and sequencing of actions. It will also provide a platform for advocacy and coordination with other stakeholders.
- 6.4.** Adoption of the Plan mitigates long-term planning risk by providing a coherent framework for growth and investment in one of Clarence's most strategically important areas.

7. FINANCIAL IMPLICATIONS

- 7.1.** Adoption of the Plan does not commit Council to any specific project or expenditure.
- 7.2.** Rather, it provides a long-term vision to guide future investment and inform Council's strategic planning, capital works programming and budget processes. Funding for implementation will be considered through normal budget deliberations on a case-by-case basis, subject to project scope, priority and available resources.

8. ANY OTHER UNIQUE ISSUES

Not applicable.

9. CONCLUSION

9.1. The Clarence Plains Plan 2026 is a high-quality strategic document that establishes a clear and practical vision for the future of one of City of Clarence's most diverse and fast-growing areas. It reflects extensive community consultation and internal collaboration and responds directly to the feedback received on the 2022 draft.

9.2. The Clarence Plains Plan 2026 will serve as a key reference for future planning, investment, service delivery and advocacy. It articulates a shared framework to guide long-term change, while identifying achievable steps that Council and its partners can take to support community wellbeing and sustainable growth.

9.3. Adoption of the Clarence Plains Plan 2026 will provide certainty and direction for both Council and the community and support the delivery, communication and external funding opportunities over time.

Attachments: 1. Clarence Plains Plan 2026 (56)

Ross Graham

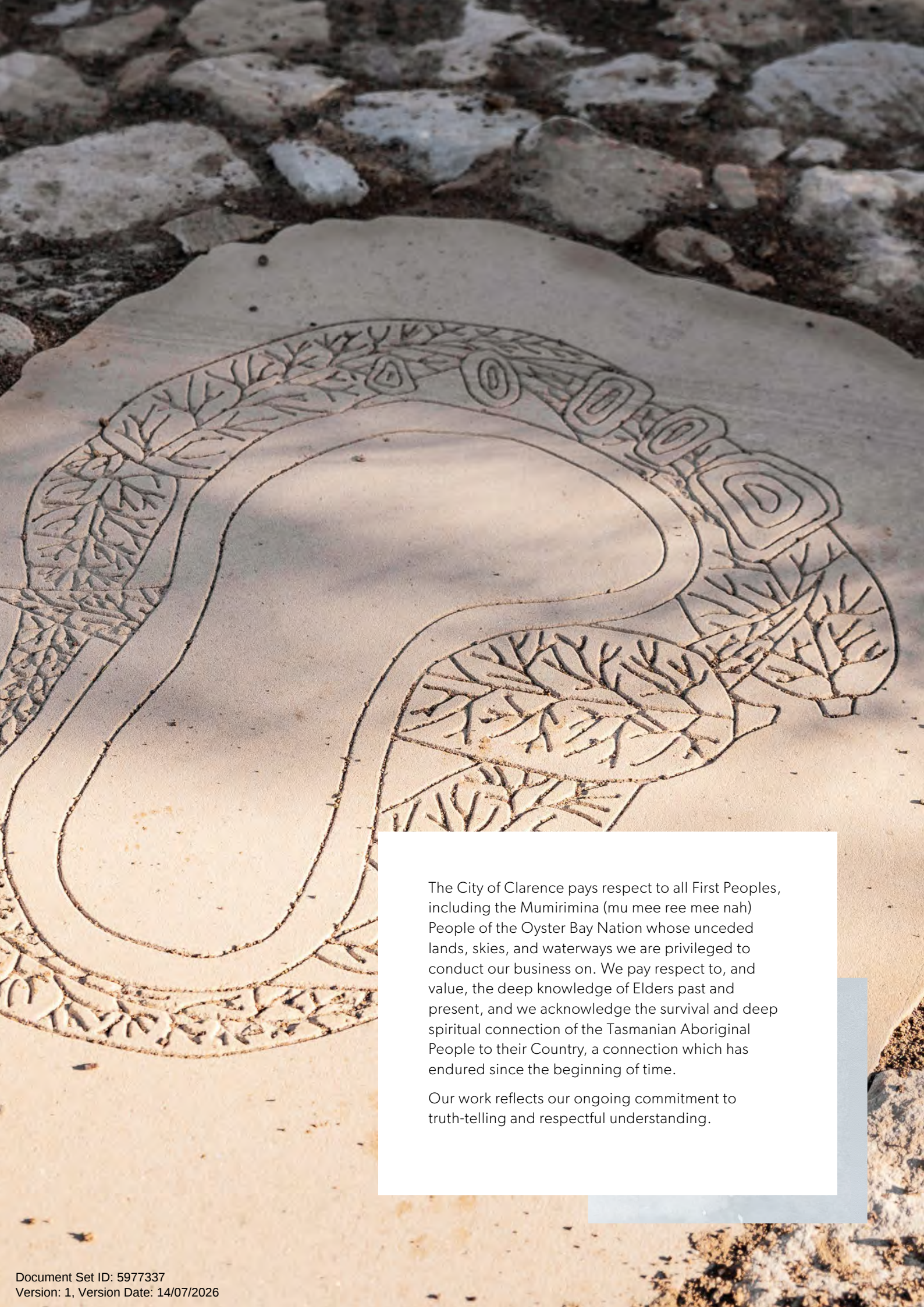
HEAD OF INFRASTRUCTURE AND NATURAL ASSETS



CLARENCE PLAINS PLAN

2026





The City of Clarence pays respect to all First Peoples, including the Mumirimina (mu mee ree mee nah) People of the Oyster Bay Nation whose unceded lands, skies, and waterways we are privileged to conduct our business on. We pay respect to, and value, the deep knowledge of Elders past and present, and we acknowledge the survival and deep spiritual connection of the Tasmanian Aboriginal People to their Country, a connection which has endured since the beginning of time.

Our work reflects our ongoing commitment to truth-telling and respectful understanding.

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Executive summary

A plan for the future of Clarence Plains.

Clarence Plains is evolving.

Over the past decade, the area has experienced steady population growth, renewed residential interest and significant infrastructure investment. While the rate of growth may moderate over time, these changes have reshaped the role of Clarence Plains within the City of Clarence and the broader Greater Hobart region. Clarence Plains is now one of the fastest-growing areas in the municipality and an increasingly important contributor to the region.

At the same time, Clarence Plains retains a strong and distinctive identity. Community engagement undertaken to help shape this Plan highlighted a deep sense of pride, belonging and connection to place. Residents spoke of strong local networks, valued open spaces, coastal and bushland landscapes, and a desire to see the area recognised for its strengths and potential. The Plan also recognises the enduring cultural connection of Aboriginal people to this landscape and aligns with Council's Reconciliation Action Plan in strengthening recognition, inclusion and shared stewardship of place.

At its core, the key focus of the Clarence Plains Plan 2026 is strengthening community wellbeing.

The Clarence Plains Plan 2026 provides a strategic framework to guide coordinated investment, infrastructure planning and place-based decision making over the next 20 to 30 years.

It establishes the following long-term, community-focused vision informed by extensive engagement:

A connected and confident Clarence Plains that strengthens community pride, recognises cultural heritage, enhances everyday liveability and coordinates growth with infrastructure, environment and opportunity.

This vision recognises that change is inevitable and must be carefully managed. It also acknowledges that growth must be structured and supported, aligned with infrastructure capacity, environmental values and community wellbeing.

The Plan does not amend the planning scheme, identify specific rezonings or allocate development sites. These matters will be addressed through future land use planning processes and related strategies, which this Plan will help inform. Instead, it establishes a shared direction to ensure that future change responds to local character, opportunity and community aspiration.



CLARENCE PLAINS

FOCUS AREAS



The Plan is organised around five interconnected focus areas:

People, community and culture

- 1** Strengthening social connection, access to services and inclusive community life while celebrating the unique identity of Clarence Plains.



Recreation and environment

- 2** Enhancing parks, open space and environmental corridors, including development of a connected Living Landscape Corridor that links neighbourhoods, recreation spaces and natural assets.



Transport, movement and connectivity

- 3** Improving walking, cycling and public transport connections and reducing barriers between neighbourhoods, including through managing the impacts of the South Arm Highway upgrade.



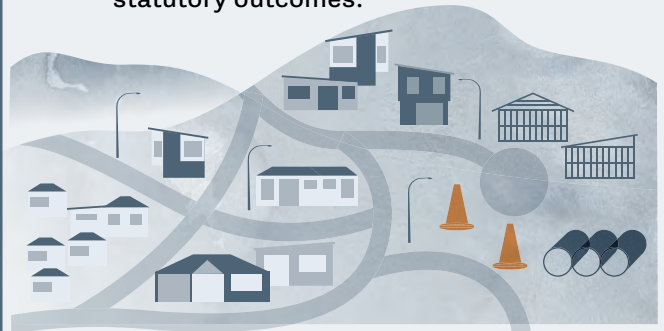
Business and employment

- 4** Supporting local enterprise and strengthening employment precincts while connecting residents to jobs and training.



Structured growth and housing

- 5** Coordinating housing growth with infrastructure capacity, environmental constraints and regional planning frameworks without predetermining statutory outcomes.



Managing structural change

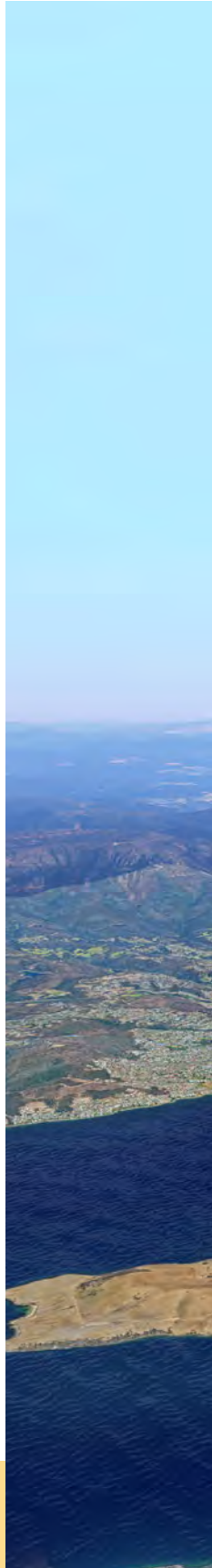
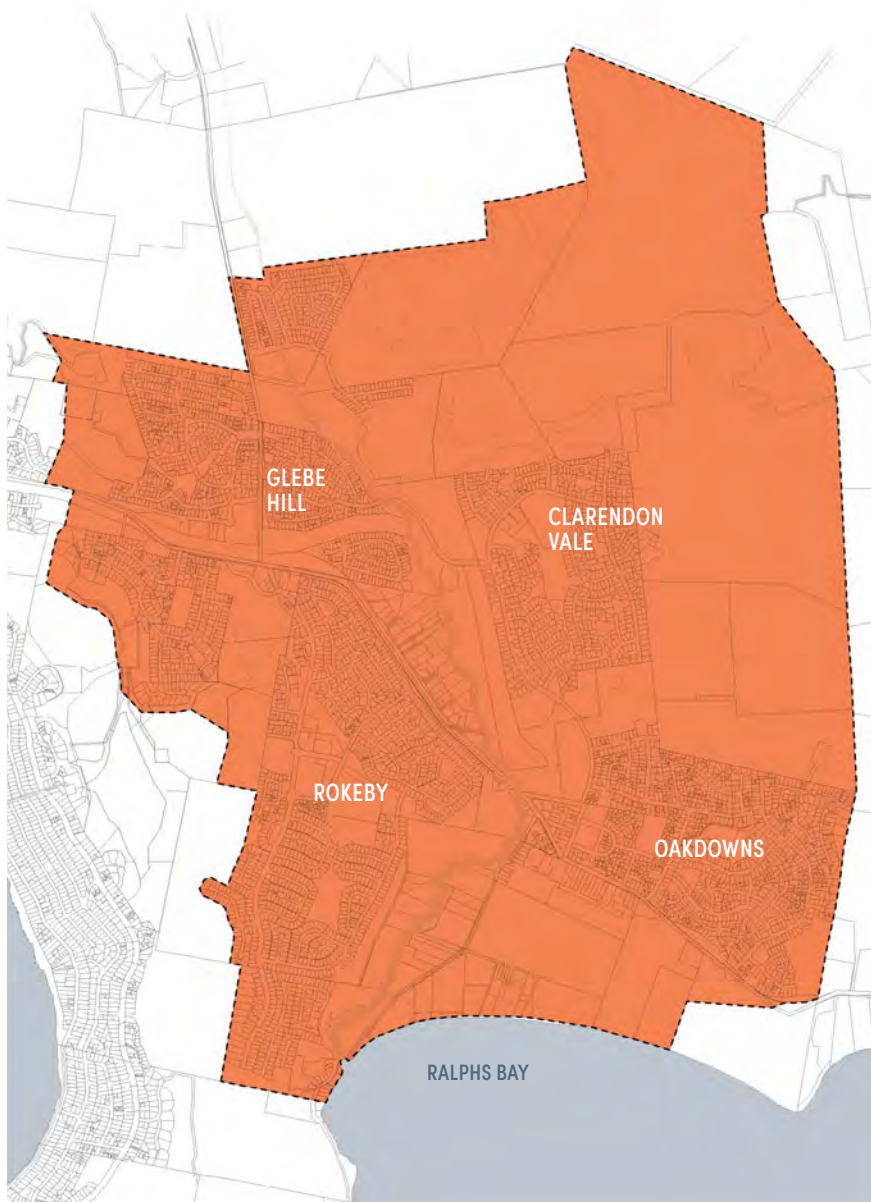
A significant driver of change for Clarence Plains is the proposed South Arm Highway upgrade. This project presents both risks and opportunities. If not carefully managed, it could reinforce severance between neighbourhoods. If proactively coordinated, it can improve connectivity, reshape movement patterns and support the revitalisation of established areas such as Rokeby Village.

