



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/061851

PROPOSAL: Dwelling

LOCATION: 6 Bellis Street, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 16/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 16/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 16/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **New Residence**

Location: **Lot 37 Tasman Rise, Rokeby**

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

N/A

Current use of site:

Vacant Lot

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☒ Details of the location of the proposed use or development.
- ☒ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☒ Full description of the proposed use or development.
 - ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☒ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☒ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☒ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.
- ☒ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
 - Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
 - Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☒ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 189872	FOLIO 37
EDITION 1	DATE OF ISSUE 01-Apr-2026

SEARCH DATE : 08-Apr-2026

SEARCH TIME : 08.43 am

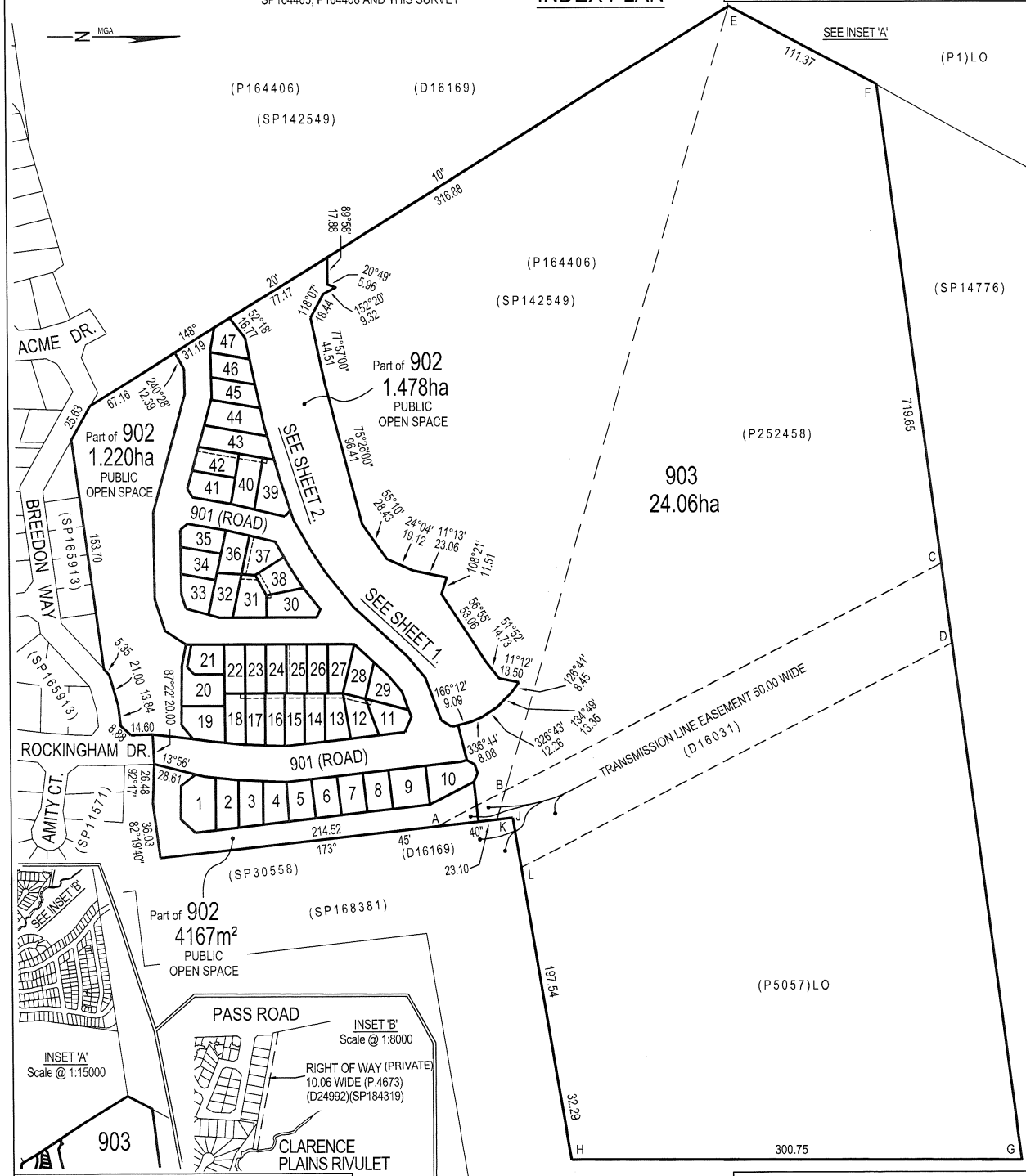
DESCRIPTION OF LAND

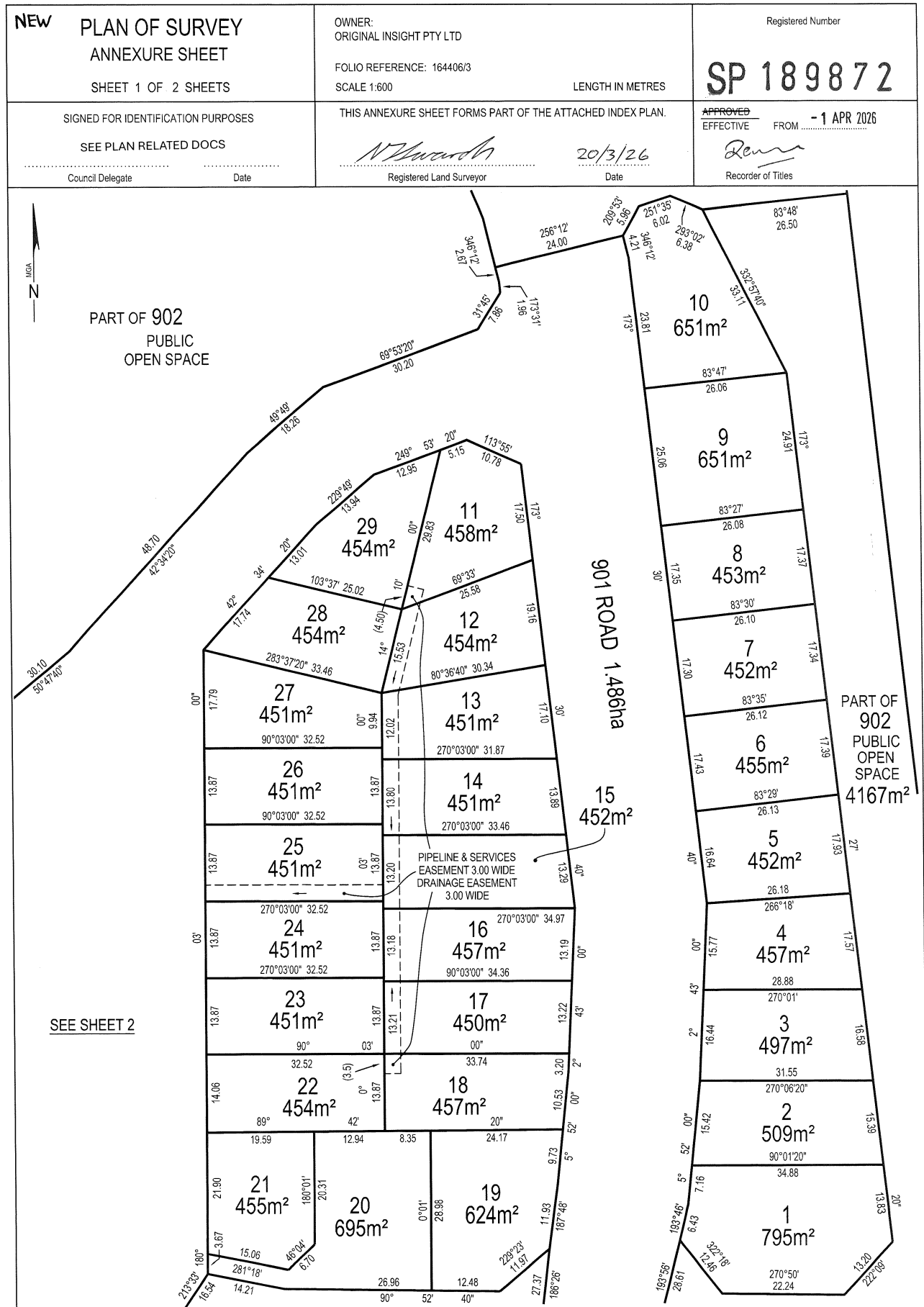
City of CLARENCE

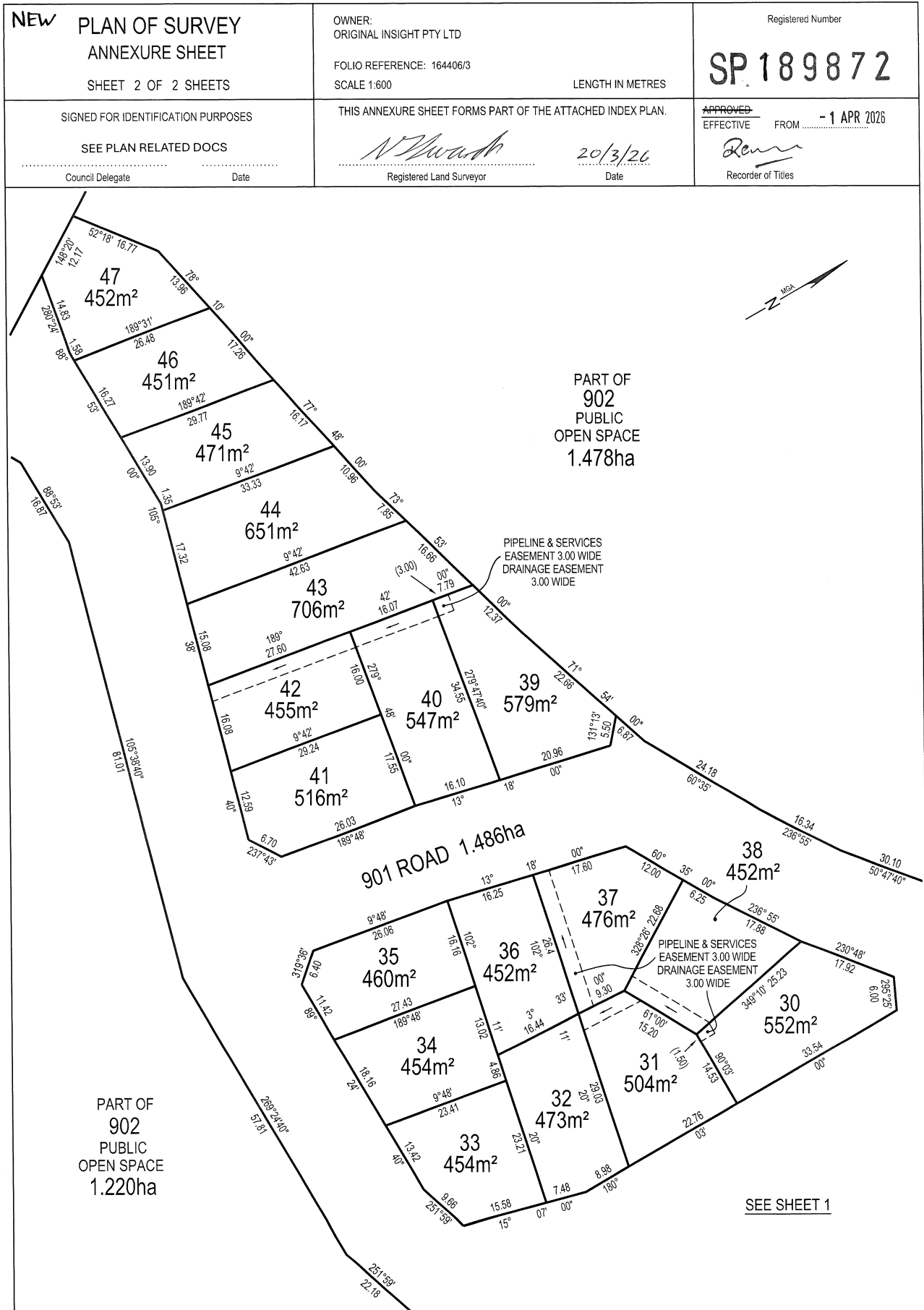
Lot 37 on Sealed Plan [189872](#)Derivation : Part of Lot 37617 (56.81ha) Gtd. to The
Director-General of Housing & ConstructionPrior CT [164406/3](#)SCHEDULE 1[M926006](#) TRANSFER to ORIGINAL INSIGHT PTY LTD Registered
19-Dec-2021 at 12.01 pmSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP189872](#) EASEMENTS in Schedule of Easements[SP189872](#) COVENANTS in Schedule of Easements[SP189872](#) FENCING COVENANT in Schedule of Easements[SP142549](#) COVENANTS in Schedule of Easements[SP142549](#) FENCING COVENANT in Schedule of Easements[SP142549](#) WATER SUPPLY RESTRICTION[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION[N194698](#) MORTGAGE to Manda Capital Holdings Pty Ltd
Registered 21-June-2024 at 12.01 pm[N280782](#) MORTGAGE to RCCC Civil Contracting Pty Ltd
Registered 11-Oct-2025 at noon[E380291](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
01-Apr-2026 at noonUNREGISTERED DEALINGS AND NOTATIONS[N104005](#) CAVEAT by Manda Capital Holdings Pty Ltd Lodged by
PAGE SEAGER [Merged] on 16-Dec-2025 BP: N104005

OWNER: ORIGINAL INSIGHT PTY LTD FOLIO REFERENCE: 164406/3 GRANTEE: Part of Lot 37617 (56.81ha) and Part of Lot 37843, (18.21ha) Gtd to The Director-General of Housing & Construction	NEW PLAN OF SURVEY BY SURVEYOR: N. J. SWARDS of LEARY COX & CRIPPS SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com LOCATION: City of CLARENCE SCALE 1: 2500 LENGTHS IN METRES	Registered Number SP 189872 APPROVED EFFECTIVE FROM - 1 APR 2026  Recorder of Titles			
PRIORITY FINAL PLAN LOTS 902 & 903 HAVE BEEN COMPILED FROM SP164405, P164406 AND THIS SURVEY <u>INDEX PLAN</u> ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN					
					
<table style="width: 100%;"> <tr> <td style="width: 35%;"> <i>N. J. Swards</i> Registered Land Surveyor </td> <td style="width: 35%;"> 20/3/26 Date </td> <td style="width: 30%;"> SEE PLAN RELATED DOCS Council Delegate Date </td> </tr> </table>			<i>N. J. Swards</i> Registered Land Surveyor	20/3/26 Date	SEE PLAN RELATED DOCS Council Delegate Date
<i>N. J. Swards</i> Registered Land Surveyor	20/3/26 Date	SEE PLAN RELATED DOCS Council Delegate Date			





ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 4 PAGES	Registered Number SP 142549
SUBDIVIDER: Ann Candida Baker and Robert Duncan Drewe FOLIO REFERENCE: 252324/1 and 252458/1	

COVENANTS

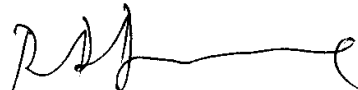
The Owner of each Lot covenants with ROBERT DUNCAN DREWE and ANN CANDIDA BAKER and the Owner or Owners for the time being of every other Lot shown on the plan to the intent that the burden of these covenants may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation;
2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation;
3. Not to use the land for any purpose except as a residence or for the purpose of house occupation without the prior consent of the Corporation in writing.
4. Not to use any engine or machinery in any trade or business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
- 5.. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

FENCING COVENANT

In respect of each Lot shown on the plan, the Vendor ROBERT DUNCAN DREWE and ANN CANDIDA BAKER shall not be required to fence.

Signed by the Vendor


Robert Duncan Drewe


Ann Candida Baker

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP142549
SUBDIVIDER: Ann Candida Baker and Robert Duncan Drewe FOLIO REFERENCE: 252324/1 and 252458/1	

INTERPRETATION

"right of way over the Right of Way (Private) 10.06 metres wide" means the right and liberty for Reginald Chipman the owner of the said land within described his successors in title his and their executors administrators and assigns his and their servants and workmen and all other by his or their permission full right and liberty at all times by day or by night and for all purposes with or without horses carts carriages waggons and other vehicles laden or unladen to go pass and repass and to drive cattle sheep and other animals along over and upon all that strip of land marked A.B.C.D. on Diagram No. 24992 and shown as Right of Way (Private) 10.06 wide on the plan.

"right of carriageway over the Right of Way (Private) 6.00 metres wide" is defined in the Schedule 8 of the *Conveyancing Law and Property Act 1884*.

"Transmission Line Easement" means the full and free right and liberty for the Hydro Electric Commission and its successors and its and their servants agents and workmen at all times hereafter:

- (a) to clear the lands marked "Transmission Line Easement 50.00 wide on Diagram No. 16169 (the said lands being portion of the said land within described and being hereinafter called "the servient land") and to erect place inspect alter and repair renew maintain and use in upon and over and along and remove from the servient land towers poles wires cables apparatus appliances and other ancillary works (all of which are hereinafter collectively referred to as "the said lines") for the transmission and distribution of electrical energy and for purposes incidental thereto;
- (b) to cause or permit energy to flow or be transmitted through and along the said lines;
- (c) to cut away remove and keep clear of the said lines all trees and all other obstructions or erections of any nature whatsoever which may at any time overhang encroach or be in or on the servient land and which may in any way endanger or interfere with the proper operation of the said lines; and
- (d) to enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment machinery and vehicles of every kind.

"Corporation" means the Warden Councillors and Electors of the City of Clarence.

SEE OVER FOR EXECUTION

Signed by the Vendor

Robert Duncan Drewe

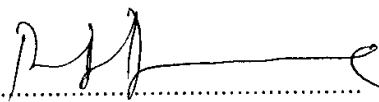
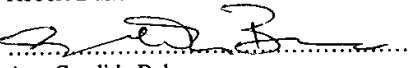
Ann Candida Baker

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 4 PAGES	Registered Number SP 142549
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EXECUTION

Signed by the Vendor)
 ROBERT DUNCAN DREWE and)
 ANN CANDIDA BAKER)
 in the presence of)


 Robert Duncan Drewe

 Ann Candida Baker

Witness Signature.....

Witness Name..... *Beverley Allison*

Witness Address..... *73 HIGHWAY RD. PRETTY BAY 2267*

Witness Occupation..... *PERFORMER / TEACHER*

Signed for an on behalf of)
 NATIONAL AUSTRALIA BANK)
 as mortgagee of Folios of the Register)
 Volume 252324 Folio 1 and)
 Volume 252458 Folio 1)
 by its authorised officer(s))
 in the presence of)

Witness Signature.....
 Witness Name.....
 Witness Address.....
 Witness Occupation.....

Executed by NATIONAL AUSTRALIA BANK LIMITED)
 by its Attorney Andrew Michael Downie under Power of)
 Attorney No. 67/0241 and amended by 71/5033 (who)
 states that he holds the office in the NATIONAL AUSTRALIA)
 BANK LIMITED indicated under his signature and who declares)
 he has received no notice of revocation of the said Power) in the)
 presence of:)


 Mobile Manager Manager



Jenny Doran, Bank Officer
 76 Liverpool Street, Hobart

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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189872

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

NEW EASEMENTS

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan ("the Easement Land").

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Clarence City Council over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan.

EXISTING EASEMENTS

Each Lot on the Plan (but excluding that part of Lot 903 marked "EFGHJK") is TOGETHER WITH a right of way over the area marked "RIGHT OF WAY, 10.06 WIDE" on the Plan more fully defined in SP142549. (PRIVATE)

Lots 902 & 903 are

~~Lot 902~~ on the Plan is SUBJECT TO a Transmission Line Easement (in favour of the Hydro Electric Commission) over that part of the Lot marked "TRANSMISSION LINE EASEMENT 50.00 WIDE" on the Plan and as created by and more fully set forth in SP142549.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786)	PLAN SEALED BY: Clarence City Council
FOLIO REF: Volume 164406 Folio 3	DATE: 3 MAR 2026
SOLICITOR	PPPLAN/PMTD -
& REFERENCE: Butler, McIntyre & Butler: 250343	REF NO. 2021/024236
	Stage 1-3
	Council Delegate
	Peter Wrenn - ACN 11061

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

EXISTING COVENANTS

Each Lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP142549.

FENCING COVENANT

The owner of each Lot on the Plan covenants with Original Insight Pty Ltd (ACN 168 660 786) ("the Vendor") that the Vendor shall not be required to fence.

DEFINITIONS

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

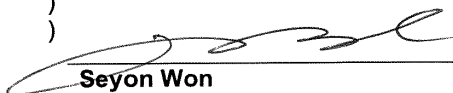
[Handwritten Signature]

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Original Insight Pty Ltd (ACN 168 660 786)**, the Registered Proprietor of the land contained in Certificate of Title Volume 164406 Folio 3 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:

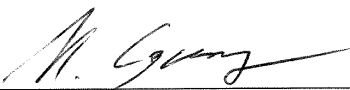
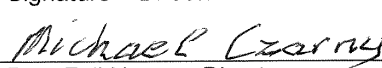

Seyon Won
 Sole Director and Company Secretary

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Manda Capital Holdings Pty Ltd (ACN 168 795 088)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N194698 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/Company Secretary*
 Print Full Name – Director/Company Secretary*
 *Delete whichever is inapplicable

30/03/26
 30/03/26

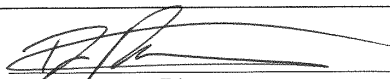
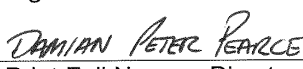
* STANLEY JOHN WALSH
 SOLICITOR FOR THE VENDOR

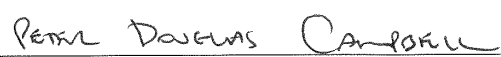
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **RCCC Civil Contracting Pty Ltd (ACN 097 095 611)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N280782 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/~~Company Secretary~~*

 Print Full Name – Director/~~Company Secretary~~*

*Delete whichever is inapplicable

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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PROPOSED NEW RESIDENCE

LOT 37 TASMAN RISE,

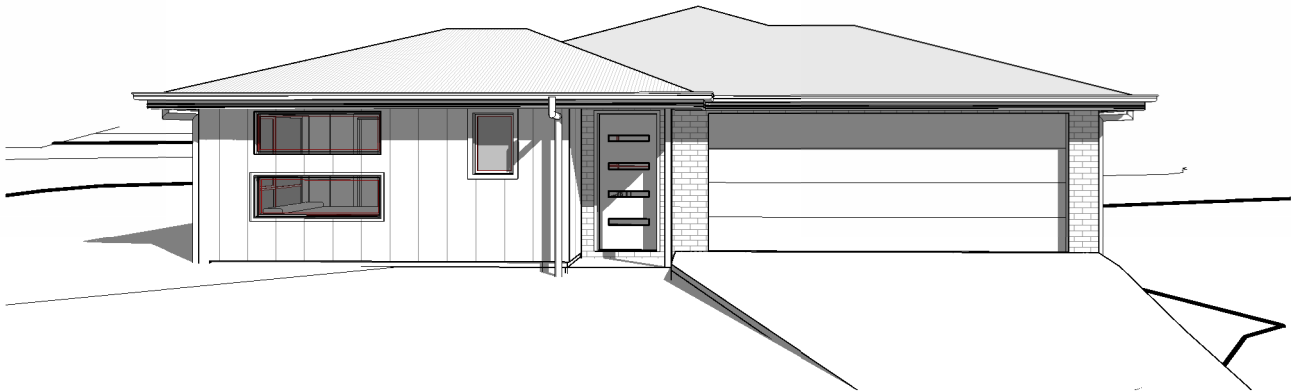
ROKEBY

ORIGINAL INSIGHT PTY. LTD.

PD26030

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	SHADOW DIAGRAMS
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN



THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

FLOOR AREA	120.58	m2	(12.98	SQUARES)
GARAGE AREA	38.51	m2	(4.14	SQUARES)
TOTAL AREA	159.08	m2	17.12	SQUARES

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 37/189872
SITE AREA: 476m²
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: P
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: N/A
BAL RATING: LOW
OTHER KNOWN HAZARDS: BUSHFIRE PRONE AREA,
AIRPORT OBSTACLE LIMITATION AREA



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info@primedesigntas.com.au
Accredited Building Practitioner:

bdqa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

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REV. DATE DESCRIPTION

AUGUST 2026
PLANNING



SETBACKS

REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

GARAGE IS LOCATED WITHIN 12m OF THE PRIMARY FRONTAGE, OPENING WIDTH IS 5.1m

SITE COVERAGE

BUILDING FOOTPRINT 161.81 /SITE AREA 467.00 = 0.346
TOTAL SITE COVERAGE 35%

PRIVATE OPEN SPACE

24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10

DRIVEWAY GRADIENT

MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890

CAR PARKING GRADIENT

PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEY NOTES:

THIS PLAN HAS BEEN PREPARED FOR KNEST FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.

THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.

THIS DATA IS ON A PLANE COORDINATE SYSTEM - DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE. THE COORDINATES HAVE AN MGA2020 ORIGIN AT SPM9529 (E:536564.131 N:5251746.728 RL:56.30)
THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA2020 COORDINATE SYSTEM IS 0.99960760 USING SPM9529 AS THE SCALE ORIGIN POINT.

BOUNDARIES ARE PROVISIONAL ONLY AND HAVE BEEN SUPPLIED BY LEARY, COX & CRIPPS SURVEYORS

CONTOUR INTERVAL: 200mm
DATUM: PLANE MGA BASED ON SPM9529

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 17.08.2026 Drafted by: I.J. Approved by:

Project/Drawing no: PD26030 - 01 Scale: 1 : 200 Revision: 04

Accredited building practitioner: Frank Gekus - No CC246A
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REV. DATE DESCRIPTION

Client name:
ORIGINAL INSIGHT PTY. LTD.

Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
SITE PLAN

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

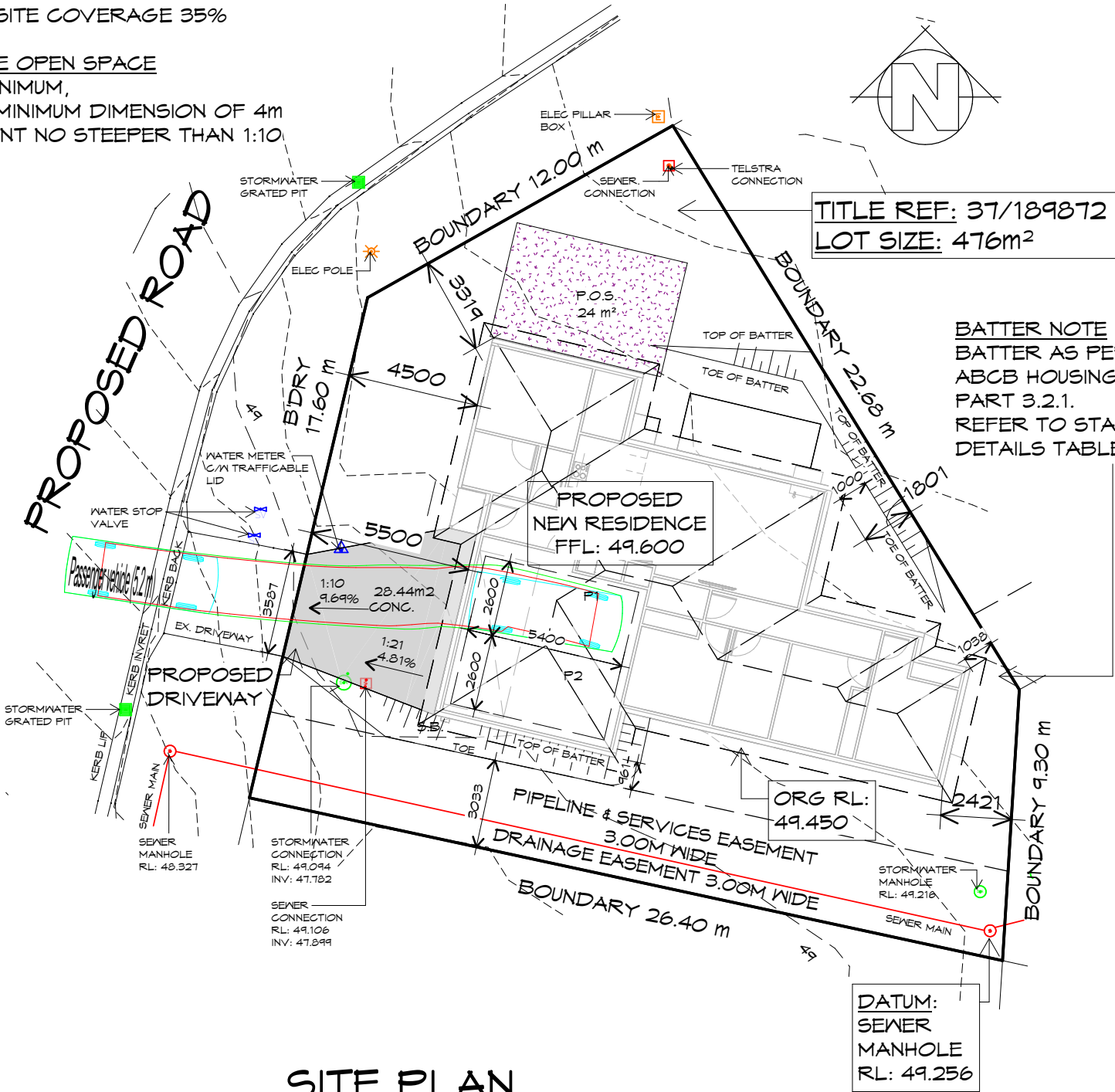
SITE PLAN

1 : 200

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.

SEWER MAIN SCALED FROM TasWater ASSET MAP



LEGEND

- GP

450X 450 SURFACE DRAINAGE PIT
- NET AREAS
- SEWER LINE
- STORMWATER LINE
- G.T.

150mm WIDE PROPRIETARY GRATED TRENCH

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:

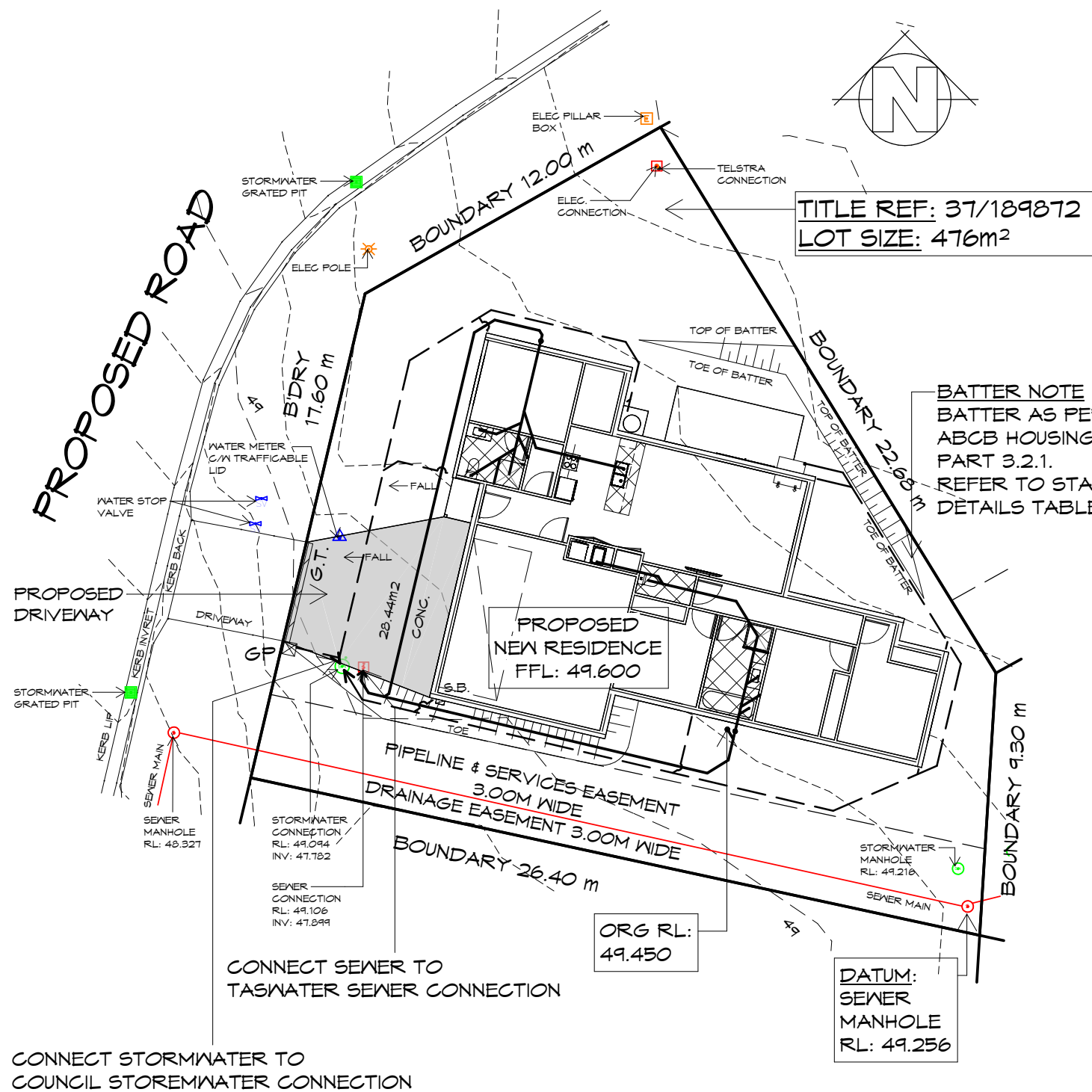
ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:

OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:

STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:

DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

- SEWER AND WATER SERVICES
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
 - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST



SITE DRAINAGE PLAN

1 : 200

SEWER MAIN SCALED FROM
TasWater ASSET MAP



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REV. DATE DESCRIPTION

Client name:
ORIGINAL INSIGHT PTY. LTD.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

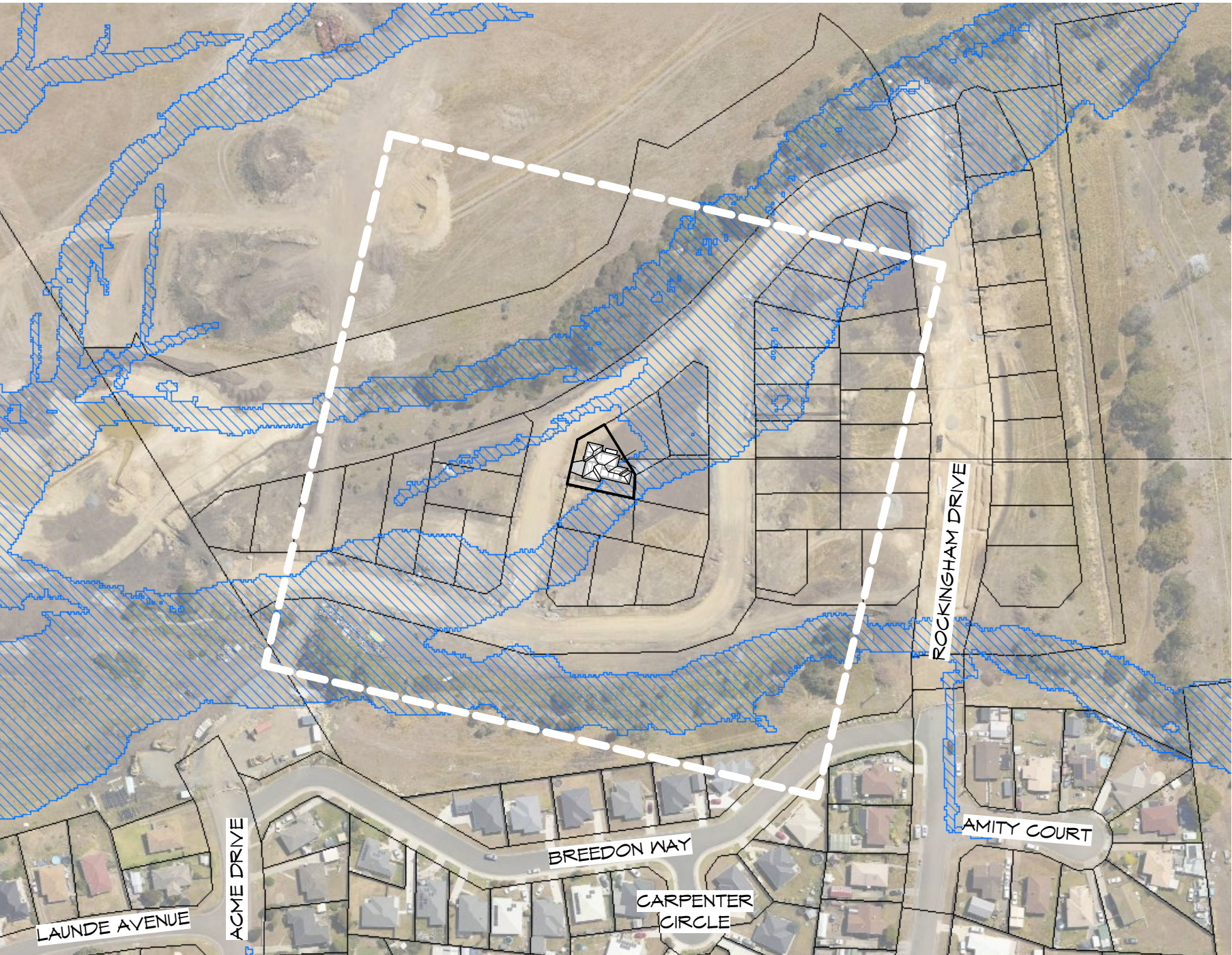
Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
SITE DRAINAGE PLAN

Date: 17.08.2026
Drafted by: I.J.
Approved by:

Project/Drawing no: PD26030 - 02
Scale: As indicated
Revision: 04

Accredited building practitioner: Frank Geskus -No CC246A
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LEGEND

 = FLOOD PRONE AREA

PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

LOCALITY PLAN

1 : 2000

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES A BUSHFIRE ASSESSMENT.**
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT FOR MANAGMENT PLAN BY BUSHFIRE PRONE DEVELOPMENT SOLUTIONS.