It also presents an opportunity to strengthen connections to the Living Landscape Corridor and broader open space network.

Implementation

Implementation will occur progressively through Council's annual planning and budget processes, alignment with related strategies, and collaboration with State agencies and community stakeholders. The Plan is designed to be adaptive and responsive, with formal review proposed within five years of adoption.

Ultimately, the Clarence Plains Plan 2026 provides a clear and shared direction for the future. It supports a confident, connected and resilient Clarence Plains that reflects community aspirations while responding responsibly to growth and change.



© GOOGLE



**CLARENCE
PLAINS**

Hobart CBD

Rosny Park

Meehan Range

Cambridge

GLEBE
HILL

ROKEBY

CLARENDON
VALE

OAKDOWNS

RALPHS BAY

Lauderdale

Part

7



Introduction and purpose

Purpose and role of the Plan

The Clarence Plains Plan 2026 sets a long-term, community-focused vision for the future of Clarence Plains, informed by extensive community engagement and strategic analysis. It provides a strategic framework to guide how the area evolves over the next 20 to 30 years with a focus on community wellbeing, liveability, economic opportunity, environmental stewardship and connected growth.

At its core, the Plan seeks to strengthen community wellbeing by supporting environments, services and opportunities that enable people to live healthy, connected and fulfilling lives.

The Plan recognises that Clarence Plains is one of the most dynamic and strategically important areas within the City of Clarence. It is experiencing population growth, infrastructure investment and increasing regional significance.

At the same time, it continues to experience a range of long-standing challenges that require coordinated, place-specific responses. The Plan brings these themes together into a coherent and integrated direction for the future.

What this Plan does

The Clarence Plains Plan 2026:

- Establishes a shared vision for the future of Clarence Plains.
- Identifies clear outcomes to guide decision making across Council and with partners.
- Sets strategic directions across five focus areas:

 **1** People, community and culture

 **2** Recreation and environment

 **3** Transport, movement and connectivity

 **4** Business and employment

 **5** Structured growth and housing

- Provides a framework to guide Council investment, advocacy and collaboration.
- Informs future detailed planning processes, strategies and investigations.

The Plan integrates community feedback, Council priorities, and regional planning context into a single, accessible framework that helps shape and inform decisions over time.

What this Plan does not do

The Clarence Plains Plan 2026 is a strategic, non-statutory document. It does not amend local planning controls or determine specific development outcomes.

Detailed land use changes, density controls, activity centre boundaries, and infrastructure sequencing will be considered through separate land use planning processes and future Council strategies that relate to housing, activity centres, industrial areas and broader city-wide growth planning.

Instead, this Plan provides high-level guidance to inform those processes, ensuring they respond to Clarence Plains unique character, opportunities and challenges..



How this Plan will be used

The Clarence Plains Plan 2026 will guide:

- Council's capital investment and infrastructure planning
- Advocacy to State and Federal Government on major projects, including transport and regional open space
- Preparation of future strategic planning documents
- Partnerships with community organisations, service providers and the private sector
- Monitoring of progress toward improved liveability and opportunity across Clarence Plains

The Plan is designed to be flexible and responsive. As regional strategies evolve and new information becomes available, its strategic directions can inform and adapt alongside them.

Overall, the Clarence Plains Plan 2026 provides a clear, integrated and structured framework to ensure that growth and change in Clarence Plains strengthens community identity, improves access to opportunity, and enhances quality of life for current and future residents.



Why Clarence Plains 2026?

Clarence Plains has undergone significant change over the past decade. Population growth, new residential development, evolving infrastructure priorities and regional planning reforms have reshaped both the physical and strategic context of the area.

In 2022, Council released a draft Clarence Plains Master Plan for community consultation. That process reaffirmed strong community support for improved connectivity, safer and more welcoming public spaces, enhanced recreational opportunities, greater housing diversity and stronger local identity.

Since that time, the broader strategic landscape has continued to evolve. The release of the 30-Year Greater Hobart Plan, the ongoing review of the Southern Tasmanian Regional Land Use Strategy (STRLUS), the introduction of the Tasmanian Planning Policies, changes to the Urban Growth Boundary, and the progression of major infrastructure projects, including the South Arm Highway upgrade, have all created a new strategic environment for Clarence Plains.

At the same time, Council has commenced or progressed several city-wide strategies that will influence how growth, housing, employment, open space and activity centres are planned across the municipality.

In this context, it is appropriate to reset and refine the earlier master planning work into a clearer, more focused and contemporary framework.

The Clarence Plains Plan 2026 builds on the vision and consultation foundations established in earlier work but reframes them within today's strategic environment. It shifts from a traditional "master plan" approach toward a high-level, place-based strategy that:

- Responds to community aspirations for tangible change
- Provides clarity without pre-empting land-use planning processes outcomes
- Aligns with regional and state planning reforms
- Identifies the key levers Council can influence over the next 20 to 30 years

This Plan reflects both continuity and renewal, maintaining the strong community vision for a connected, vibrant and inclusive Clarence Plains while establishing a clearer pathway forward that is more feasible to implement.

The result is a more strategic, integrated and implementable framework to guide the next chapter of Clarence Plains' evolution.



How this Plan was developed

The Clarence Plains Plan 2026 builds on more than a decade of place-based planning, community engagement and strategic review.

It is not a new process commenced in isolation. Rather, it consolidates and refines earlier work, incorporating extensive community feedback and aligning it with the current strategic and planning environment in Clarence.

■ 2014

Community-led foundations

Place-based planning for Clarence Plains commenced through community development initiatives undertaken in partnership with Mission Australia and Council.

The 2014 Mission Australia Master Plan for Clarence Plains focused on strengthening local identity, improving wellbeing outcomes and coordinating services in response to locally identified priorities. Focused primarily on Rokeby and Clarendon Vale, it established the foundations for a long-term, community-informed approach to the future evolution of the area. The 2014 Master Plan has had many positive outcomes and continues to influence place-based work in Clarence Plains.

■ 2019

Expanding the scope

In 2019, recognising both the value of the 2014 Master Plan and the need for a strategic and integrated long-term vision across a broader study area, Council commenced development of a new Clarence Plains Master Plan. This expanded the scope beyond community development to consider infrastructure, services and land use planning. Extensive community consultation undertaken in late 2021 informed preparation of the draft Clarence Plains Master Plan.

■ 2022

Draft master plan and community consultation

A draft Clarence Plains Master Plan was released for community feedback in 2022. The consultation process generated substantial input from residents, community organisations and stakeholders. Community members consistently highlighted priorities including improved connectivity, safer and more welcoming public spaces, enhanced recreation opportunities, housing diversity and stronger local pride. These themes have remained central to subsequent refinement of the Plan.

■ 2023–25

Strategic review and alignment

As regional planning reforms progressed and major infrastructure projects advanced, Council undertook a detailed review of the draft Master Plan. This review reassessed its structure, clarified its purpose and ensured alignment with emerging Council-wide strategies, infrastructure planning and regional policy settings.

■ 2025–26

Clarence Plains Plan 2026

The earlier master planning work has been recalibrated into a clear, high-level strategic framework. The Clarence Plains Plan 2026 retains the strong community vision expressed through previous consultation while refining its structure to ensure it operates as an integrated, adaptable and contemporary place-based strategy.

The result is a Plan informed by extensive engagement, input from across Council and updated strategic analysis. It reflects continuity rather than replacement of earlier work and provides a confident and coherent direction for the next chapter of Clarence Plains' evolution.

Part

2



Context and drivers of change

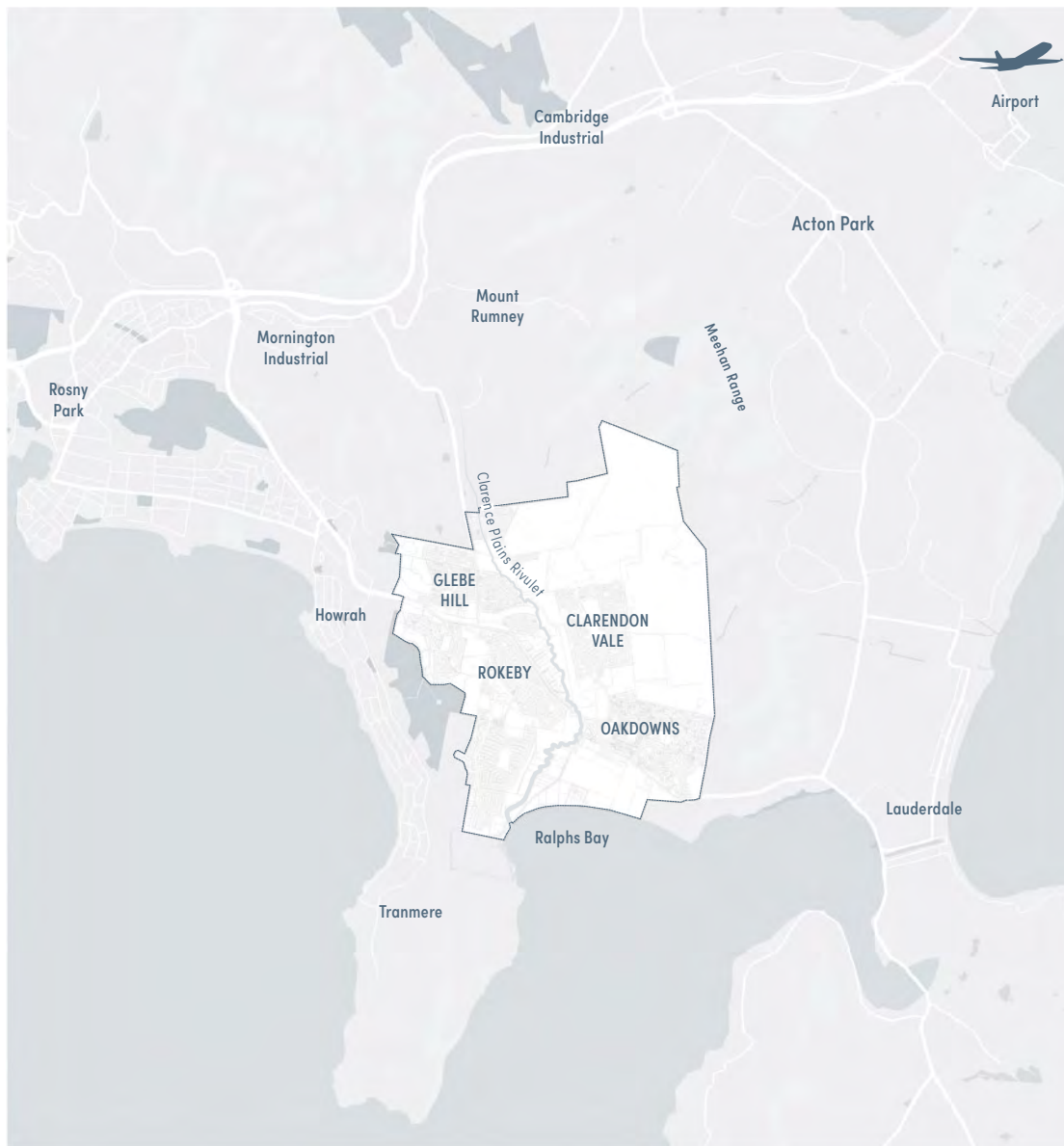
About Clarence Plains

Clarence Plains is one of the fastest-growing areas within City of Clarence. Encompassing the suburbs of Rokeby, Clarendon Vale, Glebe Hill and Oakdowns, the area extends from the coastal edge of Ralphs Bay to the foothills of the Meehan Range, forming a distinctive landscape of bushland reserves, rivulet corridors, residential neighbourhoods and emerging activity centres.