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Date: 17.08.2026
Drafted by: I.J.
Approved by:

Project/Drawing no: PD26030 - 03
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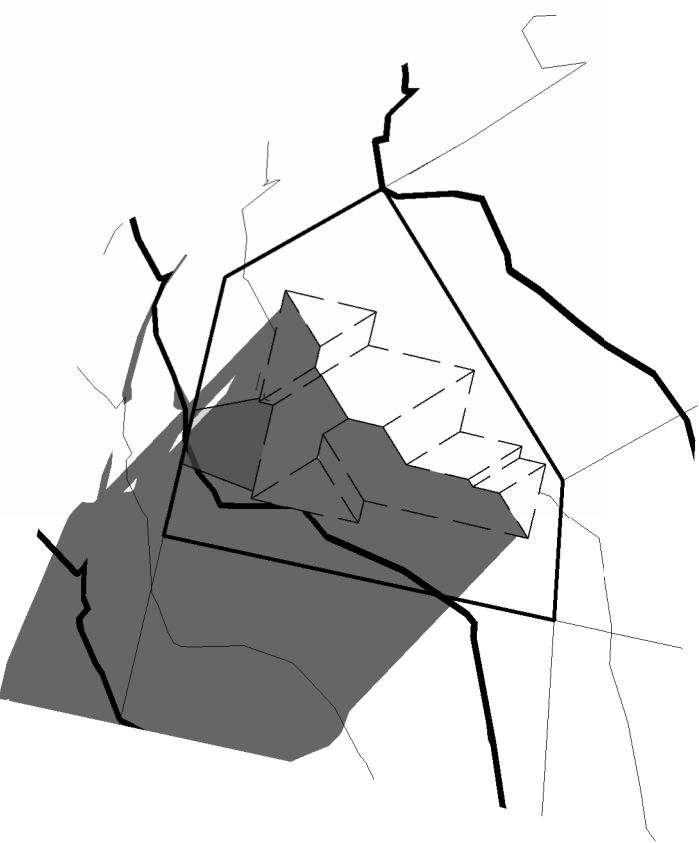
Client name:
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PLANNING

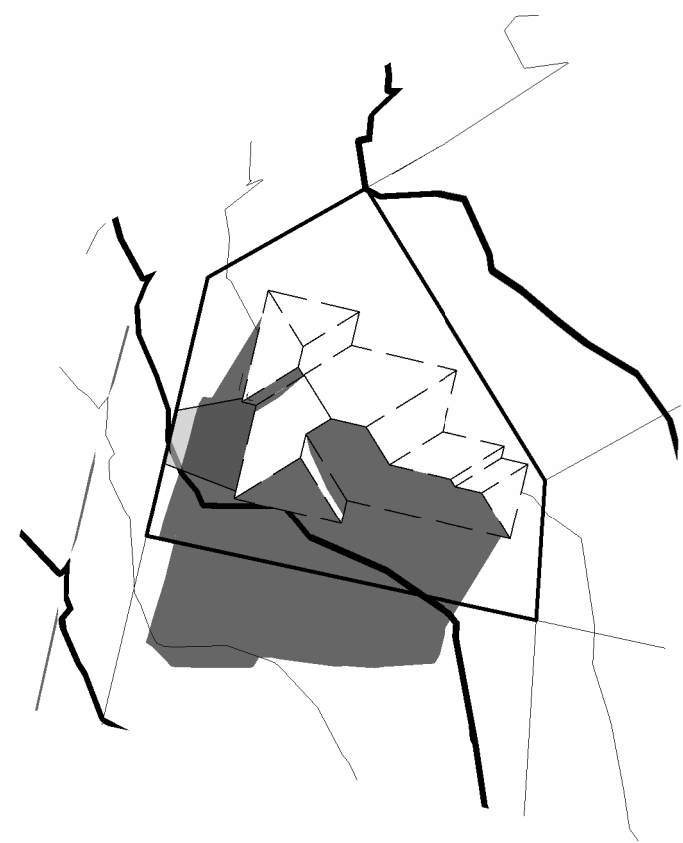
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
LOCALITY PLAN



SHADOW DIAGRAM 9AM
1 : 500



SHADOW DIAGRAM 10AM
1 : 500



SHADOW DIAGRAM 11AM
1 : 500



SHADOW DIAGRAM 12PM
1 : 500



SHADOW DIAGRAM 1PM
1 : 500



SHADOW DIAGRAM 2PM
1 : 500



SHADOW DIAGRAM 3PM
1 : 500



REV.	DATE	DESCRIPTION
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Client name:
ORIGINAL INSIGHT PTY. LTD.

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
SHADOW DIAGRAMS



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bdoo
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ASSOCIATION OF AUSTRALIA

Date: 17.08.2026	Drafted by: I.J.	Approved by:
Project/Drawing no: PD26030 - 04	Scale: 1 : 500	Revision: 04
Accredited building practitioner: Frank Gekus - No CC246A COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd		

SANITARY COMPARTMENTS
MAINTAIN A CLEAR SPACE OF AT LEAST
1.2m BETWEEN THE CLOSET PAN AND
NEAREST PART OF THE DOORWAY.
OTHERWISE ENSURE REMOVABLE
HINGES ARE INSTALLED TO SWING
DOORS TO COMPLY ABCB HOUSING
PROVISIONS PART 10.4

WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288.2021
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

FLOOR PLAN

1 : 100

FLOOR AREA	120.61 m ²	(12.98 SQUARES)
GARAGE AREA	38.46 m ²	(4.14 SQUARES)
TOTAL AREA	159.08 m ²	17.12 SQUARES

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF
BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED
SEPARATELY.



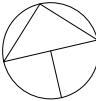
REV. DATE DESCRIPTION

Client name:
ORIGINAL INSIGHT PTY. LTD.

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
FLOOR PLAN



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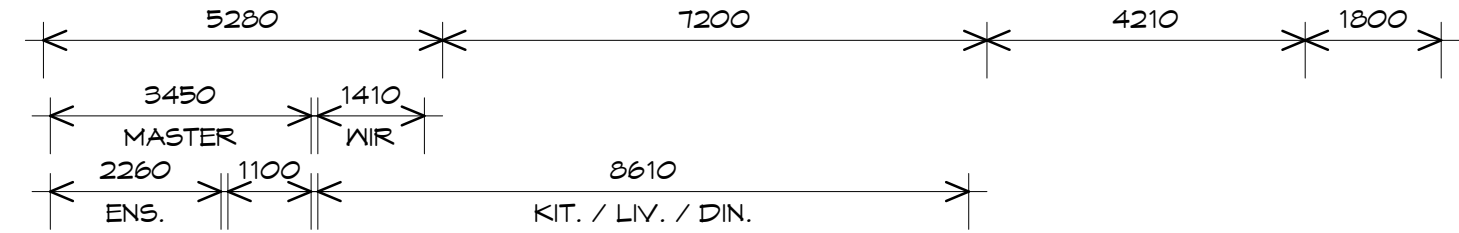
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Date: 17.08.2026 Drafted by: I.J. Approved by:

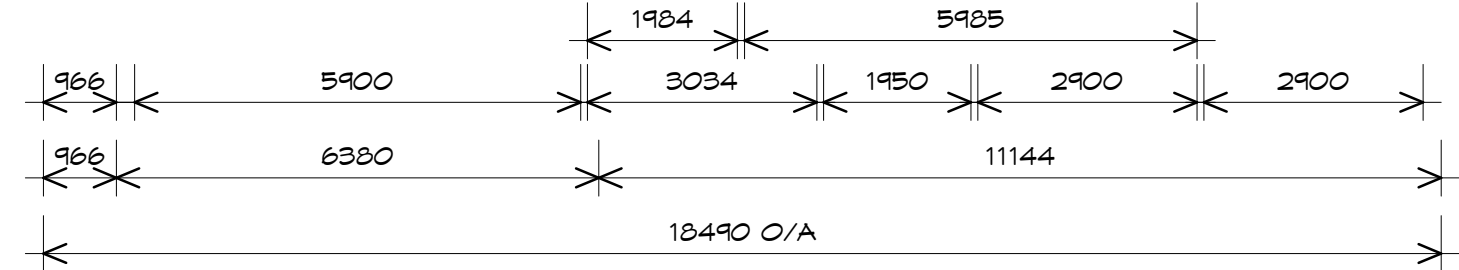
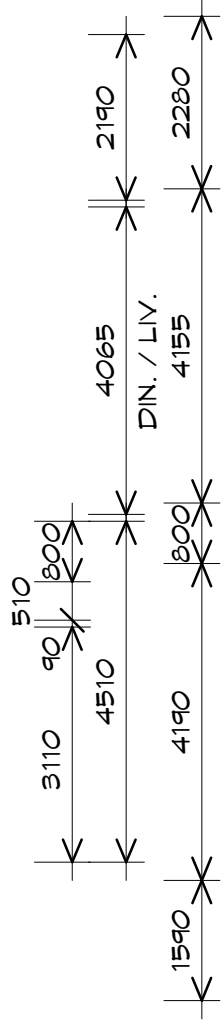
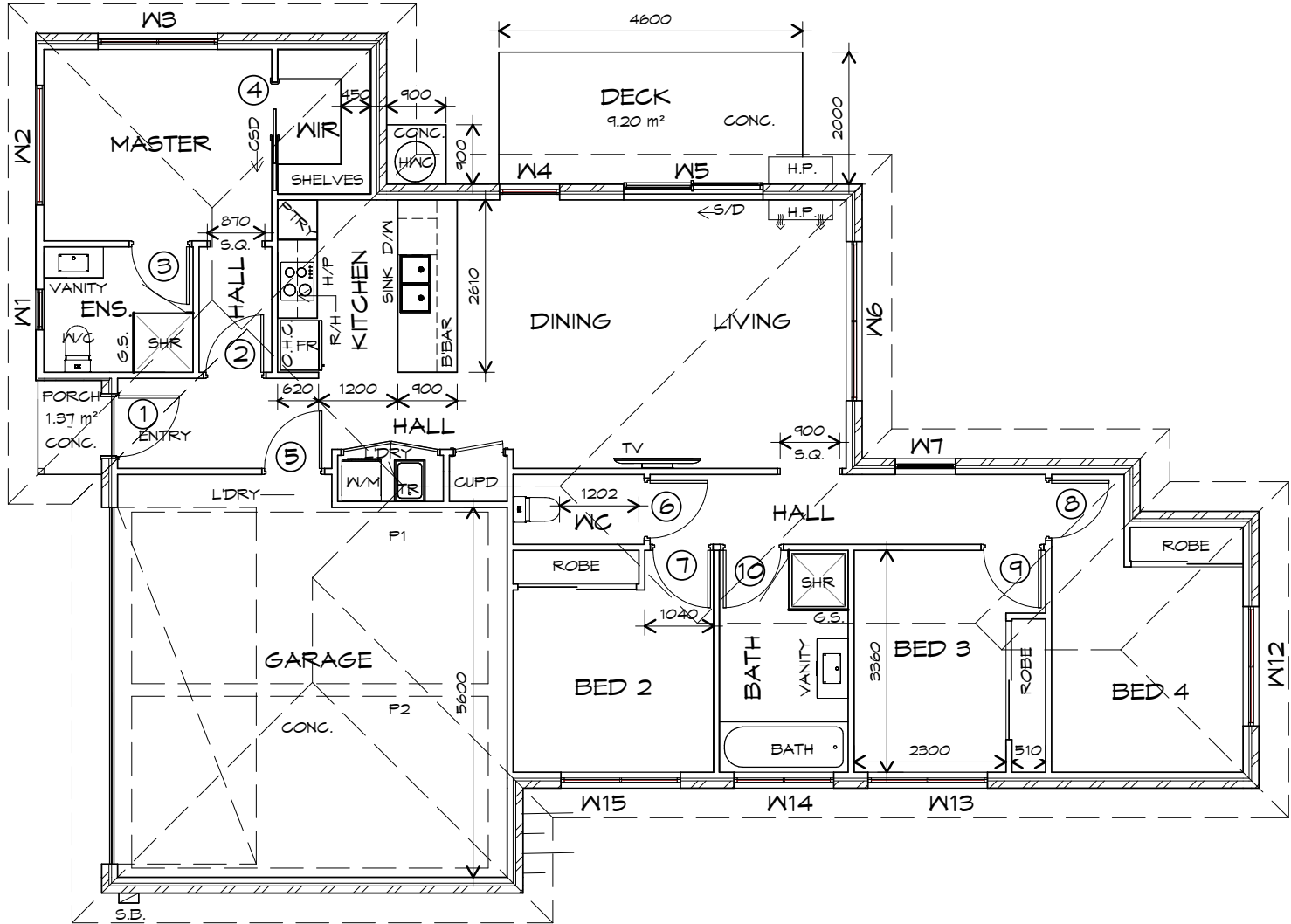
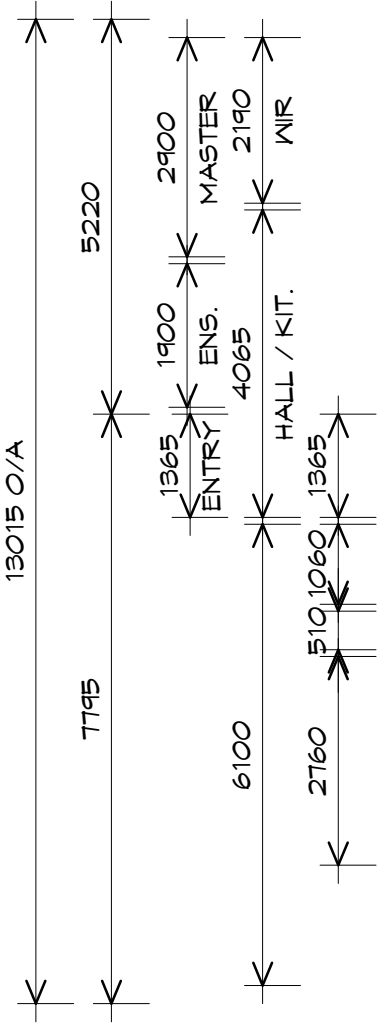
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LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- O.H.C. OVERHEAD CUPBOARD



THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL ENTRY DOOR	
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	
5	870	INTERNAL TIMBER DOOR	
6	870	INTERNAL TIMBER DOOR	UNDERCUT 25mm
7	870	INTERNAL TIMBER DOOR	
8	870	INTERNAL TIMBER DOOR	
9	870	INTERNAL TIMBER DOOR	
10	870	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	610	AWNING WINDOW	OPAQUE
W2	600	1810	FIXED WINDOW	
W3	600	1810	FIXED WINDOW	
W3	1800	1810	AWNING WINDOW	OPAQUE
W4	2100	910	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1800	2410	AWNING WINDOW	
W7	2100	910	AWNING WINDOW	
W12	1800	1810	AWNING WINDOW	
W13	1200	1810	AWNING WINDOW	
W14	600	1510	AWNING WINDOW	OPAQUE
W15	1200	1810	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **BAL LOW** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING.

EXTERNAL GLAZING TO BE LOW REFLECTIVITY
≤ 10% FOR ALL EXTERNAL SURFACES TO COMPLY
WITH CLA-S4.7.1 BIRD STRIKE; PARANYLLE
SPECIFIC AREA PLAN.



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
ORIGINAL INSIGHT PTY. LTD.

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
DOOR AND WINDOW SCHEDULES



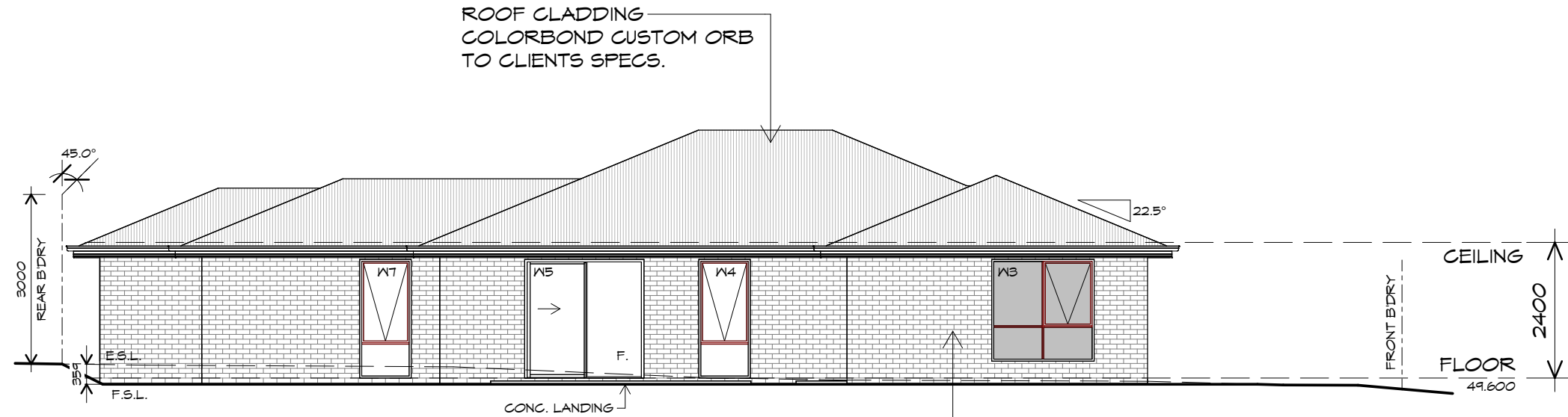
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Date:	Drafted by:	Approved by:
17.08.2026	I.J.	