It is a place of strong identity and deep community networks. It is also a place shaped by its development history, including large-scale public housing developments in the 1970s, Radburn-style subdivision patterns, and subsequent waves of residential expansion.

Today, Clarence Plains sits at a pivotal moment. It is no longer an isolated suburban fringe. It is becoming a strategically important growth area within the Greater Hobart region.

Regional context



A community in transition

Over the past decade, Clarence Plains has experienced steady population growth and renewed residential interest. New estates in Glebe Hill and Oakdowns, combined with infill and redevelopment in older neighbourhoods, has shifted both the demographic profile and housing mix of the area.

At the same time, Clarence Plains has several long-standing challenges the Plan aims to address, including disadvantage, housing stress, limited public transport access and fragmented connectivity between neighbourhoods.

These considerations sit alongside the many strengths of Clarence Plains, including strong community networks, valued open spaces and a growing sense of local identity.



Community consultation undertaken during previous master planning work highlighted consistent themes:

A desire for stronger local identity and pride.

Safer and more welcoming public spaces.

Better internal and external connectivity.

Improved access to recreation and services.

Greater housing diversity and opportunity.

These aspirations remain highly relevant today.

Key consultation themes



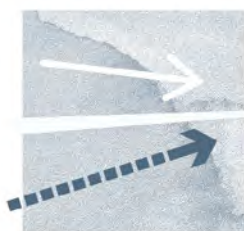
Local jobs



Parks



Safety



Connectivity



Housing diversity

Growth and demographic change

Clarence Plains has experienced significant population growth in recent years, although this rate is expected to moderate as development patterns evolve over time.*

The estimated resident population reached 9,004 in 2024, increasing from 7,744 in 2021 and 6,107 in 2016. Between 2023 and 2024 alone, the area recorded the largest population increase in Tasmania, growing by 230 residents, representing an annual growth rate of 2.7%.

This sustained growth reflects Clarence Plains' evolving role within the Greater Hobart region as a popular affordable and accessible residential location.

A younger, working-age community

Clarence Plains has a distinctly younger demographic profile than the broader Clarence municipality. The median age is 33, compared to 41 across Clarence.

Approximately two-thirds of residents (66.7%) are of working-age (15–64 years), indicating strong demand for employment pathways, transport connectivity, education, training and childcare services.

This younger profile also correlates with increased demand for recreation infrastructure, play spaces, youth services and community facilities that support families.

Housing affordability and market pressures

Relative housing affordability continues to attract new residents. The median price of established house transfers is approximately \$590,000, significantly lower than the median prices in both Tasmania and the Greater Hobart region.

This affordability has positioned Clarence Plains as a key entry point into home ownership within the Greater Hobart region. However, sustained population growth will increase pressure on:

- Infrastructure capacity
- Open space provision
- Transport networks
- Local employment opportunities
- Community services



66.7%
working-age population



2.7%
annual growth

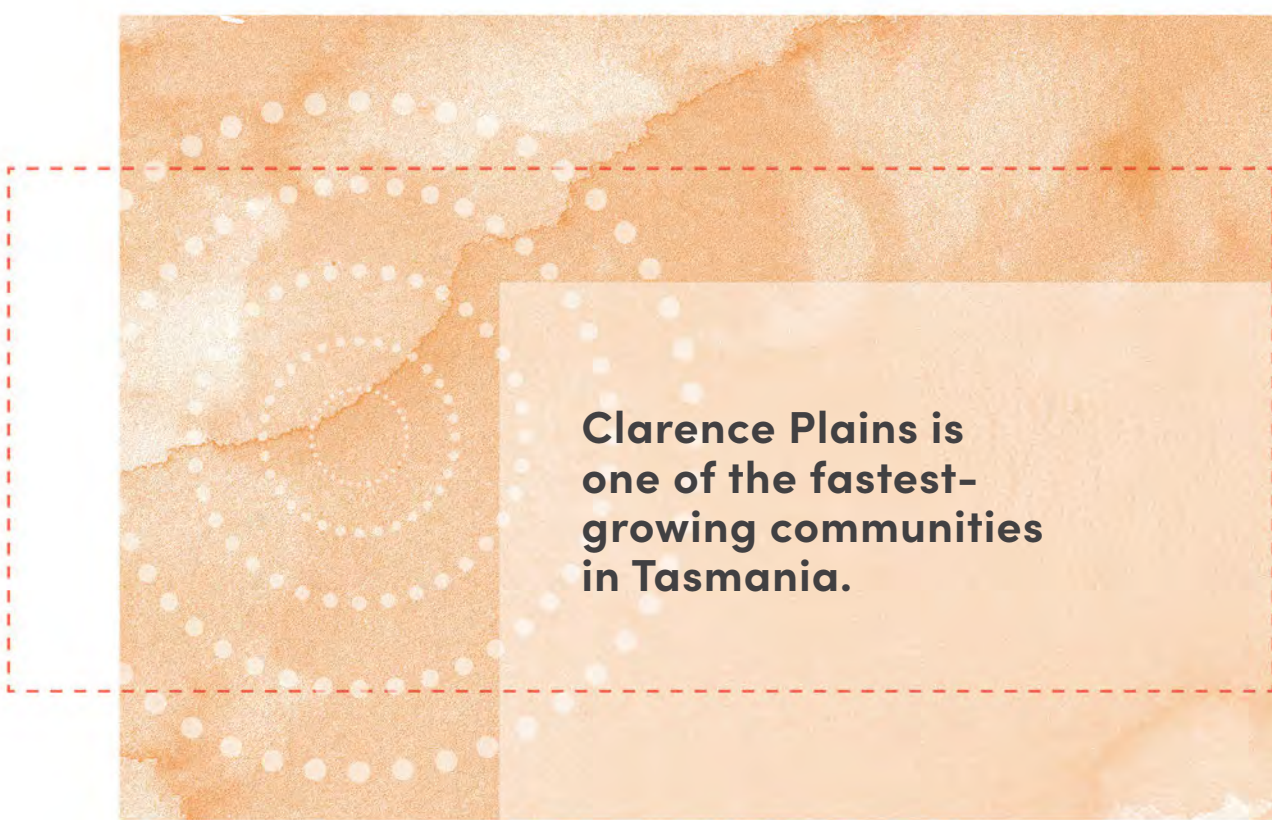


33
median age
(39.3 Greater Hobart,
45.1 Tasmania)



\$590k
median house price

*All population and demographic data sourced from the Australian Bureau of Statistics.



Clarence Plains is one of the fastest-growing communities in Tasmania.

Urban density and infrastructure demand

With a population density of approximately 583 people per square kilometre, Clarence Plains exhibits a relatively urbanised settlement pattern. This density is significantly higher than both the average for the Clarence municipality and the broader Greater Hobart urban area (approximately 146 people per square kilometre).

It is characterised by a mix of established neighbourhoods, open spaces and coastal landscapes, resulting in a distinct settlement pattern and opportunities for carefully planned growth over time. This pattern reflects the area's planning history and provides flexibility to coordinate future development with infrastructure, environmental values and community priorities.

In higher-density environments, the quality, accessibility and distribution of public space becomes even more critical to everyday wellbeing. It also creates pressure on public space, streetscapes and connectivity if not carefully planned.

Population growth is one of several factors shaping change in Clarence Plains.

Infrastructure investment, demographic shifts, improved connectivity and evolving community expectations are also important drivers influencing how the area continues to develop.

Movement and connectivity challenges

Travel-to-work data from the Census indicates a strong reliance on private vehicles, with most employed residents travelling by car and only a small proportion using public transport.

This pattern reinforces the need to improve active transport infrastructure, enhance public transport services and reduce barriers to mobility, particularly for young people, older residents and households experiencing housing stress.

A community shaped by migration

Recent growth has been driven largely by internal migration from elsewhere in Tasmania and interstate, alongside modest overseas migration. This demonstrates that the region can attract people from both the local area and the wider region, while also reinforcing the importance of supporting integration, belonging and community cohesion.

Strategic alignment

City of Clarence Strategic Plan 2025-2035

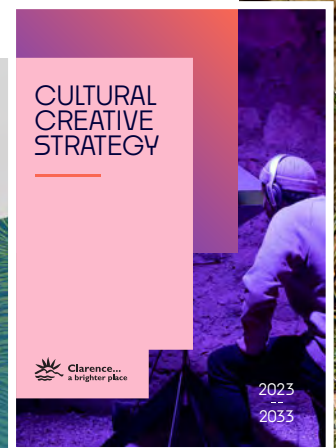
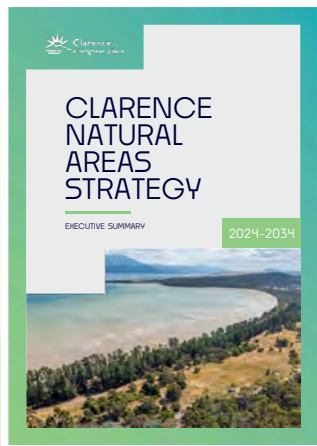
The Clarence Plains Plan 2026 sits within Council's broader strategic planning framework and is aligned with the *City of Clarence Strategic Plan 2025-2035*.

As a place-based strategy, it translates Council's city-wide priorities into a coordinated, localised response for Clarence Plains. The Plan cuts across all five focus areas of the Strategic Plan, providing a framework to guide investment, advocacy and decision making at a local level.

Supporting strategies and plans

The Clarence Plains Plan 2026 also aligns with current Council plans or will inform future Council plans, strategies and strategic projects, including:

- Reconciliation Action Plan 2025
- Clarence Natural Areas Strategy 2024
- Cultural Creative Strategy 2023-2033
- Community Wellbeing Strategy 2026 (in development)
- Clarence Open Space Strategy 2026-2046 (in development)
- Future city-wide land use planning strategies addressing:
 - Housing
 - Activity centres
 - Industrial areas
 - Broader, city-wide growth and infill planning
 - The Clarence Local Provisions Schedule and future planning scheme reviews
 - transport and infrastructure capacity investigations





Regional and policy context

The Clarence Plains Plan 2026 does not exist in isolation. It sits within a rapidly evolving local and regional planning and strategic framework.

Key strategic drivers include:

- The 30-Year Greater Hobart Plan, which identifies Clarence as a key contributor to metropolitan growth.
- The ongoing review of STRLUS.
- Recent changes to the Urban Growth Boundary.
- The introduction of the Tasmanian Planning Policies.

These regionally focused frameworks will influence where and how housing growth occurs, how employment land is protected and enhanced, and how infrastructure investment is prioritised.

The Plan is designed to sit within this broader framework, and will assist regional strategies respond to Clarence Plains' local character, opportunity and need.

Drivers of infrastructure, development and structural change

Perhaps the most significant physical driver of change for Clarence Plains is the proposed South Arm Highway upgrade and realignment.

The project will reshape movement patterns, redefine industrial land access, influence activity centres, and alter pedestrian and cycling permeability across the area.