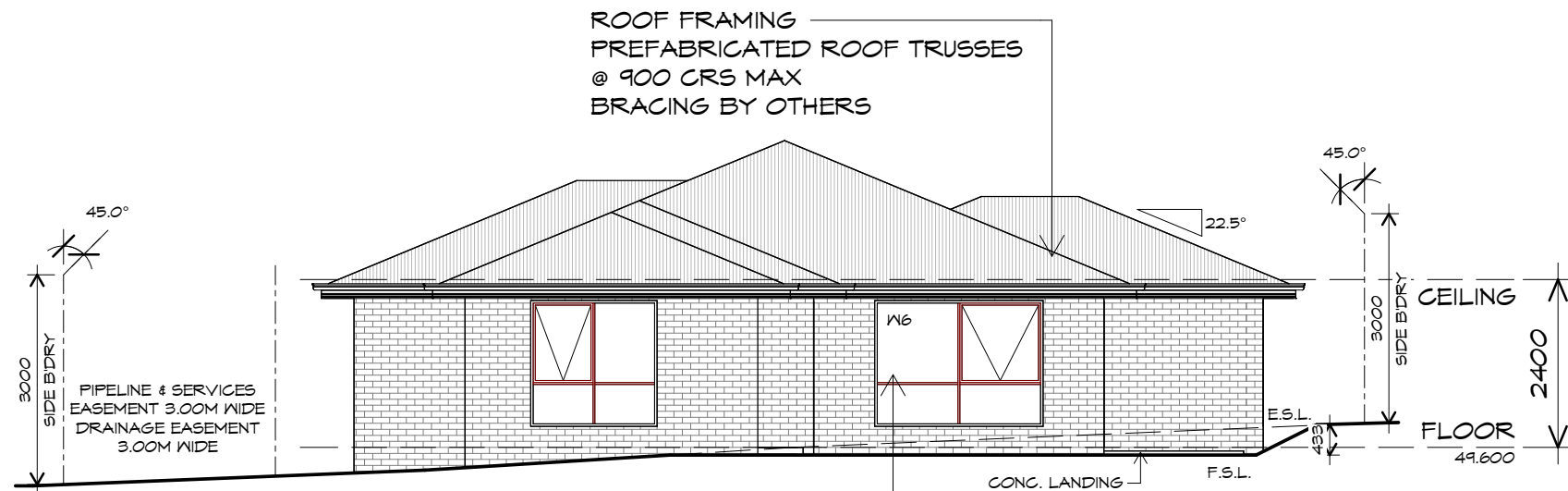
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PD26030 - 06		04

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NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW



REV. DATE DESCRIPTION

Client name:
ORIGINAL INSIGHT PTY. LTD.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
ELEVATIONS



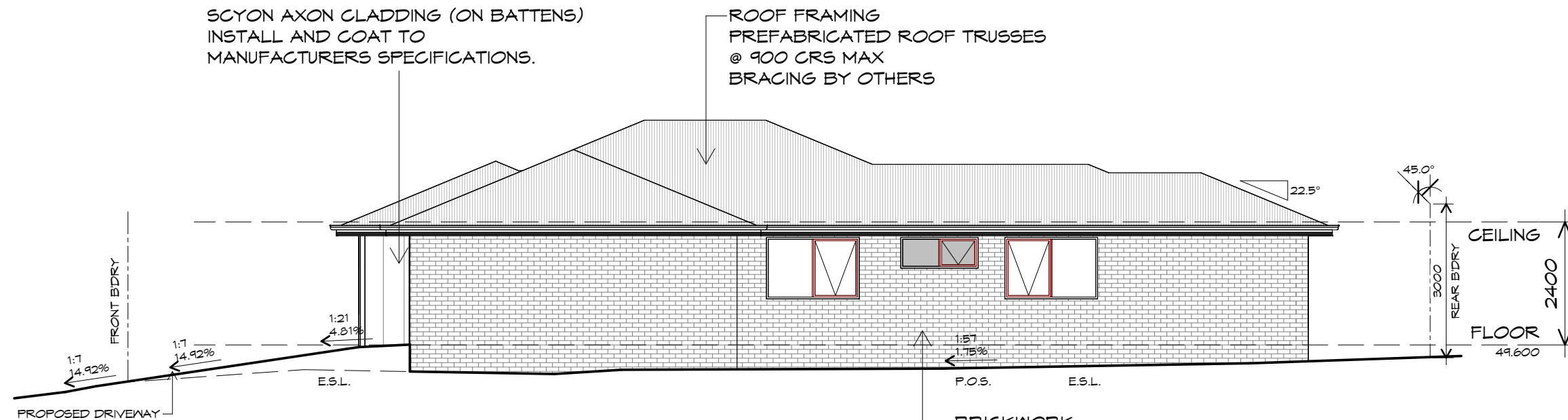
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Date: 17.08.2026 Drafted by: I.J. Approved by:

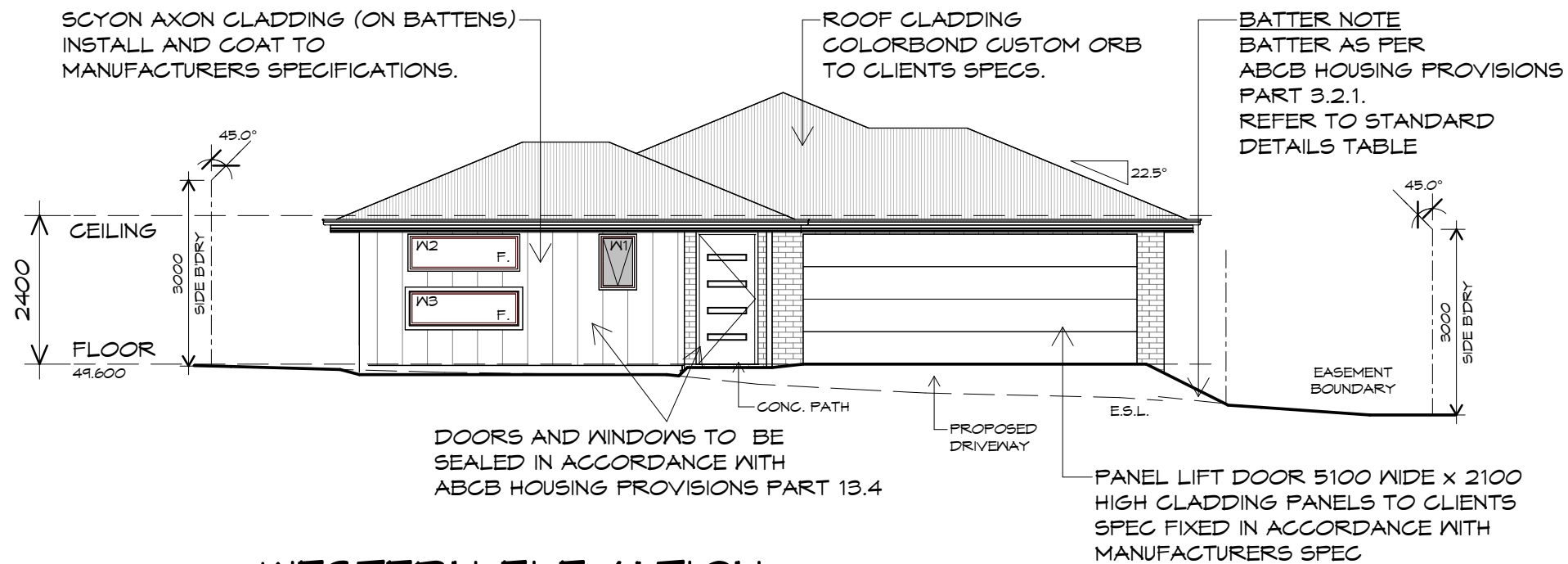
Project/Drawing no: PD26030 - 07 Scale: 1 : 100 Revision: 04

Accredited building practitioner: Frank Gekus - No CC246A
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SOUTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW ALL CONSTRUCTION MUST COMPLY WITH AS3959. THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

Prime Design

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ASSOCIATION OF AUSTRALIA



REV.	DATE	DESCRIPTION

Client name:
ORIGINAL INSIGHT PTY. LTD.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

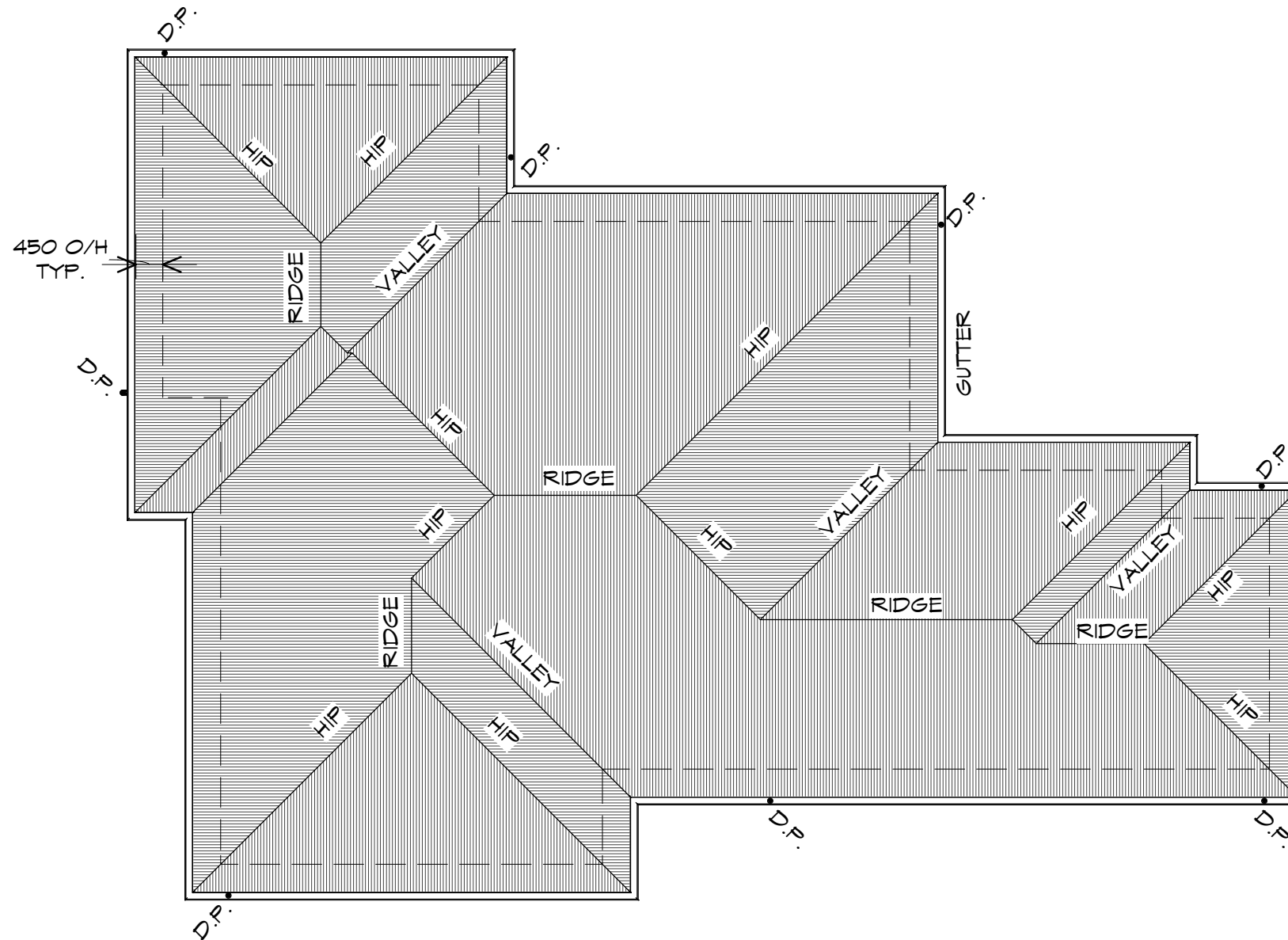
Project:
PROPOSED NEW RESIDENCE
LOT 37 TASMAN RISE,
ROKEBY

Drawing:
ELEVATIONS

Date:	Drafted by:	Approved by:
17.08.2026	I.J.	

Project/Drawing no:	Scale:	Revision:
PD26030 - 08	1 : 100	04

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ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
ALL CONSTRUCTION MUST COMPLY WITH A53959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



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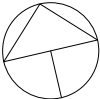


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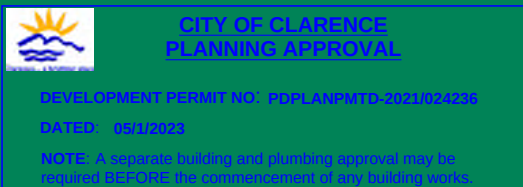
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STORMWATER REPORT

FOR ORIGINAL INSIGHT PTY LTD
93 PASS ROAD, ROKEBY



October 2022

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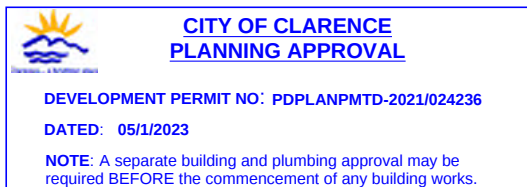


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Appendix A - Development Site Plan

Appendix B - Pre-Development Catchments

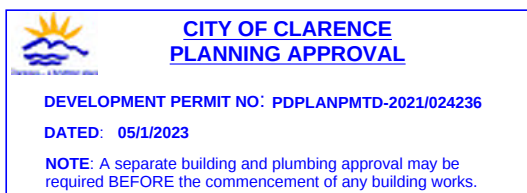
Appendix C - Post Development Catchments

Appendix D - Forebay and Wetland Cross Section

Appendix E - Hutchings Spurr Swale Design

Appendix F - Watercourse and wetland drawings

Appendix G - Landscaping plans



1. Introduction

A 130 Lot subdivision is planned for 93 Pass Road, Rokeby. Hutchings Spurr (HS) consulting engineers are undertaking detailed design for the development and have engaged JMG Engineers & Planners to assist with stormwater design.

The development is to be assessed under the Tasmanian Planning Scheme, which requires stormwater design to be compliant with Council's publication *Stormwater Management Procedure for New Development*. This report addresses the following aspects of this Procedure:

Stormwater Quantity:

- The minor stormwater drainage system shall be designed for the 5% AEP flooding event.
- The increase in runoff due to the development shall be accommodated within on-site detention as there is insufficient capacity in the receiving waterways.
- The major stormwater drainage system in new developments shall be designed for the safe conveyance of the 1% AEP storm event with an allowance for climate change (RCP 8.5 for the year 2090). Existing waterways are to be maintained and enhanced where possible.

Stormwater Quality:

- Water Sensitive Urban Design principles shall be incorporated into the design to achieve the following targets:
 - 90% reduction in the average annual load of gross pollutants based on typical urban stormwater concentrations
 - 80% reduction in the average annual load of total suspended solids (TSS) based on typical urban stormwater concentrations
 - 45% reduction in the average annual load of total phosphorous (TP) based on typical urban stormwater concentrations
 - 45% reduction in the average annual load of total nitrogen (TN) based on typical urban stormwater concentrations

2. Proposed Development

The proposal comprises a standard urban residential sub-division and is a natural extension to previously approved developments to the west (at 91 Pass Road) and constructed developments to the south at Rockingham Drive, Clarendon Vale. Refer Figure 1.

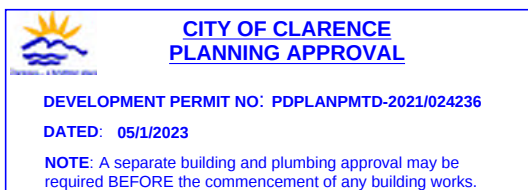




Figure 1 - Subject site locality plan

The proposal is for a 130 lot development across the south western portion of the property with a potential further approximate 38 lots (4.4Ha) to the east and 46 lots (6.2Ha) to the north (refer Appendix A- Development site plan). The potential future lots have been included in the assessment to allow for future development should they proceed.

2.1 *Proposed Stormwater Infrastructure*

Impervious areas will be serviced with standard urban residential pits and pipes sized for the 5% AEP rainfall event in accordance with Council requirements.

Additional runoff caused by the increase in impervious area will be detained in a detention basin sized to limit flows to pre-development levels.

Stormwater quality will be managed through Gross Pollutant Traps (GPT’s), the detention basin and a wetland.

Refer to the sections below for detailed analysis of the required infrastructure.

3. Stormwater Quantity Control

Runoff from the site drains directly into Sawpit Gully, which subsequently drains to Stokell Creek and Clarence Plains Rivulet. Council have undertaken flood studies on this catchment and advise that there are currently flooding issues downstream that should not be exacerbated by the development. Therefore, it is required to detain runoff to limit flows to pre-development levels for the 5% AEP rainfall event.

3.1 *Pre-Development runoff*

Pre-development runoff flows were calculated using Watercom Drains software (Drains) with the following inputs.

Hydrological Model

A RAFTS model was adopted for the pre-development scenario with inputs derived from the ARR Data Hub and ARR Book 9 Chapter 6 (or as noted otherwise), specifically:

- Impervious Area Initial Loss = 1mm
- Impervious Area Continuing Loss = 0mm/hr
- Pervious Area Initial Loss = 28mm
- Pervious Area Continuing Loss = 2.0mm/hr (reduced from recommended loss of 3.7mm/hr from the data hub due to guidance from Council)
- BX = 1
- Climate change factor for RCP 8.5 for year 2090 = 16.3%

Catchments

The proposed development area was broken into its respective catchments with characteristics provided in Appendix B. Note that flow path lengths and grades are from the centroid of the catchment, per recommendations for RAFTS modelling.

Rainfall Ensembles

In line with ARR 2019 recommendations, the model was run with a full ensemble of rainfall events including:

- Temporal patterns from the ARR Data Hub,
- Intensity Frequency Duration (IFD) depths from the BOM website, and
- Pre burst rainfall for the median case also from the ARR Data Hub.

Results

The maximum 5% AEP flow occurred during the modelled 6 hour burst for pattern 5 and is estimated at 820l/s. Refer Figure 2 and 3 below.

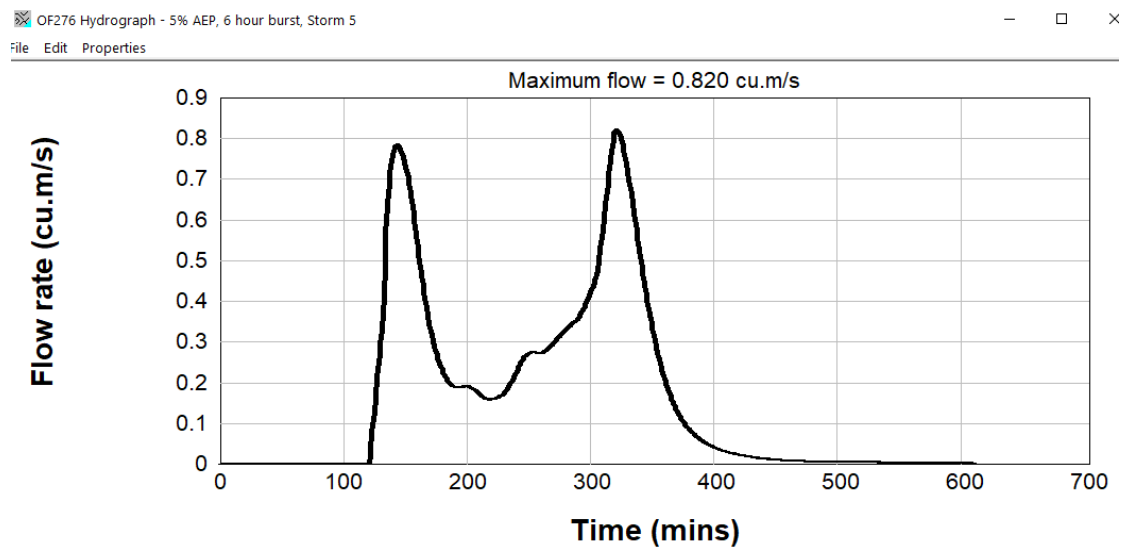
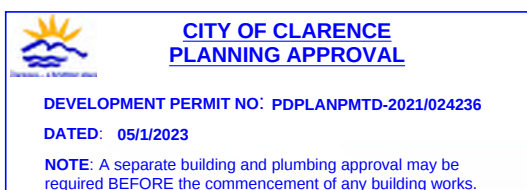


Figure 2 - Pre-development runoff hydrograph for the critical storm for the proposed development areas.