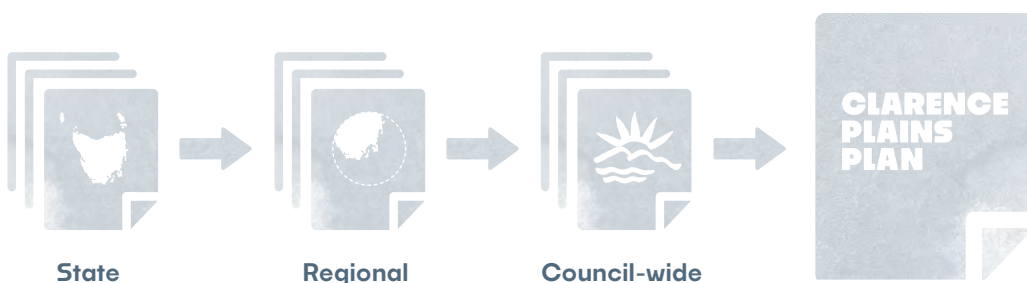
Other structural drivers include:

- The potential for intensification of activity in the Rokeby Industrial Precinct
- Future growth and development in adjacent residential areas, particularly greenfield sites along the Pass Road corridor
- Increasing demand for regional-level open space
- Investment in education and sporting infrastructure, including the proposed Bayview Secondary College Sports Precinct

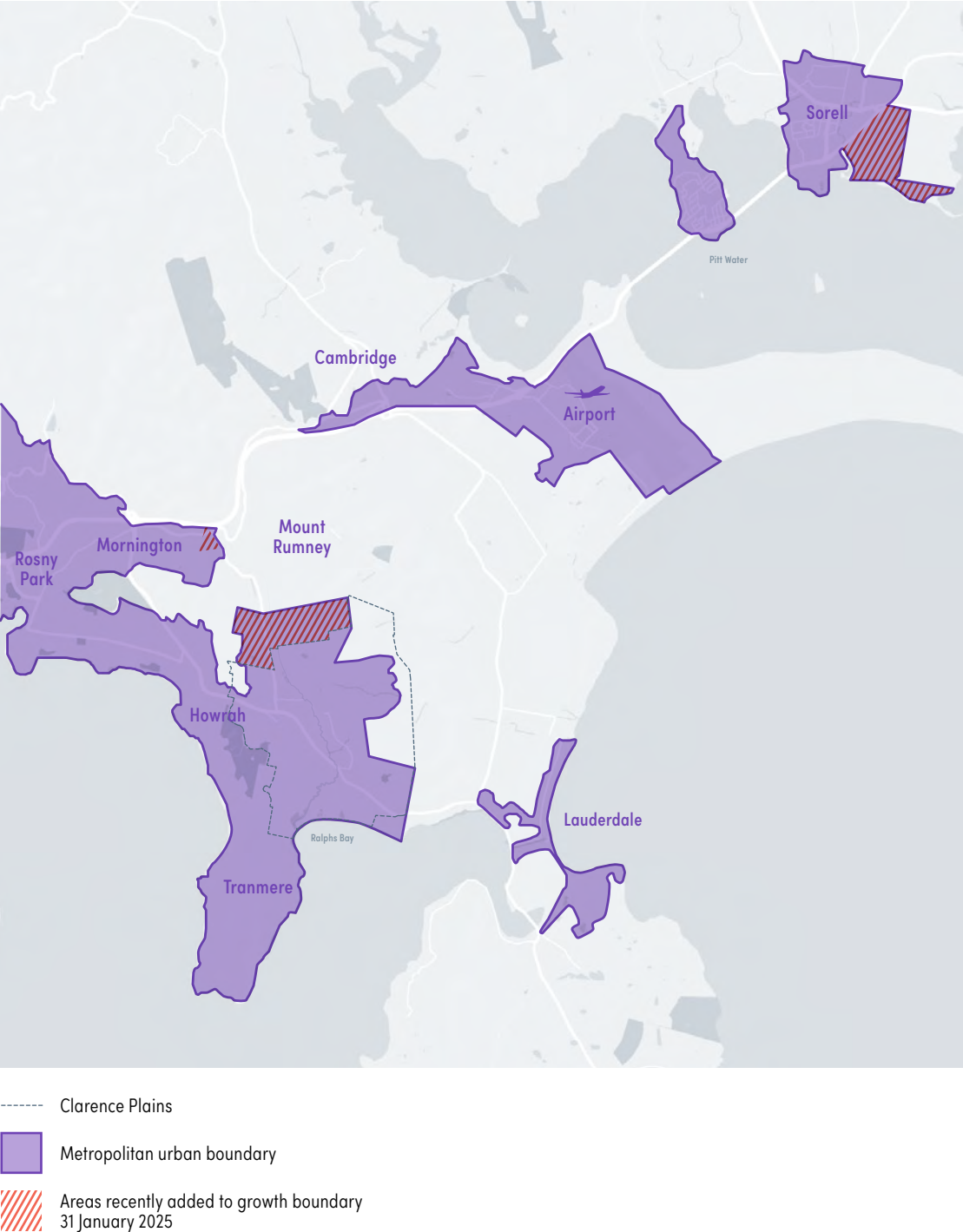
These drivers present both risks and opportunities. If carefully coordinated, they can improve connectivity, economic opportunity and recreational provision. If not, they risk entrenching severance, inequity and underutilisation of assets.

The Clarence Plains Plan 2026 provides a strategic framework to respond proactively to these structural changes.

Strategic Alignment Framework

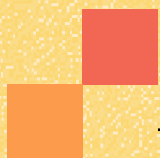


Changes to the Urban Growth Boundary



Part

3



Vision and outcomes

A community vision

The following vision has been shaped by community feedback, strategic analysis and Council's broader strategic priorities. It reflects the aspirations expressed during consultation, the evolving regional context, and the opportunities presented by growth and infrastructure investment.

Together, these factors have informed a shared direction for the future of Clarence Plains.



**A connected and confident
Clarence Plains that
strengthens community pride,
recognises cultural heritage,
enhances everyday liveability
and coordinates growth with
infrastructure, environment
and opportunity.**



The outcomes we're aiming for

To realise this vision, the Clarence Plains Plan 2026 seeks to achieve the following long-term outcomes:



A strong and inclusive community

Clarence Plains fosters a strong sense of belonging, safety and cultural identity. Community spaces are welcoming and accessible, services are responsive to local needs, and residents feel proud of where they live.



A green and active environment

An integrated network of parks, open spaces, natural corridors and recreation facilities supports healthy lifestyles, environmental stewardship and climate resilience. High-quality public space enhances everyday life.



Connected neighbourhoods

People can move safely and easily within Clarence Plains and to the wider region. Streets, paths and transport networks reduce barriers between neighbourhoods and improve access to jobs, services and education.



Local jobs and economic opportunity

Clarence Plains supports diverse employment opportunities and strengthens its role within the regional economy. Industrial and commercial areas are well-located and responsive to changing economic needs.



Well-planned and supported growth

Population growth is accommodated in a way that enhances liveability, supports infrastructure capacity and responds to community character. Housing diversity increases over time, providing options across life stages and income levels.

Guiding principles

The Clarence Plains Plan 2026 is guided by the following principles:

COMMUNITY-FOCUSED

Decisions reflect community aspirations and strengthen local pride and wellbeing.

PLACE-BASED

Strategies respond to the distinct character and history of Clarence Plains.

CONNECTED

Physical and social connections are prioritised.

EQUITABLE

Investment and opportunity are distributed fairly.

SUSTAINABLE

Growth supports environmental resilience and long-term community wellbeing.

COLLABORATIVE

Delivery requires partnership across community, government and industry.

Delivering the vision

Achieving these outcomes requires structured action across multiple areas.

The following section introduces five interrelated Focus Areas that translate the vision and outcomes into a structured framework for delivery.

Together, the five Focus Areas respond to the unique considerations and opportunities facing Clarence Plains and provide a practical framework for guiding investment, advocacy and partnership over the coming decades.

Part

4



Focus areas

Overview

The Clarence Plains Plan 2026 translates the long-term vision into five interconnected Focus Areas.

Each Focus Area sets out:

- **Strategic directions**, which describe the long-term policy intent and desired approach.
- **Priorities**, which identify medium-term areas of focus and investment.
- **Early actions**, which establish short-term steps to build momentum and inform staged delivery.

This provides a structured pathway from vision to implementation, supporting long-term improvements in community wellbeing across Clarence Plains.

FOCUS AREA 1

People, Community and Culture



Context

Clarence Plains is defined by its people, relationships and shared sense of place.

It is a community shaped by long-standing neighbourhood connections, strong informal support networks and a rich cultural and social history. It is also a community that continues to evolve, welcoming new residents, supporting a comparatively young population and responding to the opportunities and other considerations that come with growth.

The area sits within a landscape of enduring cultural significance. This Plan recognises the continuing connection of Aboriginal people to Country and aligns with Council's Reconciliation Action Plan in strengthening cultural recognition, inclusion and shared stewardship of place.

The historical development of Clarence Plains, including large-scale public housing, distinctive subdivision design and periods of limited early infrastructure investment, has influenced how neighbourhoods connect, how services are accessed and how identity has formed over time.

Today, there is a clear opportunity to build on existing strengths:

- local pride,
- cultural diversity,
- intergenerational connections
- strong community insight

Improving health, wellbeing and participation outcomes in Clarence Plains requires

coordinated action across service delivery, public space, connectivity, employment pathways and placemaking.

A thriving community is not created through services alone. It is shaped by welcoming public environments, meaningful opportunities for participation, strong cultural expression and neighbourhoods that support everyday interaction.

The Clarence Plains Plan 2026 recognises that strengthening community outcomes is a shared responsibility, requiring collaboration across Council, government, community organisations and residents.

Opportunities

- Strengthen recognition of Aboriginal culture and heritage in alignment with Council's Reconciliation Action Plan, by embedding Design in Country principles within planning, design and community initiatives, ensuring collaboration with Tasmanian Aboriginal People and supporting truth-telling in culturally appropriate ways.
- Explore opportunities to strengthen youth engagement within Clarence Plains through a hub-and-spoke service model, including shared local spaces, outreach services and partnerships aligned with Council's broader youth services approach.
- Improve activation and shared use of existing neighbourhood facilities and community spaces to better support local programs, events and informal gathering.
- Establish a more visible and place-based service model that improves how residents access information, support services and community programs.

1 Community wellbeing and participation

Support a community where people of all ages, backgrounds and abilities feel safe, connected and able to participate fully in community life.

- Strengthen mechanisms that enable residents to identify local priorities and co-design initiatives that respond to community needs.
- Improve equitable access to community services, programs and facilities, reducing structural barriers to participation.
- Promote active and healthy living across all life stages.
- Strengthen inclusive approaches that recognise cultural diversity and foster belonging.
- Support initiatives that enable ageing in place, including access to services, safe environments and opportunities for social connection.

2 Placemaking – Uniquely Clarence Plains

Celebrate and strengthen the distinctive identity of Clarence Plains through thoughtful placemaking, cultural recognition and cohesive urban character.

- Nurture creative activity and cultural expression that builds pride and community identity.
- Embed Aboriginal cultural recognition, collaboration and interpretation within planning, design and public realm initiatives, in alignment with Council's Reconciliation Action Plan.
- Integrate local history, including both palawa heritage and post-settlement narratives, into streetscapes, parks and public infrastructure to strengthen identity and shared understanding.
- Apply consistent urban design and placemaking principles that create a cohesive and recognisable visual identity for Clarence Plains.
- Support public art, heritage interpretation and cultural events that activate spaces and foster community dialogue.

3 Collaboration and opportunity

Strengthen partnerships that support education, employment, volunteering and local enterprise.

- Work collaboratively with all levels of government, community-focused organisations and service providers to coordinate place-based initiatives.
- Strengthen pathways to education, training and employment for residents, including young people, people seeking to enter or re-enter the workforce and those pursuing career transitions.
- Encourage partnerships that link community wellbeing with local economic opportunity.
- Advocate for programs and investment that strengthen long-term social and economic resilience.

4 Community-led projects and activation

Enable local initiative and support community-led action that enhances public spaces and social connection.

- Provide assistance and guidance to community groups seeking to initiate local projects.
- Facilitate access to funding, grants and in-kind support for community-led initiatives.
- Encourage projects that activate neighbourhood spaces and foster interaction.
- Promote collaborative art, history and placemaking projects that reflect local identity.







Priorities

Develop and implement aligned activation plans for key neighbourhood spaces, aligning programming, infrastructure upgrades and community partnerships.

Embed universal design principles into future public realm and infrastructure planning to support safety, accessibility and inclusive participation.

Strengthen physical and wayfinding connections between residential areas and community hubs, services and recreation facilities.

Expand culturally inclusive programming and events that reflect the diversity of Clarence Plains, including multicultural communities, intergenerational participation and inclusive community celebration.

Work alongside the Tasmanian Aboriginal Community to strengthen partnerships and expand culturally inclusive programming and events in alignment with Council's Reconciliation Action Plan, to deepen relationships, strengthen respect, and create future opportunities.

Improve how people find and access local services by strengthening coordination, sharing clear information and supporting simple referral pathways, particularly for young people and new residents.

Advocate for and support education, training and employment initiatives that respond to the area's young and growing population.