Maximum flow in OF276 for each storm

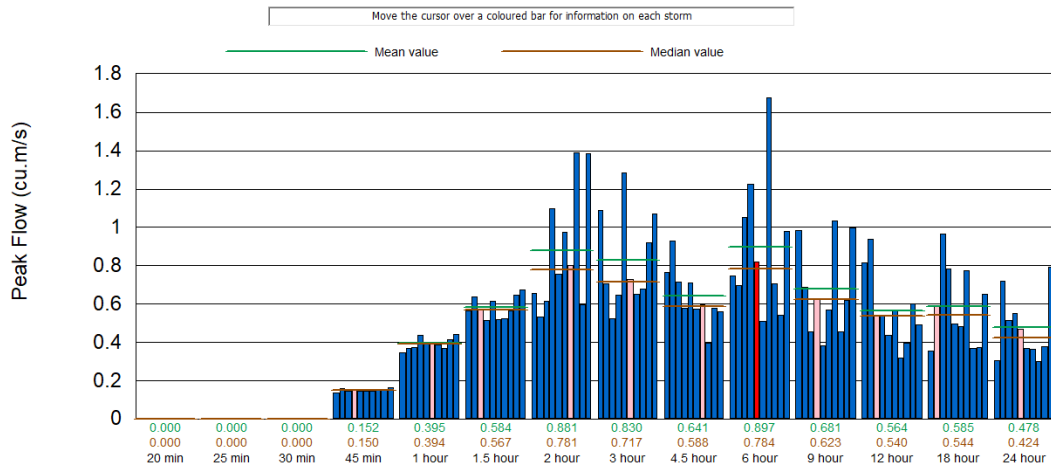


Figure 3 - Pre-development runoff for the various storms modelled.

Calibration Analysis

As a cross check, the 5% AEP pre development runoff was also calculated using the Rational Method with the following inputs:

Time of Concentration (ToC)

- Overland flow path length = 600m
- Overland flow path slope = 5%
- Surface roughness = 0.05 (sparse vegetation)
- Rainfall intensity = Approximately 35mm/hr
- Calculated Time of Concentration based on Kinematic Wave Equation

$$t = \frac{6.94 (L \cdot n^*)^{0.8}}{I^{0.4} \cdot S^{0.3}}$$

where t is the overland flow travel time (minutes)
 L is the flow path length (m)
 n^* is a surface roughness or retardance factor
 I is rainfall intensity (mm/h), and
 S is the surface slope (m/m).

$t = 32$ minutes, rounded to 30 minutes.



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Flow estimation

- Rainfall intensity, I = 34.9mm/hr (30 minute ToC)
- Area, A = 180,483m² (18.048Ha)
- Runoff coefficient, C = 0.40 (For medium soil and 35mm/hr rainfall intensity)
- Climate change factor = 16.3%
- Peak 5% AEP flow, Q = $1.163 \cdot 2.78 \cdot C \cdot I \cdot A$
- = $1.163 \cdot 2.78 \cdot 0.40 \cdot 34.9 \cdot 18.048$
- = 815 l/s

The correlation is very good. Therefore, a maximum pre-development 5% AEP runoff including climate change of 820l/s has been adopted.

3.2 *Post Development Runoff*

Post development runoff analysis has been done using Drains in a similar fashion to predevelopment runoff.

Hydrological Model

The Initial Loss - Continuing Loss (IL-CL) model was used to analyse the developed catchment with the following inputs.

- Impervious Area Initial Loss = 1mm
- Impervious Area Continuing Loss = 0mm/hr
- Pervious Area Initial Loss = 28mm
- Pervious Area Continuing Loss = 2.0mm/hr
- Climate change factor for RCP 8.5 for year 2090 = 16.3%

Catchments

The detention volume required has been calculated by analysing three separate sub-basins within the overall catchment. A sensitivity analysis was done by further delineating the sub-basins into smaller areas, but this was found to make very little difference. The Manning's n-value of the catchments and other flow path characteristics were also varied to investigate the possible impact, but changes were also found to be negligible.

The adopted catchment characteristics are detailed in Appendix C. Note that the impervious areas used in the IL-CL model are divided into Effective and Remaining. The Effective Impervious Area (EIA) is that which is directly connected to the downstream drainage network. This has been conservatively taken as 85% of the Total Impervious Area, which has been assumed to be 70% of the total development area. Therefore, the EIA adopted is 60% of total area, the RIA is 10% and the Pervious Area is 30%.

Hydraulic Model

The Drains model was set up with the developed catchment draining to a forebay/detention basin of approximately 2200m³. The forebay has two outlets, a low flow outlet to the wetland and a high flow outlet direct to the creek. The low flow outlet is set 500mm below the high flow outlet to ensure that all low flows are directed to the wetland for treatment.

The wetland has approximately 4000m³ capacity with a treatment surface area of approximately 1000m² and has a small orifice outlet to ensure adequate detention time for treatment. The total outflow from the forebay and wetland combined is no greater than pre-development levels.

A schematic profile is shown in Figure 4 and also included in Appendix D. Note that the wetland batter slopes are shown schematically only. Surface areas and volumes have been based on best practice batter slopes to provide safety benching and shallow batters.



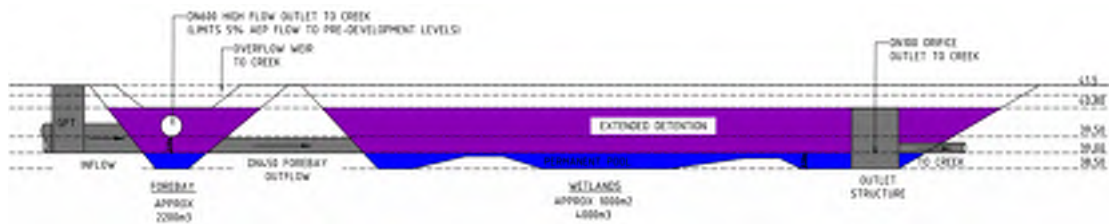


Figure 4 - Profile schematic of forebay and wetland

Results

The maximum 5% AEP inflow to the forebay occurs during a 15 minute storm burst, which would be expected for an urban development of this scale. The total inflow peaks at around 1.87m³/s for the critical median storm event. Refer Figure 5.



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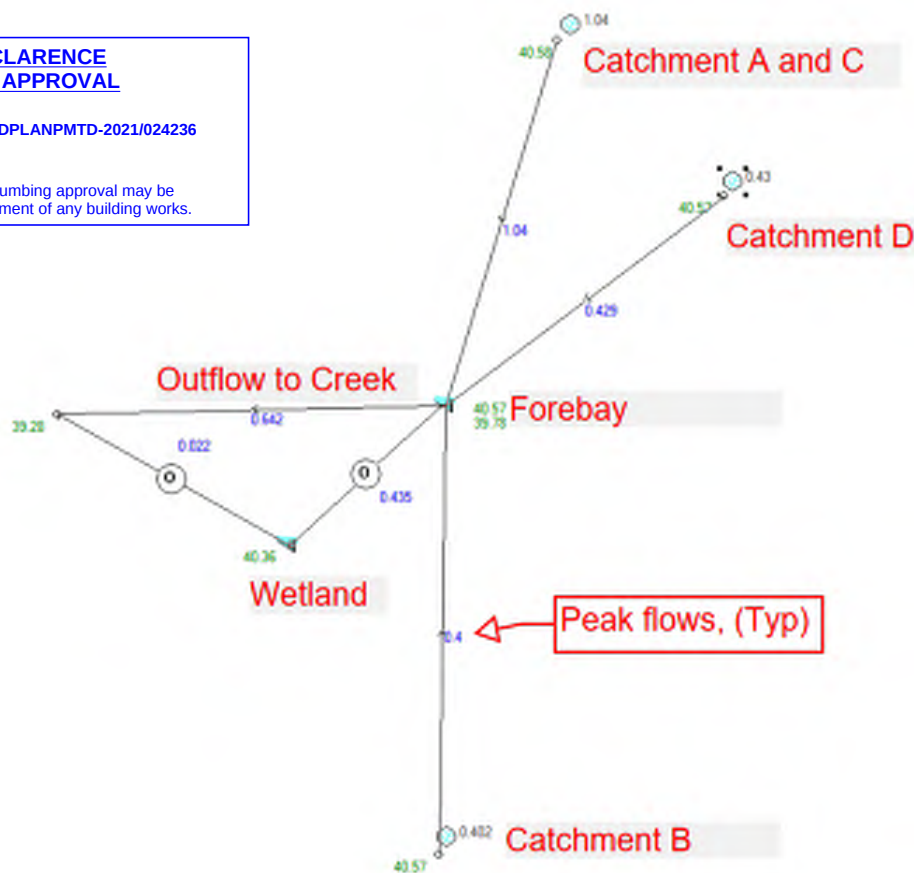


Figure 5 - Drains model showing maximum inflow (for median storm event) to wetland forebay (accumulation of 1.04m³/s from catchments A and C, 0.429m³/s from catchment D and 0.400m³/s from catchment B).

The maximum 5% AEP outflow from the forebay to the adjacent creek (bypassing the wetland) occurs during a 1 hour storm burst and is approximately 642l/s as shown in Figure 6 and 7. This flow is less than the pre-development 5% AEP flow of 820l/s and therefore complies with Council requirements (noting that there is a very small additional flow from the wetland of approximately 15l/s at the 60 minute time step, refer Figure 9).



Pipe to Creek Hydrograph - 5% AEP, 1 hour burst, Storm 9
File Edit Properties

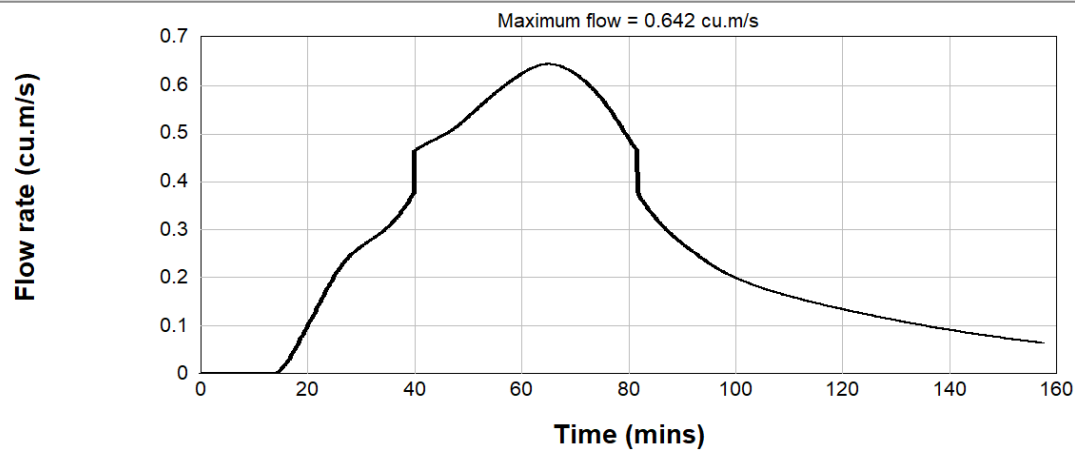


Figure 6 - High flow bypass median 5% AEP hydrograph

Maximum flow in Pipe to Creek for each storm

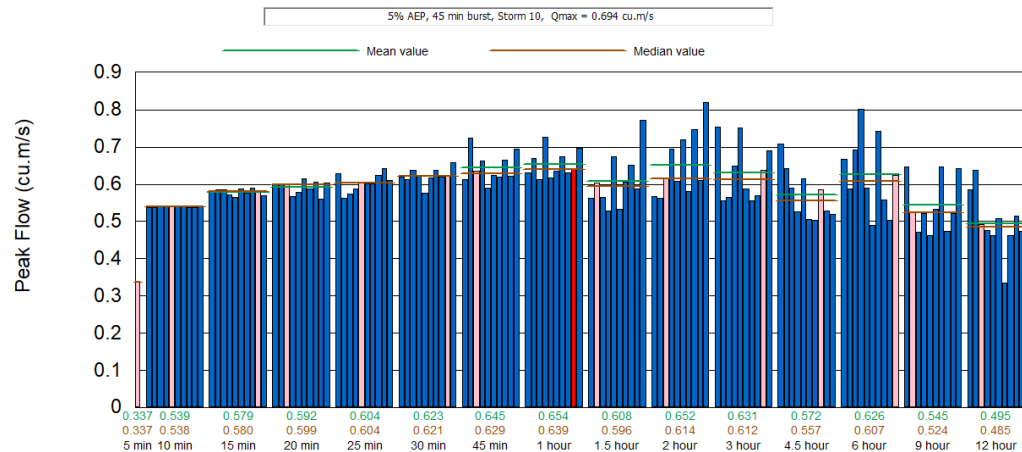


Figure 7 - High flow bypass flows for various storms modelled.

Other pertinent outputs from the Drains model are shown in the following figures.

To Wetland Hydrograph - 5% AEP, 15 min burst, Storm 4
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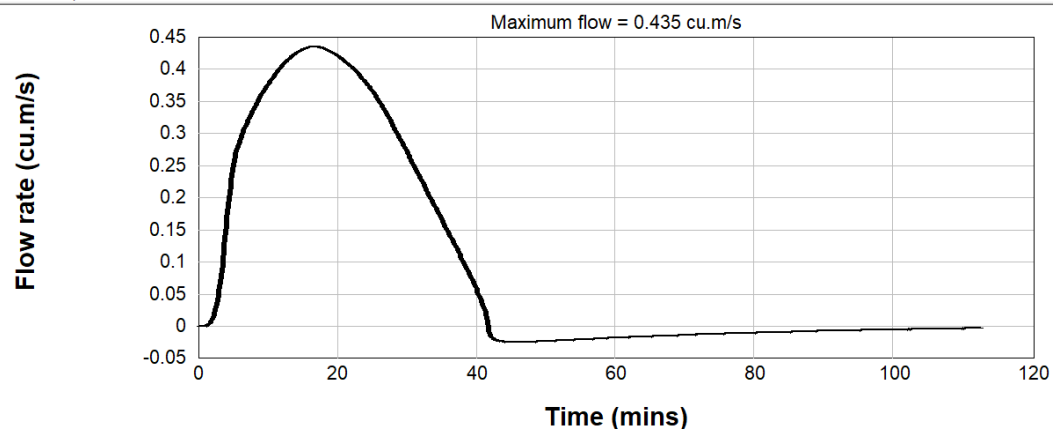


Figure 8 - 5% AEP median hydrograph for flows from the forebay to the wetland.

From wetland Hydrograph - 5% AEP, 3 hour burst, Storm 8

File Edit Properties

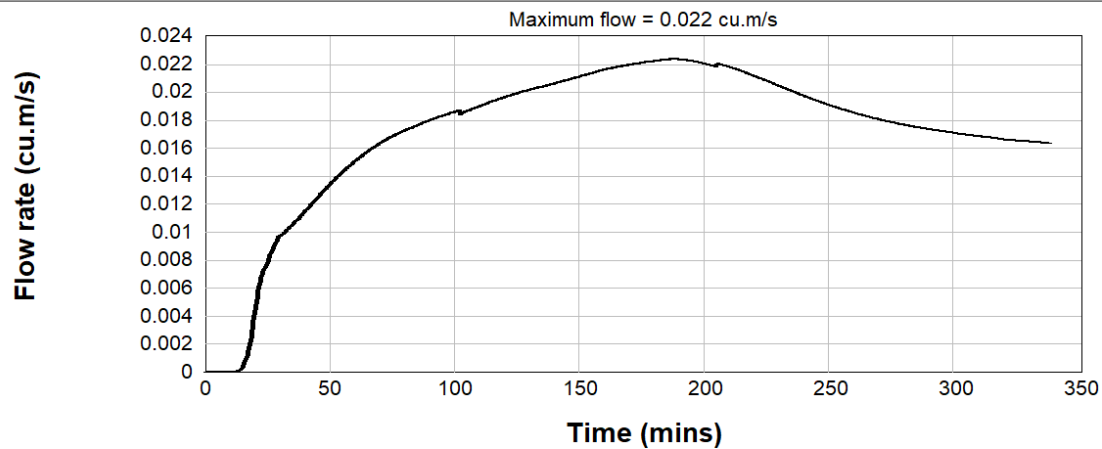


Figure 9 - 5% AEP median hydrograph for flows from the wetland to the creek.

Calibration Analysis

Runoff from the developed areas has been checked using the Rational Method with the following inputs:

Time of Concentration estimated at 8 mins (5mins from property to pipe plus 3mins in pipe to wetland), rounded to 10mins.

Rainfall intensity, I = 64.4mm/hr

Area, A = 180,483m² (18.048Ha)

Runoff coefficient, C = 0.7

Climate change factor = 16.3%

Peak 5% AEP flow, Q = 1.163*2.78*C*I*A
= 1.163*2.78*0.7*64.4*18.048
= 2630l/s

The Drains model runoff is approximately 40% less than the estimated Rational Method runoff. This is likely to do with the assumed losses and attenuation of flow through the Drains model. Given that there isn't any flow data to calibrate the model from, it is assumed sufficiently accurate for infrastructure sizing.

3.3 Major Drainage System Analysis

Council have requested an analysis of the 1% AEP+CC flooding extent within the minor drainage channels that pass through the site for the following purposes:

1. To ensure that the major drainage system has sufficient capacity to convey the 1% AEP+CC flood flow in accordance with the following clause in their Management Procedure:
 - a. *The major stormwater drainage system in new developments shall be designed for the safe conveyance of the 1% AEP storm event with an allowance for climate change (RCP 8.5 for the year 2090). Existing waterways are to be maintained and enhanced where possible.*

2. To ascertain the amount of unencumbered Public Open Space (POS).

It is proposed to fully address this requirement as part of detailed design depending on Council's preference for the balance between maintaining the existing waterways, the provision for usable POS and ensuring sufficient hydraulic capacity. To this extent it is proposed to ensure that the mainstream channel has capacity for the 1% AEP flood flow with a proportion of the remaining POS being used for conveyance of larger flooding events and landscaping.

The minimum swale dimensions to effectively convey the 1% AEP flood extent have been established as part of the Development Application for 91 Pass Road. Refer to JMG's Stormwater Report for HBA Daesung Pty Ltd, 91 Pass Road, Rokeby (2020) for details. In summary, a swale with base width 7.5m and 4:1 batter slope will run approximately 600mm deep in the northern water course and 500mm deep in the southern water course with the 1% AEP flow. These swales are notated as B and C in Appendix E. Note that it is not proposed to develop trapezoidal swales to convey the flow. Rather, these dimensions have been used to provide guidance on any work to be done on the watercourses.

Additional analysis has been done to investigate the capacity of the current creek profile (refer Appendix F drawing SW1). The northern water course has sufficient capacity to take the 1% AEP flood flow through the proposed development area. However, water currently breaks out of the channel under the transmission lines and flows across to the southern water course. Some work will be required in this area to prevent this break out. Work will also be required to train the flow under proposed bridges and around the wetland. If this work is done, the approximate area of POS inundated during a 1% AEP flood event is 9885m². The total POS area is 27,000m², leaving approximately 17,115m² unencumbered area. Refer to the Landscaping plans (Appendix G) for further information on proposed treatment of the watercourses to provide for effective overland flow whilst maintaining natural values as far as possible.

Flow paths A and B in Appendix F drawing SW1 will be treated as follows:

- Flow path A will be redirected west to 91 Pass Road via a cut off drain. Council have provided a 1% AEP flow of 123l/s for this catchment. A standard earth V drain with 2:1 side batters and 1% grade will run approximately 330mm deep conveying this flow.
- Flow path B will be cut off by the proposed road. Council have provided a 1% AEP flow of 229l/s for this catchment. The road will have a grade of approximately 2.3% in this area and a standard kerb and gutter will run approximately 144mm deep to convey this flow. Whilst the gutter has just enough capacity, the downstream overland flow path should be carefully considered during detailed design to ensure safe conveyance of overland flows.

3.4 Stormwater Quantity Control Summary

The above analysis shows that the development is likely to comply with the stormwater quantity requirements as follows:

- The minor drainage system (pits and pipes) will be designed to contain the 5% AEP rainfall event as part of detailed design.
- The increase in runoff as a result of the development will be detained in a detention basin with sufficient capacity to reduce the 5% AEP runoff to pre-development levels.
- The major drainage system will provide capacity for the 1% AEP flood flow inclusive of climate change allowance.

4. Stormwater Quality Control

The required stormwater quality targets will be achieved through a treatment train approach consisting of GPT's, detention basin and wetland. These are described in detail below.

4.1 Gross Pollutant Traps (GPT's)

It is likely that two GPT's will be required, one for the northern and eastern catchment and one for the southern catchment. These have been initially sized to treat the 4EY rainfall event per Table 1. Note that Rocla CDS units have been specified, however any approved equivalent with the required treatable flow rate could be used.

Table 1 - Proposed GPT's (or equivalent).

Catchment	4EY flow	Proposed GPT
Northern and Eastern	280 l/s	Rocla CDS 1518
Southern	77 l/s	Rocla CDS 1009

4.2 Detention Basin

A 2.3m deep detention basin of approximately 1400m³ volume is required for stormwater quantity control (note that the proposed basin is larger than this to allow for safe freeboard heights above the overflow weir level). This basin will double as a sediment pond and high flow diversion structure to protect the wetland downstream. The detention basin has been modelled assuming a high flow bypass flow rate of 0.7m³/s, which is equivalent to the pre development 5% AEP flow rate. Low flows will carry on through to the wetland for further treatment.

4.3 Wetland

A 1000m² base area wetland has been specified. The wetland will be designed in accordance with industry best practice during detailed design but is expected to have the following attributes:

- Extended detention depth of 1.8m.
- Permanent pool volume approximately 700m³.
- Equivalent outlet orifice diameter of 100mm. Note that this may be revised to multiple smaller orifices to provide for greater detention time during low flows.

4.4 Treatment Train Effectiveness (MUSIC)

The proposed treatment train has been modelled using MUSIC (Model for Urban Stormwater Improvement Conceptualisation). Developed areas have been assumed at 70% impervious with results presented in Figure 10.

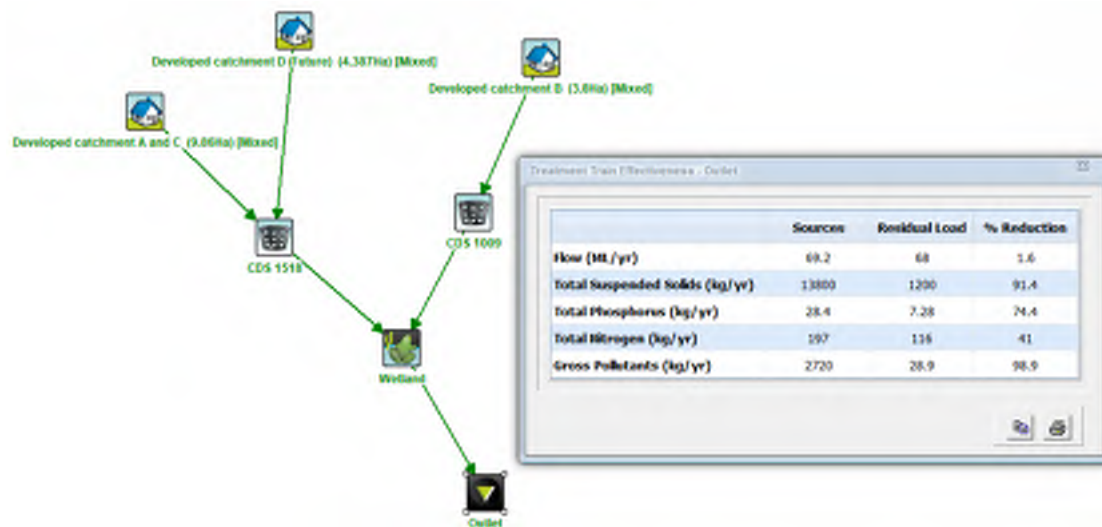


Figure 10 - MUSIC model and treatment train effectiveness

The MUSIC model shows that the minimum pollutant reductions of 80/45/45 (TSS/TP/TN) are almost achieved. The percent reduction of Total Nitrogen is not quite achieved. However, it should be noted that the model includes all future potential areas to the north (catchment C) and east (catchment D), which are not part of this application but included for completeness in the event that the development occurs.

If Catchment D is removed from the model, compliance is achieved (refer Figure 11).

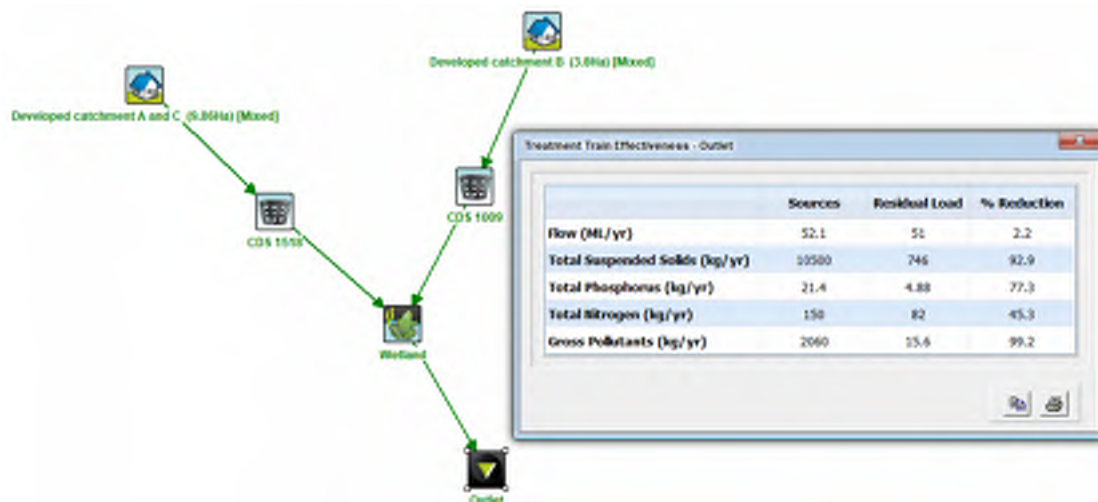


Figure 11 - MUSIC model and treatment train effectiveness for Catchments A,C and B only.

5. Conclusions and Recommendations

The proposed stormwater system inclusive of GPT's, detention storage and wetland comply with best practice and Council requirements. There is further scope to refine the design with consideration to public amenity, maintenance, landscaping, and natural value issues during detailed design. It is noted that all infrastructure has been oversized at this stage to allow for these requirements together with potential further development upstream within 93 Pass Road.



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APPENDIX A

Development Site Plan

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	NIL
---	-----

NIL

This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.



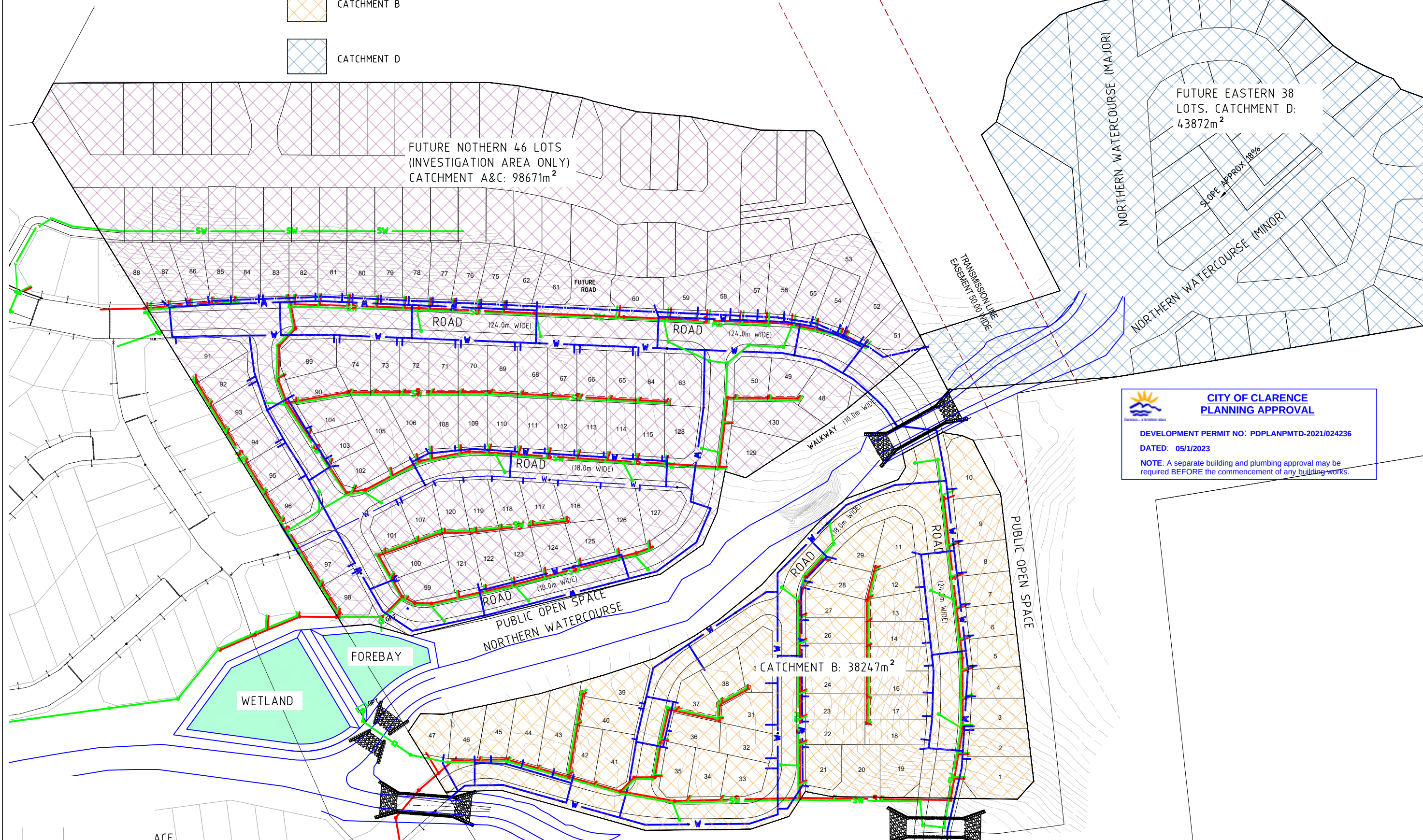
CATCHMENT A&C



CATCHMENT B



CATCHMENT D



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PROJECT

93 PASS ROAD
CLARENDON VALE
STAGES 1-13

	TITLE
1	
2	
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APPENDIX A SITE PLAN

PROJECT NO.	J220268CS
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DWG NO.	REVISION
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C01	P1
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PLOT DETAILS APPENDIX DRGS.DWG



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

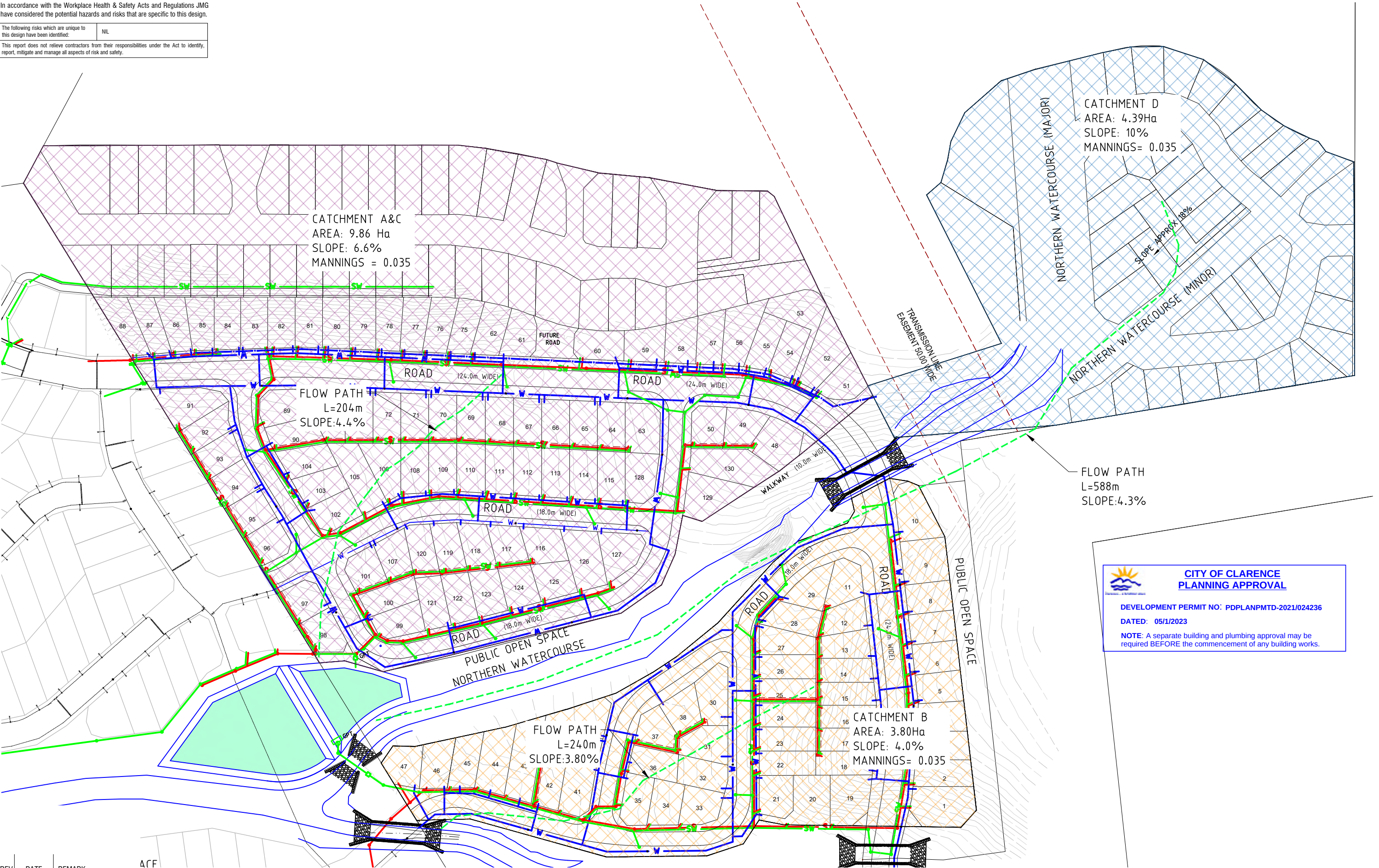
NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX B

Pre-Development Catchments

SAFETY IN DESIGN REPORT
In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	NIL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	



REV	DATE	REMARK
1	03/06/2022	Accepted JMB (Discipline Head)
2	03/06/2022	Accepted JMB (Team Leader)
3	03/06/2022	Approved CJM (Principal)

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SCALES @ A3	DESIGNED BY	DRAWN BY
NA	JMB	CF
NA	PLOT DATE	20/10/2022

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49-51 Elizabeth Street, Launceston, Tas (03) 6334 5548
www.jmg.net.au infohbt@jmg.net.au infofn@jmg.net.au

PROJECT
**93 PASS ROAD
CLARENDON VALE
STAGES 1-13**

TITLE
**APPENDIX B
PRE DEVELOPMENT
CATCHMENTS**



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANMTD-2021/024236
DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

PROJECT NO.	J220268CS	
DWG NO.	C02	REVISION P1
PLOT DETAILS	APPENDIX DRGS.DWG	



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX C

Post Development Catchments

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	NIL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	

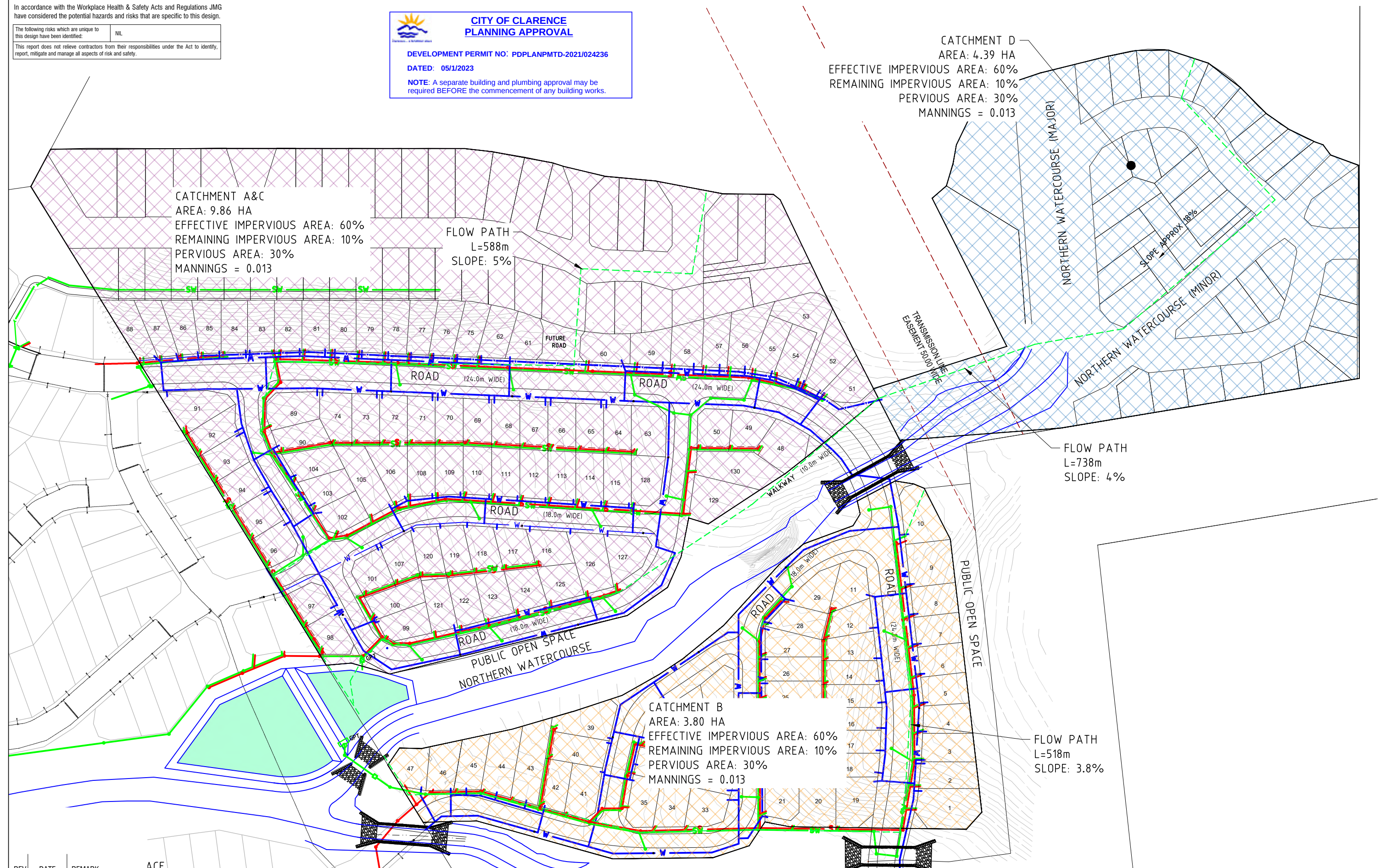


CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

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REV	DATE	REMARK	ACF
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Accepted JMB

Accepted JMB
(Team Leader)

Approved CJM
(Principal)

Date	
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Date	
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Date	
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SCALES @ A3

— NA

DO NOT

DESIGNED BY

JMB

only figured dimensions. Look at the drawing.