Early actions

- ☐ Undertake a structured review of existing community facilities and service accessibility within Clarence Plains to identify gaps and opportunities for improvement.
- ☐ Continue to work with community organisations and service providers to develop a shared asset-based community development approach that builds on local strengths, networks and community capacity.
- ☐ Continue to explore opportunities to strengthen youth engagement while also supporting initiatives that foster inclusion, participation and connection across all age groups.



FOCUS AREA 2

Recreation and environment

Context

Recreation spaces and natural environments are fundamental to the identity and liveability of Clarence Plains.

The area is characterised by proximity to Ralphs Bay, the Meehan Range, coastal landscapes, bushland reserves and a network of neighbourhood parks. At the centre of this landscape is the Clarence Plains Rivulet corridor, which forms a continuous natural spine through the area. Dubbed the “Living Landscape Corridor” in this Plan, this interconnected network of green and open spaces links neighbourhoods, parks, reserves and environmental assets, functioning as both a biodiversity corridor and a recreation network.

As Clarence Plains grows, demand for accessible, high-quality open space will increase. In a comparatively young and higher-density community, the distribution, connectivity and quality of parks and recreation facilities become critical to everyday wellbeing.

Historic subdivision patterns in parts of Clarence Plains have limited permeability and reduced direct connections between neighbourhoods and open space. This presents both a challenge and an opportunity. Future planning can improve access, strengthen linkages and create a more legible and connected recreation network.

Clarence Plains also contains significant environmental assets that require protection

and careful stewardship. Waterways, remnant vegetation, coastal landscapes and biodiversity corridors contribute to ecological resilience and shape the character of the area.

Future planning of the open space network will occur in accordance with the *Clarence Open Space Strategy 2026–2046* (when finalised). The Clarence Plains Plan both informs and is informed by that Strategy, ensuring alignment between place-based priorities and city-wide standards.

Opportunities

- Consolidate the Clarence Plains Rivulet corridor and adjacent reserves into a clearly defined Living Landscape Corridor linking neighbourhoods, schools and regionally significant open space.
- Plan and investigate a regionally significant South-East Regional Park within the existing open space between Bayview Secondary College and Goodwins Road, building on existing facilities and community assets.
- Improve permeability and access to open space in areas influenced by historic subdivision patterns, strengthening east-west and north-south connections.
- Enhance biodiversity outcomes through management of rivulet corridors, coastal edges and bushland reserves, integrating recreation and environmental stewardship.

1 An integrated open space network

Strengthen and connect the network of neighbourhood, district and regional open spaces across Clarence Plains through development of a coherent Living Landscape Corridor.

- Strengthen the distribution, accessibility and equity of parks and recreation spaces across Clarence Plains.
- Reinforce connections between neighbourhoods, open space corridors and activity nodes to support an integrated Living Landscape Corridor.
- Support equitable access to high-quality public space across all areas.
- Ensure new development contributes to a coherent and connected open space system.

2 Regional and district level recreation

Position Clarence Plains as a key provider of recreation opportunities within the City of Clarence and the broader region.

- Position the proposed South-East Regional Park as a key anchor within the Living Landscape Corridor (subject to staged investigation and feasibility).
- Incorporate culturally informed landscape interpretation and design within public open space upgrades, consistent with Council's Reconciliation Action Plan.
- Enhance district level sporting and recreation facilities to respond to population growth.
- Encourage multi-use facilities that support diverse age groups and interests.
- Integrate recreation planning with education and community infrastructure where appropriate.



3 Green corridors and natural assets

Protect and enhance natural landscapes and ecological corridors that define Clarence Plains.

- Strengthen rivulet corridors and vegetated linkages as part of the Living Landscape Corridor, supporting both ecological function and recreational connectivity.
- Embed biodiversity protection and ecological resilience principles within open space planning and management.
- Incorporate water sensitive design and landscape resilience principles into public space upgrades.
- Support coastal and bushland management that balances access with conservation.

4 Active and healthy lifestyles

Promote opportunities for everyday physical activity and outdoor recreation.

- Improve walking and cycling connections to parks, schools and activity areas.
- Enhance play spaces and informal recreation opportunities for children and young people.
- Support access to sporting facilities that meet contemporary standards.
- Encourage environments that support safe and inclusive physical activity for all ages and abilities.

5 Environmental stewardship and climate resilience

Plan for long-term environmental health and climate adaptation.

- Integrate tree canopy expansion and urban greening into open space planning.
- Design public spaces to respond to increasing temperatures and the impacts of climate change (e.g. rising sea levels and extreme weather events).
- Support sustainable land management practices within reserves and public land.
- Encourage community participation in environmental care and stewardship initiatives.



Priorities

Prepare and adopt a Clarence Plains-specific Open Space Framework within the Clarence Open Space Strategy 2026–2046 to guide staging, connectivity and capital investment within the Living Landscape Corridor.

Progress detailed feasibility, concept planning and stakeholder engagement for a regionally significant South-East Regional Park.

Identify and prioritise key connectivity upgrades that strengthen links between green corridors, neighbourhood parks and community destinations.

Align recreation infrastructure investment with population growth projections and demographic trends.

Embed environmental resilience and tree canopy expansion objectives within future public realm and open space capital works.



Early actions

- Initiate preliminary site investigations, land tenure analysis and high-level concept testing for the proposed South-East Regional Park to inform staged feasibility assessment.
- Undertake an audit of open space accessibility, quality and distribution across Clarence Plains to identify priority improvement areas.
- Integrate Living Landscape Corridor mapping into transport, infrastructure and subdivision planning processes.
- Align short-term capital works programming with priorities identified in the Clarence Open Space Strategy 2026–2046.

South-East Regional Park – A regional parkland for Clarence Plains

The proposed South-East Regional Park is located between Bayview Secondary College and Goodwins Road, within the central open space corridor of Clarence Plains.

Building on existing recreation assets and environmental features, it has the potential to function as a regionally significant parkland that anchors the Living Landscape Corridor and strengthens connections between neighbourhoods, schools and natural systems.



Living Corridor connections



Existing or future open spaces



Regional park



Clarence Plains Rivulet



Living Landscape Corridor



FOCUS AREA 3

Transport and connectivity



Context

Movement networks shape how Clarence Plains functions as a place.

They influence how residents access employment, education, services and recreation. They determine how neighbourhoods connect with one another and with the Greater Hobart region. They also affect safety, identity and the quality of everyday experience.

Clarence Plains has historically been structured around the South Arm Highway corridor. While this corridor has provided regional access, it has also created severance between neighbourhoods and constrained opportunities to create safe, walkable and connected local environments.

The proposed South Arm Highway upgrade and realignment represents a significant structural change for the area. It will alter traffic patterns, redefine access to the Rokeby Industrial Precinct and change the role of the existing highway alignment through Rokeby Village.

This transition presents both risk and opportunity.

Without careful coordination, the new alignment could reinforce barriers between neighbourhoods and diminish the vitality of established areas. With proactive planning and collaboration, it can create opportunities to improve connectivity, enhance local environments and strengthen access to employment and services.

The Clarence Plains Plan 2026 adopts a balanced and forward-looking approach to this transition, recognising that Council must work within the parameters of State infrastructure decisions while advocating strongly for local outcomes.

Opportunities

- Utilise the South Arm Highway realignment to reshape movement patterns and reconfigure the role of existing corridors.
- Transition the existing Rokeby Village main street from a highway-dominated environment to a safer, lower-speed, pedestrian-oriented local centre supported by high-quality public realm improvements.
- Leverage increased bus movements associated with the planned Rokeby Park and Ride facility to advocate for improved public transport access and service integration across Clarence Plains.
- Strengthen east-west and north-south walking and cycling links between residential neighbourhoods, schools, parks, employment precincts and the Living Landscape Corridor.
- Integrate green corridor connections with transport upgrades to reinforce the relationship between movement networks, open space and environmental systems.

1 Managing the South Arm Highway transition

Respond proactively to the impacts of the highway realignment to protect and enhance local connectivity and place quality.

- Advocate for and collaborate with the Department of State Growth to minimise severance and improve integration with surrounding neighbourhoods.
- Prioritise safe and legible pedestrian and cycling crossings across the new corridor as part of the transition framework.
- Plan for the transition of the existing highway alignment through Rokeby Village to support improved safety, amenity and walkability.
- Ensure access to the Rokeby Industrial Precinct remains efficient while reducing impacts on residential areas.

2 Connecting neighbourhoods

Reduce physical and perceived barriers between residential areas, open spaces and community facilities.

- Improve east-west and north-south pedestrian and cycling connections.
- Strengthen links between neighbourhoods and key destinations, including schools, parks and local centres.
- Integrate movement planning with open space and recreation network planning.
- Identify and respond to areas where historic road layout or subdivision design limits permeability and connectivity.

3 Supporting active and public transport

Create a transport system that supports everyday walking, cycling and public transport use.

- Strengthen the safety, continuity and legibility of walking and cycling routes.
- Advocate for enhanced public transport services that respond to population growth and demographic needs.
- Improve access to bus stops and ensure integration with surrounding footpath networks.
- Design streets and public spaces that prioritise people as well as vehicles.

4 Safer and more functional streets

Enhance the safety, clarity and functionality of the local street network.

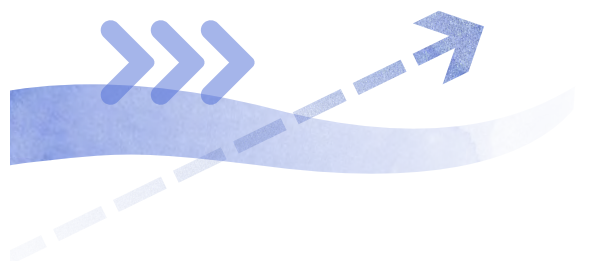
- Improve wayfinding and signage to support easier navigation within Clarence Plains.
- Incorporate traffic calming and safety improvements in appropriate local streets.
- Align future road upgrades with placemaking and public realm objectives.
- Ensure movement planning responds to the needs of children, older residents and people with limited mobility.

5 Supporting local centres through connectivity

Ensure changes to traffic patterns strengthen, rather than weaken, the role of established local centres.

- Establish a framework to guide the transition of the Rokeby Village precinct following highway realignment.
- Enhance connections between Rokeby Village, surrounding neighbourhoods and adjacent open spaces.
- Maintain and improve access to Glebe Hill and other established centres through structured movement planning.
- Support local business activity by improving the quality and legibility of public spaces.

This approach does not predetermine land use outcomes. Detailed planning for the Rokeby Village precinct will be undertaken through a dedicated Rokeby Village Plan to guide future capital works, public realm improvements and place activation initiatives.





Priorities

Develop and implement a local connectivity program to mitigate severance impacts associated with the South Arm Highway upgrade.

Identify and prioritise pedestrian and cycling infrastructure upgrades across key east-west and north-south corridors.

Strengthen public transport integration through improved access to stops, network legibility and advocacy for service enhancements aligned with population growth.

Prepare and adopt a Rokeby Village Plan to guide the precinct's transition, public realm upgrades and capital investment sequencing.

Align transport infrastructure planning with recreation, open space and employment priorities to reinforce an integrated urban structure.



Early actions

- ☐ Continue advocacy and technical engagement with the Department of State Growth to influence local connectivity outcomes associated with the South Arm Highway Upgrade project.
- ☐ Commence preparation of the Rokeby Village Plan to inform public realm improvements, funding applications and staged transition planning.
- ☐ Undertake a network-level review of active transport connections within Clarence Plains to identify priorities to improve, connections and user safety.





FOCUS AREA 4

Business and employment



Context

Clarence Plains plays an important and evolving role within the Greater Hobart region's economy.

The area benefits from proximity to Hobart Airport, activity centres at Cambridge, Mornington and Rosny Park, major transport corridors and established industrial land within the Rokeby Industrial Precinct. At the same time, Clarence Plains is home to a comparatively young and predominantly working-age population, creating both demand for local employment opportunities and a strong labour force base.

Historically, many residents have travelled outside the area for employment. While this pattern is likely to continue, there is an opportunity to strengthen local economic activity, improve access to jobs and training, and better integrate employment precincts with surrounding communities.

Growth in population and infrastructure investment, including the South Arm Highway upgrade, will influence how employment zoned land functions and how businesses access customers, suppliers and workers.

The Clarence Plains Plan 2026 recognises that economic opportunity is closely linked to movement networks, education pathways, open space quality and community wellbeing. A coordinated approach is required to ensure employment growth contributes positively to local liveability.