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check Architects & other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. JMG accepts no responsibility for dimensional information scaled or digitally derived from this document.



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ACN 009 547 139

ABN 76 473 834 852

117 Harrington Street, Hobart, Tas

(03) 6231 2555

49-51 Elizabeth Street, Launceston, Tas (03) 6334 5548

PROJECT

93 PASS ROAD
CLARENDON VALE
STAGES 1-13

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APPENDIX C POST DEVELOPMENT CATCHMENTS

PROJECT NO.	J220268CS
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DWG NO. C03	REVISION P1
-----------------------	-----------------------

PLOT DETAILS APPENDIX DRGS.DWG



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

APPENDIX D

Forebay and Wetland Cross Section

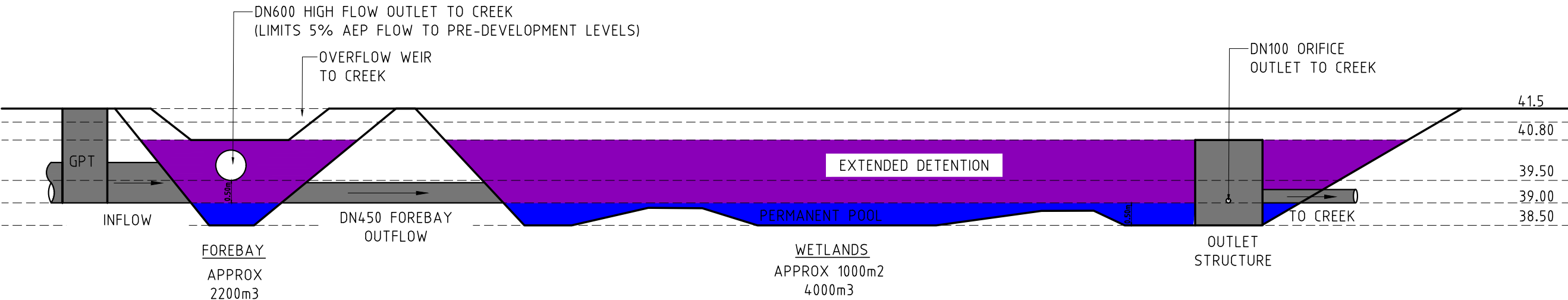


CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

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PRELIMINARY PRINT

NOT FOR CONSTRUCTION

P1 31.08.2022 PRELIMINARY ISSUE

REV	DATE	REMARK
1	31.08.2022	PRELIMINARY ISSUE

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SAFETY IN DESIGN REPORT	
In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.	
The following risks which are unique to this design have been identified:	
Nil.	
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	

Accepted GRANT ATHERTON (Discipline Head)	Date
Accepted JUSTIN BOOCOCK (Client Leader)	Date
Approved GRANT ATHERTON (Group Manager)	Date
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www.jmg.net.au info@jmg.net.au info@jmg.net.au

PROJECT
93 PASS ROAD, ROKEBY
INUNDATION ANALYSIS

TITLE
FOREBAY & WETLANDS
CROSS SECTION

PROJECT NO.	J220268CS
DWG NO.	C04
REVISION	P1
PLOT DETAILS WETLANDS SECTION.DWG	



**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

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APPENDIX E

Hutchings Spurr Swale Design

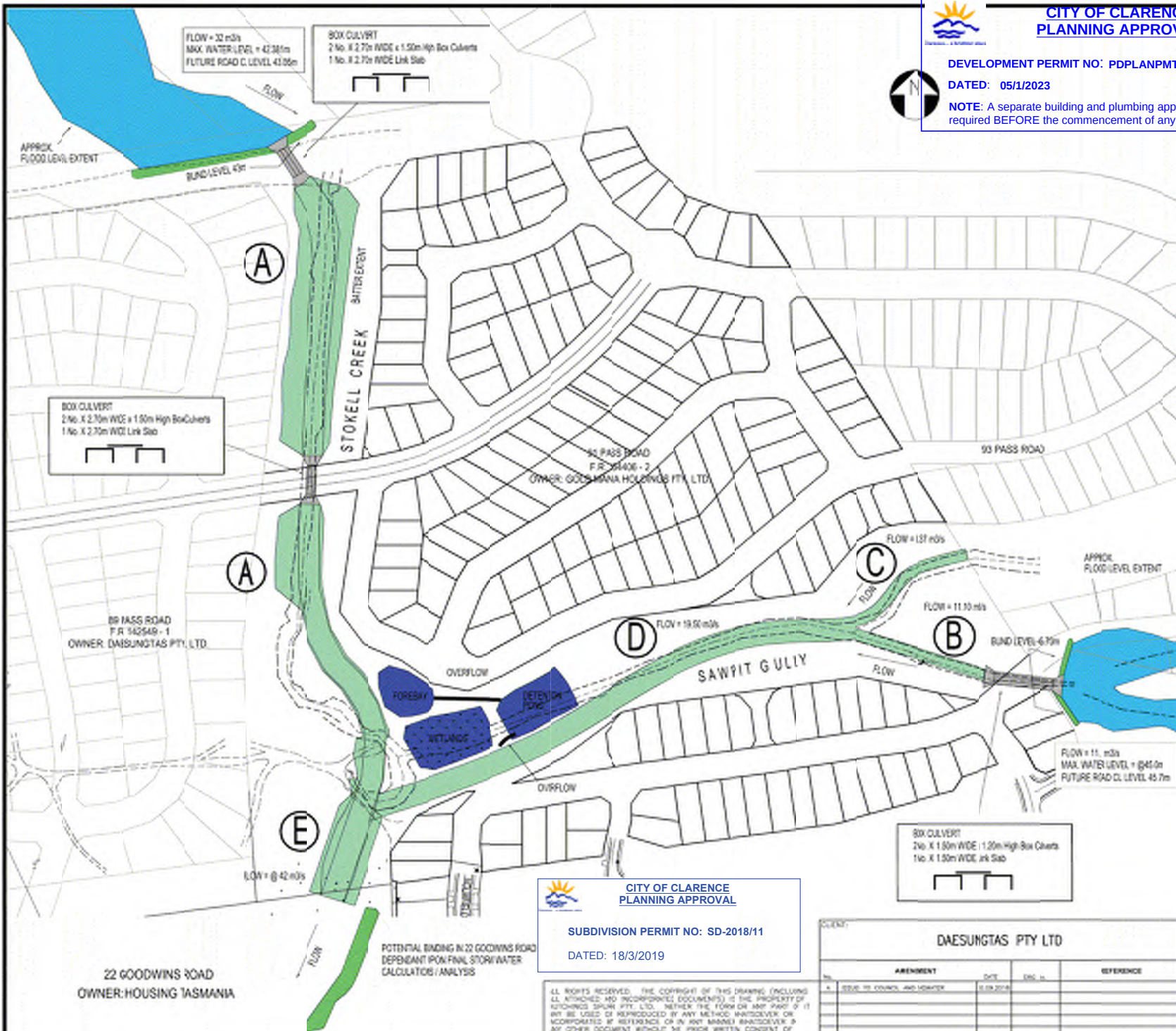


CITY OF CLARENCE PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.



SWALE (A)



SWALE (B)



SWALE (C)



SWALE (D)



SWALE (E)



CITY OF CLARENCE PLANNING APPROVAL

SUBDIVISION PERMIT NO: SD-2018/11

DATED: 18/3/2019

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DAESUNG TAS PTY LTD			
NO.	REVISION	DATE	REFERENCE
1	ISSUE TO COUNCIL AND OWNER	18.03.2019	

HUTCHINGS SPURR PTY. LTD.
CONSULTING ENGINEERS
3 ANTILL STREET TORBAY, TASMANIA 7246
PHONE (03) 6222 5000 FAX (03) 6222 5001

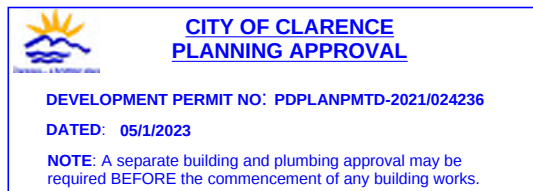
91 PAS: ROAD, ROBEY
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STORMWATER STRATEGY

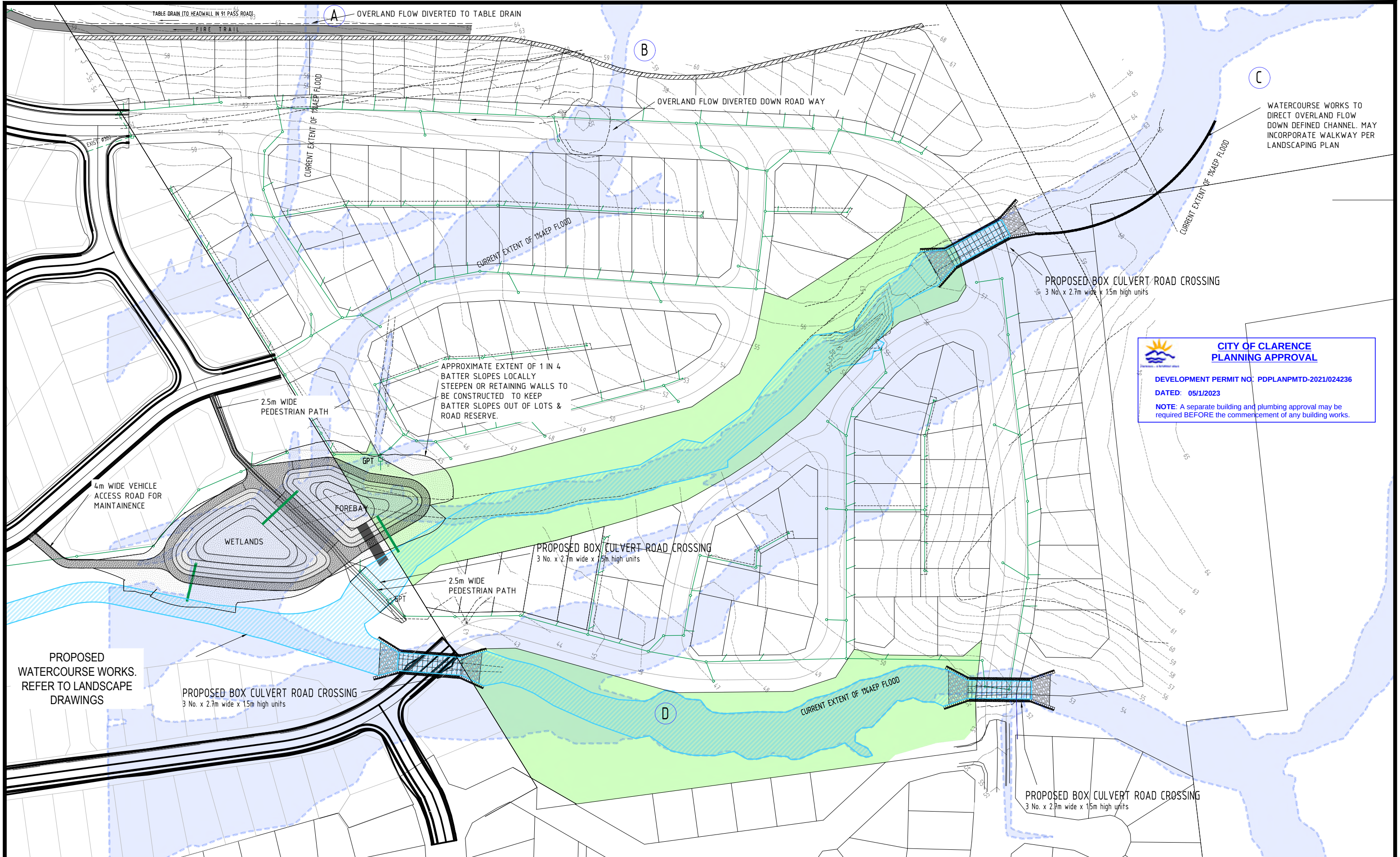
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APPROVED:

DRAWING: 173/9/SW (A)
NO. OF SHEETS

APPENDIX F

Watercourse and wetland drawings







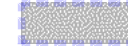
**CITY OF CLARENCE
PLANNING APPROVAL**

DEVELOPMENT PERMIT NO: PDPLANMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

**NEW STORMWATER RETICULATION**
PIPE SIZES TO BE CONFIRMED IN DESIGN PHASE

**CURRENT EXTENT OF 1% AEP FLOOD**
AS PER CLARENCE CITY COUNCIL FLOOD MAPS

**PUBLIC OPEN SPACE AREA**
TOTAL AREA = 27,000 m²

**WATERCOURSE/ POND AREA**
TOTAL AREA = 9885 m²

64% P.O.S USEABLE SPACE

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CLIENT: HOTAS PTY LTD			
No.	AMENDMENT	DATE	DRG No.
G	AMENDED WETLANDS & PONDS	19.10.2022	
B	GENERAL REVISION	30.11.2021	
C	REVISED LOT LAYOUT / SERVICES	02.02.2022	
D	SWALE EXTENT ADDED	11.03.2022	
E	POND SIZED INCREASED	28.04.2022	
F	POND LOCATION ALTERED	04.05.2022	



HUTCHINGS SPURR PTY. LTD.
CONSULTING ENGINEERS
23 ANTILL STREET, HOBART, 7000. A.C.N. 009 508 525 A.B.N. 39 009 508 525
PHONE (03) 6223 5020

STRUCTURAL
CIVIL
MUNICIPAL
PROJECT
MANAGEMENT
SUB DIVISIONS

93 PASS ROAD STAGES 1-13
ROKEBY
PROPOSED STORMWATER SERVICES PLAN

SCALE: NTS

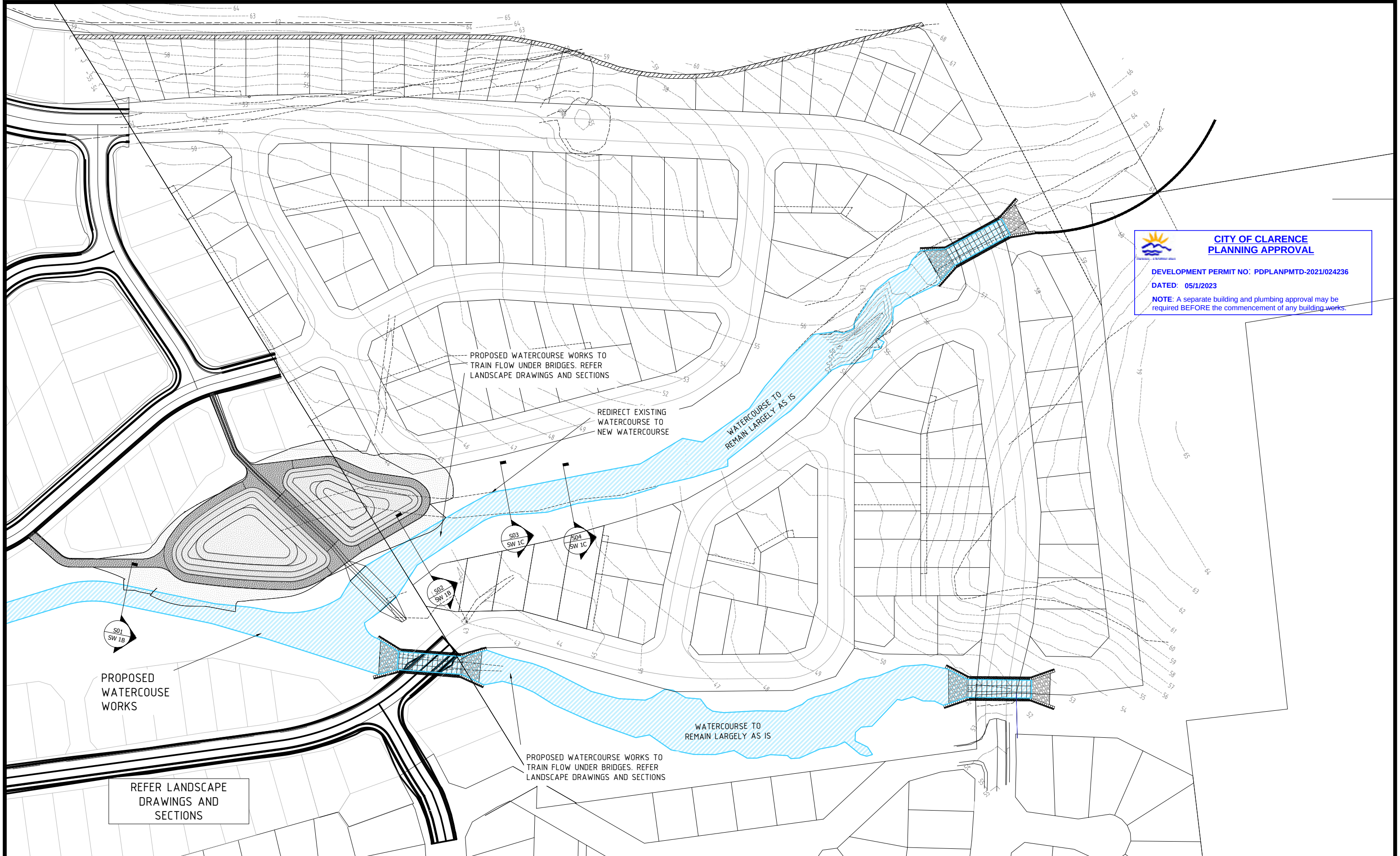
DRAWN: B. STANFORD DATE: NOV '21

APPROVED

DRAWING No. **21281 SW 1**

REVISION **G**

No. OF SHEETS





**CITY OF CLARENCE
PLANNING APPROVAL**
DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236
DATED: 05/1/2023
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 APPROXIMATE EXTENT OF FUTURE 1% AEP FLOOD EXTENT