Opportunities

- Capitalise on improved regional access associated with the South Arm Highway upgrade to enhance the visibility, functionality and long-term viability of the Rokeby Industrial Precinct.
- Strengthen the integration of employment precincts within the broader urban structure, reducing physical and perceptual separation.
- Strengthen the role and amenity of village and neighbourhood centres to support small business, local services and everyday economic activity.
- Align economic development initiatives with education and training partnerships to support employment pathways for Clarence Plains' younger demographic profile.



1 Strengthening employment precincts

Support the ongoing viability and functionality of established employment areas within Clarence Plains.

- Protect and enhance the role of the Rokeby Industrial Precinct as an important hub for local employment.
- Support efficient and reliable access to industrial and commercial land through integrated transport planning.
- Align land use and infrastructure planning with the long-term adaptability and growth of employment precincts.

2 Supporting local enterprise and small business

Encourage conditions that support small businesses and local services.

- Strengthen connectivity and public realm quality in and around established village and neighbourhood centres to support economic vitality.
- Support initiatives that strengthen local business visibility and accessibility.
- Encourage activation and programming that increases local visitation.
- Promote collaboration between Council and local business operators.

3 Connecting people to jobs and training

Strengthen pathways between residents, education providers and employment opportunities.

- Support partnerships with schools, training providers and employers to improve local employment pathways.
- Encourage initiatives that build skills aligned with regional industry needs.
- Strengthen transport and active travel connections between residential areas and employment precincts.
- Advocate for programs that respond to the area's young demographic profile.

4 Aligning economic growth with place

Ensure that economic development supports long-term community and environmental outcomes.

- Integrate employment planning with transport, housing and open space strategies.
- Encourage business development that contributes positively to the character and identity of Clarence Plains.
- Support sustainable industry practices and efficient land use.
- Align economic initiatives with broader Council strategic priorities.







Priorities

Maintain and enhance the long-term functionality and land use integrity of the Rokeby Industrial Precinct.

Identify and prioritise targeted movement, access and public realm improvements that strengthen connections between neighbourhoods and employment areas.

Support small business vitality within established centres through placemaking and economic development initiatives.

Strengthen local education and training partnerships aligned with workforce demand and emerging industry needs.

Integrate economic planning considerations into transport, housing and infrastructure investment decisions affecting Clarence Plains.



Early actions

- ☐ Undertake a review of access, servicing and movement patterns within and around the Rokeby Industrial Precinct in conjunction with the South Arm Highway upgrade.
- ☐ Engage with local businesses and industry stakeholders to identify priority infrastructure and placemaking needs.
- ☐ Strengthen collaboration between Council, education providers and industry to improve local employment pathways.
- ☐ Monitor employment, industry and demographic trends to inform future strategic updates



FOCUS AREA 5

Structured growth and housing



Context

Clarence Plains has experienced sustained population growth over the past decade and is expected to continue accommodating new residents over the life of this Plan (although the rate of growth may vary as development opportunities evolve).

As one of the more urbanised parts of the municipality, with established infrastructure, services and transport connections, the area presents opportunities to support additional housing supply within the broader Greater Hobart region. At the same time, growth must be carefully planned to ensure that infrastructure capacity, environmental constraints and community character are respected.

Clarence Plains sits within a defined regional planning framework that includes the Greater Hobart Plan, STRLUS, the Tasmanian Planning Policies and Council's own strategic planning projects. These frameworks establish the overarching approach to settlement patterns, activity centre hierarchy and infrastructure coordination.

The Plan does not replace or pre-empt land use planning processes or outcomes. Instead, it provides a place-based perspective to inform how growth is managed in a way that supports liveability, connectivity and long-term community wellbeing.

The zoning and constraint context of Clarence Plains, including environmental corridors, flood prone land and infrastructure considerations, will continue to guide how and where development occurs. Future detailed planning work will refine these considerations as required.

Opportunities

- Respond to existing infrastructure corridors and service nodes to reinforce a coherent and legible settlement pattern.
- Provide place-based insight to inform Council's Housing Strategy, ensuring housing diversity reflects the demographic profile, character and infrastructure capacity of Clarence Plains.
- Strengthen integration between new development areas and the Living Landscape Corridor, neighbourhood parks and community facilities.
- Support well-located infill and housing diversity opportunities where consistent with regional planning frameworks and environmental constraints.

1 Align growth with infrastructure and services

Ensure housing growth is aligned with infrastructure capacity and service provision.

- Align future development with transport networks, open space planning and community facilities.
- Incorporate infrastructure sequencing considerations into areas experiencing higher rates of development.
- Embed stormwater, drainage and environmental constraints within long-term planning and infrastructure coordination.
- Support development that contributes positively to public realm quality and neighbourhood amenity.

2 Support housing diversity and choice

Support a diversity of housing options that respond to the needs of people at all life stages, including opportunities for ageing in place, smaller households and changing community needs.

- Recognise the area's comparatively young demographic profile and demand for family housing.
- Support opportunities for varied housing typologies where consistent with broader strategic planning frameworks.
- Encourage housing options that enable ageing in place, including adaptable dwellings and accessible design.
- Enable housing supply to respond to affordability pressures while maintaining neighbourhood quality, through targeted land use and strategic planning.
- Recognise the importance of access to employment, services, education and recreation in future housing planning for the region.

The Plan does not identify specific sites for housing change. Detailed consideration of housing typologies and location will occur through development of Council's Housing Strategy and other land use planning strategies.

3 Protect environmental and landscape values

Ensure that growth respects and enhances the natural setting of Clarence Plains.

- Protect key environmental corridors, including rivulet systems and connections to the Meehan Range.
- Avoid inappropriate development in areas subject to environmental constraints.
- Integrate open space provision with new residential areas.
- Reinforce the distinctive coastal and bushland character of the area.

4 Maintain a clear settlement structure

Support a coherent and legible settlement pattern that aligns with regional planning intent.

- Reinforce the role of established activity centres and emerging local centres in accordance with regional hierarchy.
- Avoid ad hoc or fragmented development patterns.
- Ensure future planning responds to the outcomes of the Activity Centre Strategy and other strategic planning projects.
- Improve clarity and transparency around how growth decisions are made and sequenced within the broader planning framework.







Priorities

Embed Clarence Plains-specific growth and infrastructure analysis within the implementation of Council's Housing Strategy.

Strengthen coordination between housing growth, infrastructure capacity assessment and capital investment sequencing.

Embed environmental corridor protection and landscape integration principles within future subdivision and precinct planning processes.

Maintain alignment with regional planning frameworks, including the Greater Hobart Plan and STRLUS, while articulating a clear place-based position for Clarence Plains.



Early actions

- ☐ Contribute Clarence Plains-specific demographic, infrastructure and open space analysis to the development of Council's Housing Strategy.
- ☐ Review infrastructure capacity and environmental constraints in areas experiencing development pressure to inform sequencing discussions.
- ☐ Monitor housing supply, demographic trends and infrastructure performance indicators to inform future strategic review.



Part

5



Implementation and monitoring

Delivering the Clarence Plains Plan 2026

The Clarence Plains Plan 2026 establishes a long-term, community-focused vision supported by strategic directions across five focus areas. Delivering this vision requires sustained coordination across Council departments, collaboration with State agencies, alignment with Council strategies and ongoing engagement with the community.

This Plan does not operate as a standalone capital works program or statutory planning instrument. Rather, it provides a strategic framework to guide decision making, inform investment priorities and shape future Council strategies and projects affecting Clarence Plains.

Implementation will not rely on a single program or funding stream. Instead, it will be embedded across Council's governance, planning and investment processes, including:

- Council's annual budget and capital works program.
- The development and adoption of related Council strategies, including the Housing Strategy, Activity Centre Review, Open Space Strategy 2026 and Settlement Strategy.
- Advocacy and partnership with State Government, particularly in relation to transport infrastructure and community services.
- Precinct level planning and design processes where required.
- Ongoing monitoring and review.

Implementation will also align with Council's suite of community, cultural and social planning strategies to support coordinated delivery of community wellbeing outcomes.

The Plan is intended to guide and coordinate change over the next 20 to 30-years. Its implementation will be staged and responsive to emerging opportunities, funding availability and broader regional planning outcomes.

Staging and sequencing

Delivery of the Clarence Plains Plan 2026 will occur progressively over time.

While individual projects will be subject to detailed scoping and budget consideration, implementation can be broadly understood across three stages.

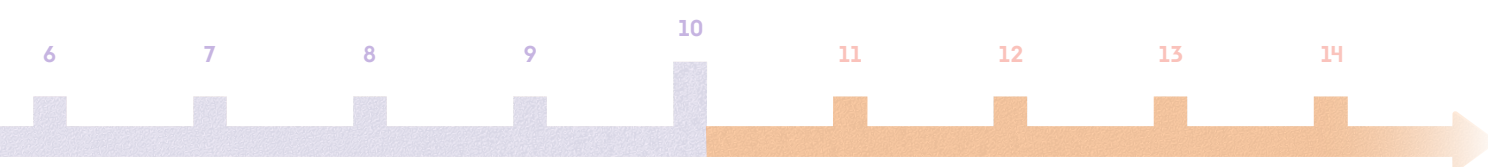


Short-term (0 to 5 years)

Focus on foundational work, including:

- Advocacy and coordination relating to the South Arm Highway upgrade.
- Preparation of the Rokeby Village Plan to guide the transition of the village precinct.
- Early activation and community-focused improvements to neighbourhood spaces, connectivity and local facilities to support social connection and everyday liveability.
- Commencement of preliminary investigations and concept planning for the South-East Regional Park as a key component of the Living Landscape Corridor.
- Integration of Clarence Plains priorities into the Housing Strategy, Activity Centre Strategy and Industrial Strategy.
- Alignment of open space planning with the Clarence Open Space Strategy 2026-2046.
- Identification of priority active transport and connectivity improvements.

This stage establishes the strategic and technical foundations for longer term change.



Medium-term (5 to 10 years)

Focus on coordinated delivery and precinct level improvements, including:

- Implementation of priority public realm and connectivity upgrades.
- Progression of precinct planning informed by the Housing Strategy and broader settlement planning.
- Enhancement of recreation networks and environmental corridors.
- Continued strengthening of local employment precincts and business environments.

This stage builds momentum and consolidates improvements across the area.

Long-term (10 plus years)

Focus on major capital investment and structural change aligned with regional growth patterns, including:

- Delivery of larger scale open space and recreation projects.
- Infrastructure upgrades aligned with population growth.
- Ongoing refinement of housing supply and diversity in response to demographic trends.
- Long-term enhancement of transport connectivity and integration.

The timing of individual projects will depend on funding, partnership arrangements and the outcomes of related Council strategies.

Alignment with other strategies

Implementation of the Clarence Plains Plan 2026 will occur in alignment with Council's broader strategic planning framework, as outlined in Part 2.

The Plan is designed to inform and be informed by a range of Council strategies and projects relating to housing, open space, transport, economic development and environmental management. This integrated approach ensures that investment, planning and decision making across Clarence Plains remains coordinated, consistent and responsive over time.

Partnerships and advocacy

Several structural drivers affecting Clarence Plains sit beyond Council's direct control. Strategic advocacy and partnership will therefore be essential to achieving local outcomes.

In particular, the South Arm Highway upgrade and broader regional infrastructure decisions will significantly influence the area's future form and connectivity.

Council will continue to advocate for outcomes that:

- Protect and enhance local connectivity.
- Minimise severance between neighbourhoods.
- Support access to employment and services.
- Strengthen public transport and active transport integration.

Partnership with State agencies, education providers, service organisations, Aboriginal community representatives and local businesses will be essential to delivering the vision of this Plan.

Monitoring and review

The Clarence Plains Plan 2026 is a living strategic framework. Progress will be monitored through:

- Integration of actions and priorities into Council's corporate planning and reporting framework.
- Ongoing community engagement.
- Reviews of demographic, housing and infrastructure data.
- Alignment with the development and review of related Council strategies.

Five-year review

A formal review of the Plan should occur within five years of adoption, or earlier if significant structural or policy changes occur. This review will assess progress against the stated outcomes and determine whether strategic recalibration is required in response to demographic, infrastructure or policy change.

This approach will ensure the Plan remains responsive to changes while maintaining a clear and enduring long-term direction.





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ClarenceCityCouncil



CityofClarence

8.3 FINANCIAL MANAGEMENT

Nil Items.

8.4 GOVERNANCE**8.4.1 NO SPRAY REGISTER UPDATED POLICY 2026 – FOR ADOPTION****EXECUTIVE SUMMARY****PURPOSE**

To present the updated No Spray Register Policy 2026 for adoption.

RELATION TO EXISTING POLICY/PLANS

Council's Strategic Plan 2025–2035, Clarence Weed Strategy 2016–2030 and Nature Strip Guidelines 2023 are relevant.

LEGISLATIVE REQUIREMENTS

The *Agricultural and Veterinary Chemicals (Control of Use) Act 1995*, *Biosecurity Act 2019*, *Work Health and Safety Act 2012* and *Work Health and Safety Regulations 2022* are relevant. The Code of Practice for Spraying in Public Places (DPIPWE 2014) provides the minimum operational guidance for spraying in public places, including requests from property owners for Council not to spray adjoining public land.

CONSULTATION

The Policy review included consultation with relevant Council officers and a desktop review of neighbouring councils' no-spray policies and processes. The updated Policy was presented at the Councillor workshop on 27 July 2026.

FINANCIAL IMPLICATIONS

No additional budget allocation is proposed. The existing annual No Spray Register budget is used for advertising, markers and associated work orders and will continue to be reviewed each year. The updated verification process is expected to reduce administration associated with biennial renewal applications.

RECOMMENDATION:

That Council adopts the updated No Spray Register Policy 2026.

ASSOCIATED REPORT**1. BACKGROUND**

1.1. Following investigation and comparison with neighbouring councils, City of Clarence adopted a No Spray Register Policy in September 2020. The Policy has guided applications and the on-ground management of no-spray areas for the past five years and is now due for review.

1.2. The review commenced in early 2026 under Council's Policy Coordination Framework. It included an evaluation of the No Spray Register Policy's effectiveness and operation, consultation with relevant Council teams and a desktop review of neighbouring councils' approaches.

1.3. The review found the No Spray Register Policy remains relevant and is meeting its intended purpose. As at 2025, 144 properties were included on the Register, including 49 applications accepted during the 2025 intake.

2. REPORT IN DETAIL

2.1. The updated No Spray Register Policy (the updated Policy) retains the existing purpose and scope. It continues to allow property owners and residents to request that Council does not use herbicides on the Council-maintained road reservation directly adjoining their property, provided they take responsibility for managing weeds and vegetation in accordance with the updated Policy.

2.2. The main changes proposed to the updated Policy are:

- Extending the application period from one month to two months, from 1 June to 31 July each year.
- Remove the requirement for a two-year renewal application to be submitted, but replace with a verification process that confirms if an applicant:
 - no longer owns the property
 - no longer wants to be on the Register; or
 - has not met the guidelines for maintaining a No Spray Area under the Policy and need to be removed from the Register.
- Updates to legislation, guidelines, Council's Strategic Plan etc.

2.3. Replacing biennial renewal applications with a verification process will reduce unnecessary administration while still allowing Council to confirm registered properties remain eligible and are meeting their maintenance obligations.

- 2.4.** A review of Glenorchy, Hobart, Huon Valley, Kingborough, Sorell and Tasman Councils found that approaches vary, but there are common principles for defining no-spray areas and managing applications. The proposed changes bring City of Clarence's approach more closely into line with neighbouring councils, particularly the use of a two-month application period and an ongoing registration model supported by verification.

3. CONSULTATION

3.1. Community Consultation Undertaken

The review included input from City of Clarence's Customer Contact Team Leader, Manager Operations, Works Manager Civil Infrastructure, Weeds Planning Officer and Environment and Biodiversity team. Feedback covered the application and renewal process, register administration, communication with operational staff and contractors, and the marking and maintenance of no-spray areas.

3.2. State/Local Government Protocol

Nil.

3.3. Other

A desktop review was undertaken of the no-spray policies and processes used by neighbouring councils.

An internal review involving various council officers was undertaken. Feedback covered the application and renewal process, register administration, communication with operational staff and contractors, and the marking and maintenance of no-spray areas.

A Councillor workshop was undertaken on 27 July 2026 to present a draft of the updated Policy and seek feedback.

3.4. Further Community Consultation

No further community consultation is proposed. The updated Policy retains the existing purpose and scope and primarily improves the administration and ongoing management of the Register. Residents will continue to be notified of the annual application period through Council's website and other appropriate channels.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

The updated Policy aligns with the following Strategic Outcomes within Council's Strategic Plan 2025–2035:

"1.4 Effective policy and planning – Council develops, delivers and monitors policies, strategies and initiatives that are evidence-based and aligned with Clarence's long-term vision.

2.1 Responsible stewardship – Environmental sustainability and responsible management of Council assets guide decision-making and support long-term resilience.

2.4 Sustainable asset management and investment – Proactive maintenance, renewal and optimisation of existing assets support liveability, protect the community and enable sustainable growth over the long term".

5. EXTERNAL IMPACTS

The updated Policy provides residents with a clearer and less burdensome process for remaining on the Register, while maintaining their existing responsibility to manage weeds and vegetation on the adjoining road reservation. Extending the application period will also provide residents with more time to apply.

6. RISK AND LEGAL IMPLICATIONS

The updated Policy is consistent with the Code of Practice for Spraying in Public Places (DPIPWE 2014), which provides that a property owner asking Council not to spray adjoining public land must prepare an acceptable plan for managing the issue and carry it out in a timely manner. Council may resume maintenance, including chemical control where necessary, if the area is not managed satisfactorily.

Maintaining an accurate Register and communicating it effectively to staff and contractors are important operational controls. The proposed verification process will help reduce the risk of outdated registrations, unmanaged weeds and accidental spraying within approved no-spray areas. Council retains the ability to use herbicides where required to meet statutory weed management, road safety or other operational responsibilities.

7. FINANCIAL IMPLICATIONS

There are no immediate additional financial implications arising from adoption of the updated Policy. The current annual budget of \$1,410 supports advertising, installation and replacement of markers and associated work orders. The adequacy of this budget will continue to be assessed each year as the number of registered properties changes.

The updated verification process is expected to reduce staff time associated with issuing reminders, processing biennial renewal forms and following up applicants who do not respond during the application period.

8. ANY OTHER UNIQUE ISSUES

Nil.

9. CONCLUSION

The No Spray Register Policy continues to provide a practical framework for residents who do not want herbicides used on Council's road reservation adjoining their property and are prepared to take responsibility for managing that area.

The proposed updates simplify the application and renewal arrangements, strengthen the ongoing verification and administration of the Register, and update operational, legislative and strategic references in the No Spray Register Policy. Adoption of the updated Policy will provide a clearer and more efficient framework for residents, staff and contractors.

Attachments: 1. No Spray Register Policy 2026 (6)

Ross Graham

HEAD OF INFRASTRUCTURE AND NATURAL ASSETS

NO SPRAY REGISTER POLICY

(COUNCIL POLICY)

1. PURPOSE

The purpose of this policy is to provide the framework for Clarence City Council's No Spray Register whereby property owners and residents may apply to council to request that weeds and vegetation on council road reservations adjacent to their property not be sprayed with chemical herbicides.

2. SCOPE

This Policy covers council-maintained road reservations and property frontages that are subject to council-managed weed and vegetation management programs.

3. DEFINITIONS

The following definitions apply to this policy:

Council	means the Clarence City Council.
Herbicide	means a registered pesticide, usually chemical, designed to kill or inhibit the growth of undesirable plants.
Property Frontage	means for the purpose of this Policy, the area of road reservation that abuts the private property subject to the application.
Road reservation	means for the purposes of this Policy, the nature strip (urban areas) and road verge (rural and semi-rural areas).
Register	means the No Spray Register developed by council.

4. POLICY STATEMENT

This policy provides the framework for council to manage requests under s2.26 of the *Code of Practice for Spraying in Public Places* (DPIPWE 2014) which details how property owners who request the council to desist from spraying in front of their properties must prepare a proposed weed control plan detailing how they intend to control the problem themselves.

5. RELATIONSHIP TO COUNCIL STRATEGIC PLAN

The following strategic outcomes are identified in Council's Strategic Plan 2025 – 2035:

- 1.4 Effective policy and planning – Council develops and delivers policies, strategies and initiatives that are evidence-based, community informed and aligned with Clarence's long-term vision.
- 2.1 Responsible stewardship – Environmental sustainability underpins decisions, supported by partnerships and shared action that ensure transparency, accountability and long-term resilience.
- 2.4 Sustainable asset management and investment - Proactive maintenance, renewal and optimisation of existing assets, alongside investment in climate ready and resilient infrastructure and services that protect the community, support liveability and enable sustainable growth over the long-term.

6. RELATED DOCUMENTS

The legislation and documents listed below form the framework to give effect to this policy:

LEGISLATIVE (ACTS, REGULATIONS AND STANDARDS)

- *Code of Practice for Spraying in Public Places* (DPIPWE 2014)

Biosecurity Act 2019 and Biosecurity Regulations 2022

- *Work Health and Safety Act 2012*

AS 17432.3 : 2019 - Manual of uniform traffic control devices Part 3: Traffic control for works on roads in conjunction with Austroads Guide to Temporary Traffic Management

COUNCIL POLICY, PLANS, PROCEDURES AND GUIDELINES

- *Clarence Weed Strategy 2016 – 2030*
- *Nature Strip Guidelines* (CCC 2023)
- *Rural Verge Mowing Program*

7. POLICY REQUIREMENTS

The purpose of this policy will be achieved through implementation of a No Spray Register and application process outlined below.

APPLICATION PROCESS

Applications for inclusion on the Register will be advertised annually and promoted on council's website and by any other identified suitable means.

Application period to be open for two months (1 June to 31 July) each calendar year..

The application form and guidelines will set council's duties and the duties of a property owner or occupier in ensuring their obligations are met under the No Spray Register Policy.

APPLICATION GUIDELINES

- The No Spray Register applies to property frontages of Council owned road reservations.
- A person may only apply for inclusion on the register in respect of land they own, or at which they reside.
- Tenants of a property or residents of a strata property must provide written confirmation from the landlord or body corporate in support of any application.
- Property owners or residents who request the council to desist from spraying in front of their properties on council-maintained land must prepare a plan detailing how they will control the weeds and manage the vegetation.
 - The plan must be approved by council and carried out in a timely manner by the property owner / resident.
 - If the area is not maintained in accordance with the approved plan, council may resume responsibility for the maintenance of the land, including the use of chemical herbicides.

ASSESSMENT OF APPLICATIONS

Council assessment of an application will include the following criteria:

- How council vegetation management activities that include spraying relate to the property.
- Whether the property owner / resident is able to safely undertake the required weed management activities.
- The assessed effectiveness of the alternative method for the control of weeds.
- Previous adherence to No Spray Register conditions.

Applicants will be notified in writing of the outcome of their application.

INCLUSION ON NO SPRAY REGISTER

Where an application is approved, the identified property frontage will be included on the No Spray Register. The property will remain on the Register until the property is no longer owned by the applicant, the applicant no longer wants to be on the Register; or if there is a breach of the agreement and the acceptance onto the Register is revoked. .

NO SPRAY REGISTER

- The Register will be maintained in an appropriate form, detailing the property frontage and area to be excluded from herbicide spraying; the date of issue and other details pertaining to the no spray area.
- The details will be included in a 'No Spray Register' layer within council's GIS system.
- Tenders and contracts for the spraying of road reservations will be required to acknowledge no spray zones and properties listed on the Register.
- Council staff and contractors are to be made aware of and adhere to the Register as far as is reasonably practicable.

MARKING OF NO SPRAY AREAS

- On rural roadsides approved no spray areas will be marked by two orange markers (one at each end of area) at a height of 900mm above natural ground level and in line with property boundary.
- On urban roadsides approved no spray areas will be marked by two orange markers (one at each end of area) on the top of the kerb and gutter.

EXEMPTIONS

Council reserves the right to, within the relevant area subject to a 'No Spray Register' application:

- apply herbicides in circumstances where it has a responsibility to manage roadside vegetation e.g. declared weed management under the *Biosecurity Act 2019*.
- apply herbicides in circumstances where it has a responsibility to maintain roadways and road furniture within 3 metres of the road edge and around power poles in semi-rural and rural areas for road safety.
- reject an application due to speed limit and associated risk management concerns of working on roadsides.
- reject any application on grounds that it is not within the overall interest of council to include the area in the No Spray Register.

8. IMPLEMENTATION AND COMMUNICATION

The Manager Environment, Recreation and Facilities and Operations Manager are responsible for the implementation of this Policy.

This policy will be communicated via:

- council's website
- internal circulation to staff.

9. REPORTING

Not applicable.

10. ADMINISTRATIVE ARRANGEMENTS

TABLE OF AMENDMENTS

No.	Date	Brief Details

APPROVAL

COUNCIL APPROVAL DATE	
REVIEW	Every 5 years
RESPONSIBLE POSITION	Manager Environment, Recreation and Facilities
ECM REFERENCE	5970413

9. MOTIONS ON NOTICE**9.1 NOTICE OF MOTION – COUNCILLOR MULDER
REPAIR OR REPLACEMENT OF BEACH ACCESS STAIRS AT WEST END OF
BELLERIVE BEACH**

In accordance with Notice given, Councillor Mulder intends to move the following Motion:

“That Council expedites the redevelopment of the steps and handrail access to the western end of Bellerive Beach”.

EXPLANATORY NOTES

1. The current steps at the western end of Bellerive Beach are non-compliant and the handrail does not extend to the sand.
2. I was recently approached by a resident who fell after passing the end of the rail. Injuries were not serious but could have been.
3. Access to the western end of Bellerive Beach is a T1 priority (highest) under Council’s adopted Coastal Access Strategy (adopted December 2025) but is unfunded in 2026. Estimated cost (\$50k).
4. The original request was to replace or extend the handrail (\$10k) but that would not address the non-compliance of the steps and would require removal when the access strategy is implemented, ie wasted money.
5. The motion does not seek to vary the Coastal Access Strategy, merely expedite part of an existing high priority for safety reasons.

**T Mulder
COUNCILLOR**

CHIEF EXECUTIVE OFFICER’S COMMENT

Council does not have any record of a reported incident at this location since 2019.

In relation to the T1 priority within the Coastal Access Strategy this classification is not about priority of delivery but rather a guide for accessibility provisions. We note the stairs are situated on Crown Land and the provision of accessibility to the beach is provided on Council’s land to the East where the beach is more accessible.

Due to our extensive coastal and estuarine location, Council manages a significant network of beach and coastal access structures, ranging from timber stairs and concrete ramps/steps to natural pathways. Many of these assets sit on Crown land and predate modern accessibility, structural, and environmental standards. On Roches Beach in Lauderdale alone, Council maintains over 25 individual timber staircases. To address this, council officers have prioritised an engineering assessment of all beach points along Roches Beach for this financial year.

Given the above, and to ensure equitable and defensible decision-making, this engineering assessment should be expanded city wide. A comprehensive audit will enable officers to prioritise the allocation of the coastal infrastructure renewal budget, rationalise access points where appropriate and evaluate if current access points are still suitable for safe access (or if there are better sites available).

While this motion identifies one site that could be assessed for a new access point, council officers would prefer Council to fund a broader ranging audit of all access points in order to provide a rigorous, strategic approach to renewal prioritisation of these aging assets.

Officers will seek further information on a scope of work to audit beach access points across the municipality and identify an estimated cost. Officers can provide advice to Council on the funding required and any opportunities for this audit to be undertaken in the current financial year.

**9.2 NOTICE OF MOTION – COUNCILLOR GOYNE
LOCAL BUSINESS PARTICIPATION IN COUNCIL PROCUREMENT**

In accordance with Notice given, Councillor Goyne intends to move the following Motion:

“That Council request the Chief Executive Officer:

- (a) to engage an independent external provider (to be agreed by Council) to undertake a review of barriers that may discourage or prevent local businesses from participating in Council tenders and contracts, including regulatory, administrative, financial and procedural requirements.
- (b) The review is to include consultation with local businesses, relevant industry representatives and Council staff, and provide recommendations to improve accessibility and participation while maintaining appropriate standards of probity, risk management and value for money.

A report on the findings and recommendations is to be presented to Council within this financial year”.

EXPLANATORY NOTES

Local businesses play a vital role in the Clarence economy, creating jobs, supporting investment and strengthening the community.

Feedback from local operators suggests that some Council procurement requirements may unintentionally limit participation through complexity, compliance obligations or other practical barriers. An independent review would provide an objective assessment of these issues and identify opportunities to improve access to Council procurement, increase competition and support local economic activity while maintaining sound governance, probity and risk management standards.

E Goyne
COUNCILLOR

CHIEF EXECUTIVE OFFICER’S COMMENT

There is insufficient information provided in the Notice of Motion to determine whether Council's procurement practices are creating barriers to participation by local businesses, the extent of any such barriers, or whether they arise from Council requirements rather than legislative or regulatory obligations.

Council is already undertaking a review of its Code for Contracts and Tenders and Procurement Procedure, including consideration of Local Buy/Local Benefits. It would be appropriate for that review to be completed and its findings considered before any further internal or external review is considered. Given the governance, risk and probity aspects of procurement, if an external review is required, it would be more appropriately considered through the Audit Panel.

10. COUNCILLORS' QUESTION TIME

A Councillor may ask a question with or without notice at Council Meetings. No debate is permitted on any questions or answers.

10.1 QUESTIONS ON NOTICE

(Seven days before an ordinary Meeting, a Councillor may give written notice to the Chief Executive Officer of a question in respect of which the Councillor seeks an answer at the meeting).

Nil

10.2 ANSWERS TO QUESTIONS ON NOTICE

Nil

10.3 ANSWERS TO QUESTIONS WITHOUT NOTICE – PREVIOUS COUNCIL MEETING

Cr Hulme

What is council's role, if any, in stopping the spread of avian influenza?

ANSWER

(CEO) Council's role at this point in time is fairly limited, we are monitoring advice coming out of various governments and we have started some business continuity planning from an environmental health and a work processes point of view but that's really it at this time. For example, if we were called upon to remove birds from a beach, we need to have an appropriate and safe protocol in place to do that, so we are working on those sort of issues at the moment.

(Mayor) The State Minister for Agriculture, the Hon Gavin Pearce MP, emailed all Mayors. I forwarded that onto all colleagues as well about what action the State Government is taking, and I believe from memory there is a hotline as well for people to report bird deaths that seem somewhat suspicious.

2. In response to questions asked at a council meeting in December 2022, officers advised that they were working on a Sealing Gravel Roads Strategy. Has that strategy been developed and where is it available if it has?

ANSWER

(Head of Infrastructure and Natural Assets) We haven't completed that strategy. Officers are still working on that and prioritising what we need to do for council. We have not forgotten about it. I will provide an update to council on potential likely timing of that strategy.

(Further information) In relation to strategy work, Council's roads engineering team is focusing on the implementation of Speed Limit Reductions. Officers will provide a detailed update via a Weekly Briefing Report.

Cr James

1. Could I have an update on the LED billboard at 20 Loinah Crescent, Montagu Bay. It says in the Weekly Briefing Report that briefings were held across Easter awaiting decision of the court, likely this year. What seems to be dragging it out? Is there any reason why this seems to be in abeyance?

ANSWER

(Head of City Planning) We are awaiting a decision of the Court. I cannot control how long the Court takes. I understand they are quite backed up, we are hoping for a decision this year, but I cannot promise that.

2. I put forward a notice of motion earlier this year in relation to a footpath from Rosny College through to the traffic lights at Rosny Hill Road and Kangaroo Bay Drive. The report was fairly open in that it didn't call for a timeline for when it would be provided, so my question is, when will we be able to expect an answer to that, hopefully before the election?

ANSWER

Taken on notice.

(Further information) The proposed shared pathway linking Rosny College to the traffic lights at the intersection of Kangaroo Bay Drive and Rosny Hill Road is within the City Heart Plan. The Plan outlines several potential future opportunities for the Rosny College/Charles Hand Park and Kangaroo Bay Oval. Officers are currently developing the City Heart Implementation Plan which will be brought to the new council for consideration. Following consideration of the Implementation Plan, officers will be in a position to report on the feasibility of the pathway.

Cr Walker

1. In relation to the tip voucher scheme, what I am hoping I can get a response to the costs including the online platform subscription, disposal at Mornington, marketing, tablet, mail out and scanner costs. So, if you like, the gross cost to council excluding staff time. If you can give me what that number is divided by the actual number of loads through this time we claimed the vouchers so that we can have an understanding of what effectively the cost per load ended up being?

ANSWER

Taken on Notice.

(Further information) The program cost \$175,840, with 6,251 vouchers redeemed, equating to a load cost of \$28.13 per voucher used.

2. Could I be furnished with the cost of the engineering department for the [financial] years [ending] 2021 and 2026 including the number of staff and the total budget cost and the same for the communication team for the full [financial] year ending 2021 and 2026 - head count and total budget expenditure?

ANSWER

Taken on Notice.

(Further information) The following costs and staffing numbers (FTE) are provided for each group:

Department	FTE	\$
Strategic Development, Communication and Engagement and Customer Service		
2020/21	12.39	1,168,699
2025/26	19.5	2,261,933
Infrastructure & Natural Assets (excluding Operations)		
2020/21	37	3,634,147
2025/26	57	6,612,541

Cr Goyne

1. Can council advise whether there are any plans to upgrade the informal horse parking area at the rifle range end of Mortimer? The current carpark is not fit for purpose for horse riders and float users, in particular the gateway is too narrow for safe and efficient access for vehicles towing horse floats and the surface conditions are exceptionally boggy at the moment creating a significant risk for vehicles with heavy horse floats.

ANSWER

Taken on Notice.

(Further information) There are multiple land owners at this location. Council officers need to undertake an inspection of the area and understand how the land is used. Officers will review this matter and update Councillors through a Weekly Briefing Report.

2. A recent road safety audit required the installation of an extra energy absorbing bollard in the footpath adjacent to the Cripps Bakehouse at 1 Percy Street, Bellerive to protect outdoor diners. Has the council assessed whether the existing bollards at the upgraded Percy street intersection have experienced significant vehicle impacts or damage since the intersection upgrades and if so, what were the findings?

ANSWER

Taken on Notice.

(Further information) A post-implementation road safety audit was completed in early 2024 as part of the Percy Street Stormwater Upgrade and Pedestrian Improvement project. The audit did not make any findings in relation to the bollards used around the Percy Street / Cambridge Road intersection. However, the road safety audit did recommend the installation of an additional energy absorbing bollard if outdoor dining were to occur outside Cripps Bakehouse.

In relation to damage to bollards at this location, our work order records indicate the following bollard repairs:

Year	Number of Bollards Repaired
2022	1
Intersection upgrade completed, December 2023	
2025	3
2026	1

Cr Warren

I would like to congratulate the council officers on the native garden at the front of chambers replacing the annuals. Do we have any costings available on maintenance in future and whether there is a similar saving in maintenance for the project we voted on in the recent budget to replace the cottage garden at the Schoolhouse with a similar native garden.

ANSWER

(Head of Community and Culture) At this point we do not have an indication of savings, but when we are at a point in time when that project is complete we can provide that information.

10.4 QUESTIONS WITHOUT NOTICE

A Councillor may ask a Question without Notice of the Chairman or another Councillor or the Chief Executive Officer. Note: the Chairman may refuse to accept a Question without Notice if it does not relate to the activities of the Council. A person who is asked a Question without Notice may decline to answer the question.

Questions without notice and their answers will be recorded in the following Agenda.

The Chairman may refuse to accept a question if it does not relate to Council's activities.

The Chairman may require a question without notice to be put in writing. The Chairman, a Councillor or the Chief Executive Officer may decline to answer a question without notice.

11. CLOSED MEETING

Regulation 17 of the Local Government (Meetings Procedures) Regulations 2025 provides that Council may consider certain sensitive matters in Closed Meeting.

The following matters have been listed in the Closed Meeting section of the Council Agenda in accordance with Regulation 17 of the Local Government (Meeting Procedures) Regulations 2025.

11.1 APPLICATIONS FOR LEAVE OF ABSENCE

11.2 CONTRACTUAL MATTER

11.3 PROPERTY MATTER - ROSNY

11.4 PERSONNEL MATTER

These reports have been listed in the Closed Meeting section of the Council agenda in accordance with Regulation 17 of the Local Government (Meeting Procedures) Regulation 2025 as the detail covered in the report relates to:

- personnel matters;
- information that, if disclosed, is likely to confer a commercial advantage or impose a commercial disadvantage on a person with whom the council is conducting, or proposes to conduct, business;
- contracts and tenders for the supply of goods and services; and
- applications by Councillors for a Leave of Absence.

Note: The decision to move into Closed Meeting requires an absolute majority of Council.

The content of reports and details of the Council decisions in respect to items listed in “Closed Meeting” are to be kept “confidential” and are not to be communicated, reproduced or published unless authorised by the Council.

PROCEDURAL MOTION

“That the Meeting be closed to the public to consider Regulation 17 matters, and that members of the public be required to leave the meeting room”.