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CLIENT: HOTAS PTY LTD				 HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, 7000. A.C.N. 009 508 525 A.B.N. 39 009 508 525 PHONE (03) 6223 5020		STRUCTURAL CIVIL MUNICIPAL PROJECT MANAGEMENT SUB DIVISIONS	
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				SCALE NTS		DRAWING No.	
				DRAWN M.FRAWLEY		DATE OCT '22	
				APPROVED		21281 SW 1A	
						REVISION	
						No. OF SHEETS	



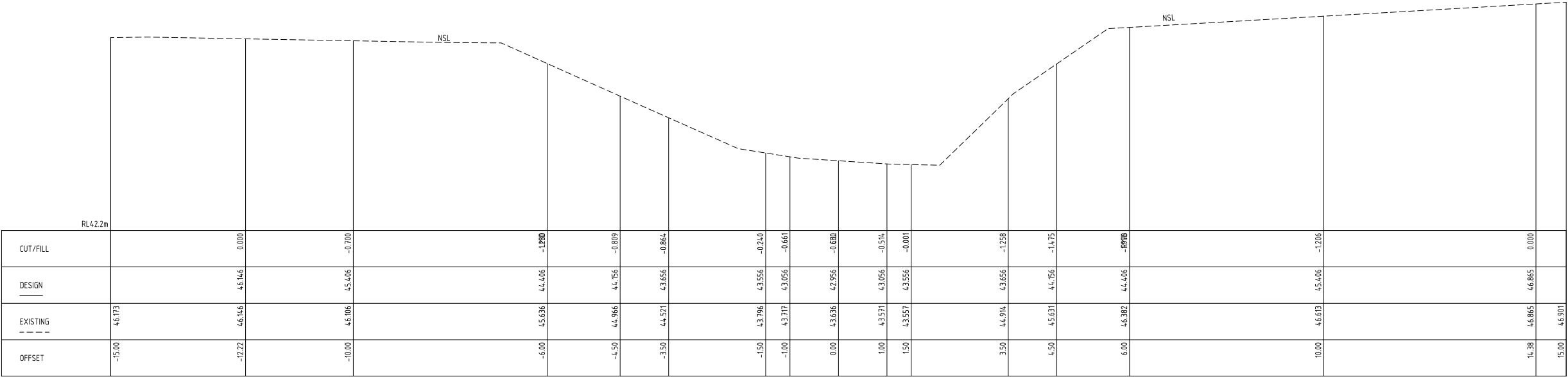
DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.



CLIENT:		HOTAS PTY LTD		 HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, TASS. A.C.N. 009 508 525 A.B.N. 39 009 508 525 PHONE (03) 6223 5020		* STRUCTURAL * CIVIL * MUNICIPAL * PROJECT * MANAGEMENT * SUB DIVISIONS			
No.		AMENDMENT		DATE		DRG No.		REFERENCE	
A		ISSUED TO CLIENT		19/10/2022				93 PASS ROAD STAGES 1-13 ROKEBY PROPOSED WATERWAY CROSS SECTIONS SHEET 1	
								SCALE NTS DRAWN M. FRAWLEY DATE OCT '22	
								DRAWING No. REVISION 21281 SW 1B (A)	
								No. OF SHEETS	

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SECTION 04

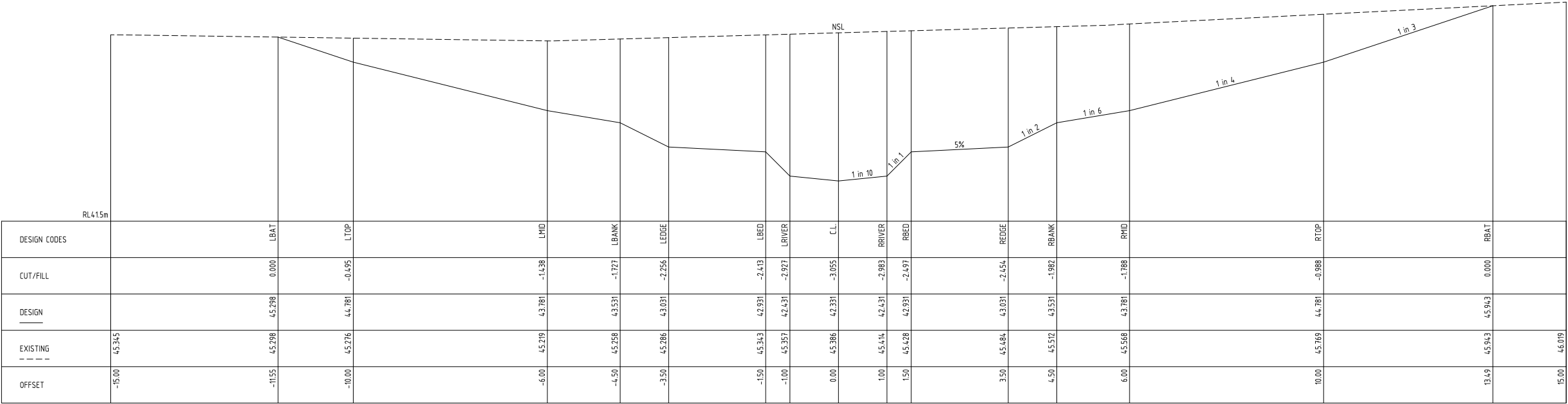


CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

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SECTION 03

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CLIENT: HOTAS PTY LTD				 HUTCHINGS SPURR PTY. LTD. CONSULTING ENGINEERS 23 ANTILL STREET, HOBART, 7000. A.C.N. 009 508 525 A.B.N. 39 009 508 525 PHONE (03) 6223 5020		* STRUCTURAL * CIVIL * MUNICIPAL * PROJECT * MANAGEMENT * SUB DIVISIONS	
No.		AMENDMENT		DATE	DRG No.	REFERENCE	
A		ISSUED TO CLIENT		19.10.2022		93 PASS ROAD STAGES 1-13 ROKEBY PROPOSED WATERWAY CROSS SECTIONS SHEET 2	
						SCALE NTS	
						DRAWN M. FRAWLEY DATE OCT' 22	
						APPROVED	
						DRAWING No. 21281 SW 1C No. OF SHEETS	
						REVISION A	

APPENDIX G

Landscaping Plans



CITY OF CLARENCE PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236

DATED: 05/1/2023

NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

OPEN SPACE SYSTEM

The two waterway reserves each have a distinctive suite of recreation roles and rehabilitation opportunities:

North waterway POS - the deeper stream bed provides opportunities for rehabilitation, anticipated use primarily for passive enjoyment

South waterway POS - a relatively flat area at the rear of Breedon Way and with overhead powerline near Breedon back fences. A more open character is proposed with isolated clean stem trees, allowing for some informal sports and incidental active play and retaining opportunities for future more formalised recreation areas to be provided at a later stage. Plantings balance providing informal surveillance with visually distracting from the powerlines but being located for a suitable separation.

The final landscape works plans - would reflect any re-profiling required for flood hazard mitigation, safety of park users and to facilitate land management maintenance and access. Where earth shaping is required it should be undertaken with consideration of any opportunities to provide flatter areas suitable for recreation.

Rehabilitation of watercourses - retain existing indigenous species where practical and any new plantings/seedings to use local riparian species selected to provide a vegetation structure consistent with a low fire hazard threat, i.e. a discontinuous strip less than 20m wide and more than 20m from lot boundaries would establish a park-like open character.

The final selection of trees for retention, species for planting and the structure and location of vegetation on the Works Landscape Plans to reflect advice from project arborist, fire and biodiversity consultants, current fire and weed management plans, good practice for practical maintenance and liaison with Council and infrastructure authorities.

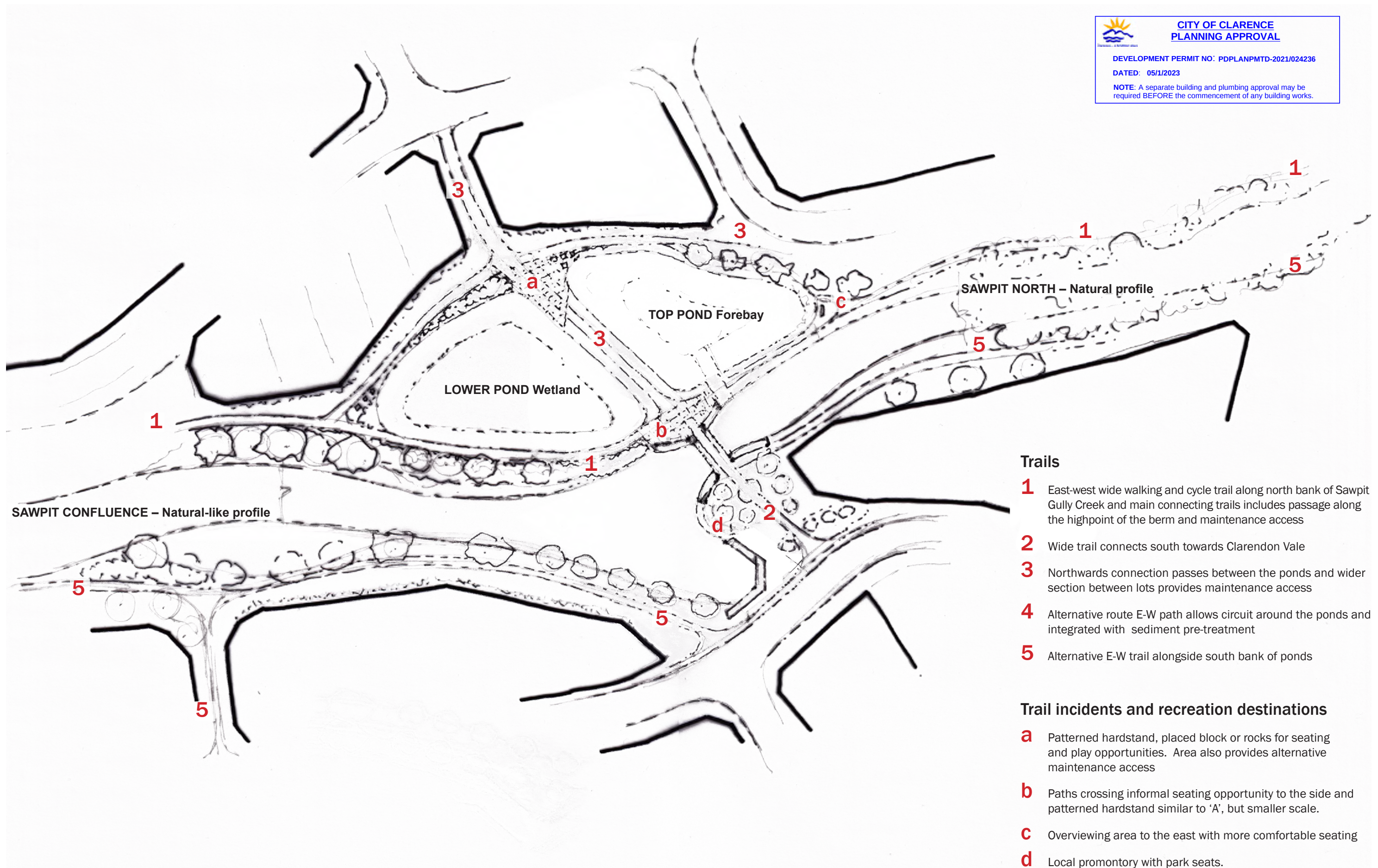
- 1 Multiple use all weather emergency and maintenance accessway and recreational use, key POS connections
- 2 Minor POS trails for recreation, walking
- 3 Prominent entrances into parkland from adjacent roads, alert drivers to likelihood of pedestrians
- 4 Retain, re-establish an allusion to the original riparian woodland along waterways
- 5 Open relatively level parkland area suitable for active or informal play
- 6 Retain options for future more formalised recreation area
- 7 Possible future incidental seating and play opportunities
- 8 Wetland ponds refer Ferndene Studio drawing Wetlands Ponds and Environs

Retained open woodland - northern slopes balance area
The open grassy woodland vegetation is to be retained as a bushland park, except where fire hazard management is required (refer BHMP Menadue 2021).

Following finalisation of investigation into options for future residential use, gravel paths through the woodland will be constructed to connect to nearby POS areas to the north the west (145 and 91 Pass Road).

Fences alongside POS Where lots adjoin public open space areas on rear or side boundaries fences that allow some views into the adjacent open space from residences or their grounds will be constructed as part of subdivision works. Those fences will be solid, opaque (and of low visual prominence) up to a height of 1.2m with the views into the open space being through an upper section of at least 300mm depth of lattice or a comparable visually permeable construction.





PARANVILLE WATERWAY SWALES: - emerging directions
Principles for establishing natural landscape character where reshaping is required

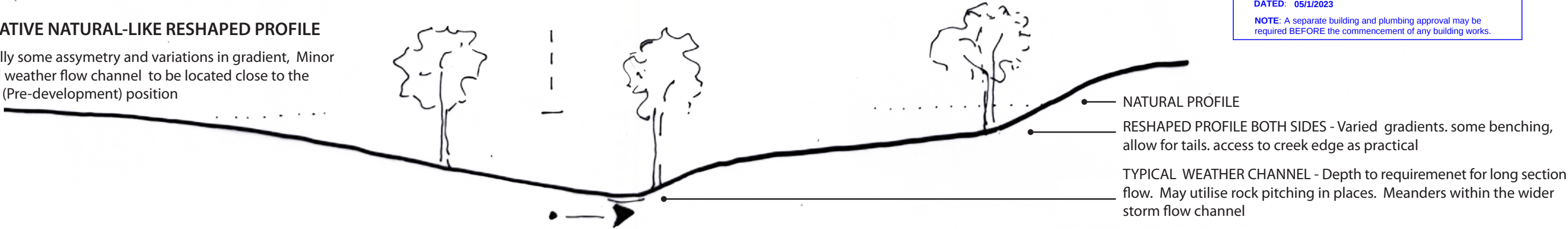


CITY OF CLARENCE
PLANNING APPROVAL

DEVELOPMENT PERMIT NO: PDPLANPMTD-2021/024236
 DATED: 05/1/2023
 NOTE: A separate building and plumbing approval may be required BEFORE the commencement of any building works.

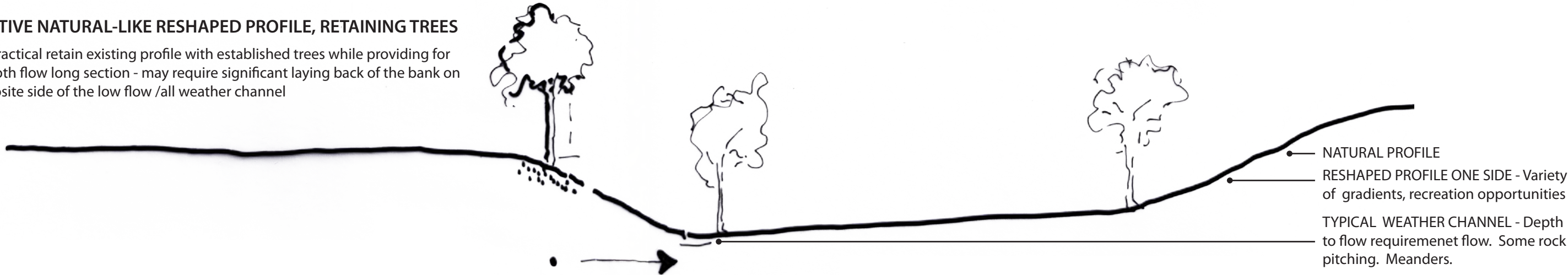
INDICATIVE NATURAL-LIKE RESHAPED PROFILE

Generally some assymetry and variations in gradient, Minor flow/all weather flow channel to be located close to the natural (Pre-development) position



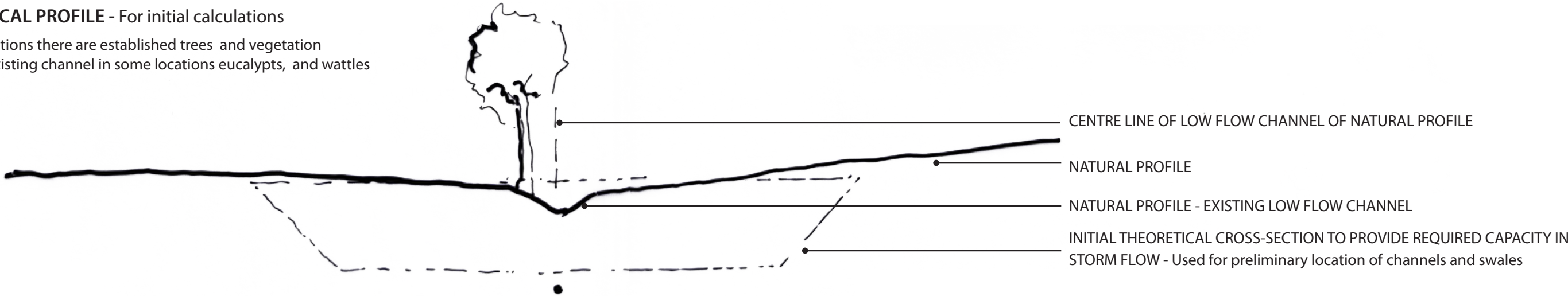
INDICATIVE NATURAL-LIKE RESHAPED PROFILE, RETAINING TREES

Where practical retain existing profile with established trees while providing for the smooth flow long section - may require significant laying back of the bank on the opposite side of the low flow /all weather channel



THEORETICAL PROFILE - For initial calculations

In some locations there are established trees and vegetation alongside existing channel in some locations eucalypts, and wattles



NOTES

Retain existing profile and vegetation (with weeds management). Balance minimising area of disturbance with gradients of banks to either side to provide recreation and passive enjoyment of a natural setting. Reshaping anticipated in the area below 91/93 boundary ponds and also to a less extent Stokell Creek south of Winterborne Drive. The section of Sawpit east of the ponds has been assessed HSCE/JMG as having sufficient capacity to not require changes to the channel - but may need consideration of the nature and extent of the vegetation retained.

Where trees are retained in the storm event flowwqy they are to be configured as intermittent isolated stems in line with in the direction of the flow to limit opportunities for obstruction (dams). If shrubs and groundcovers are anticipated the storm flow cross section would need to be expanded accordingly. Other considerations - safety including gradient and informal surveillance, practical for Council to maintain, and avoiding washouts during construction and plant establishment.



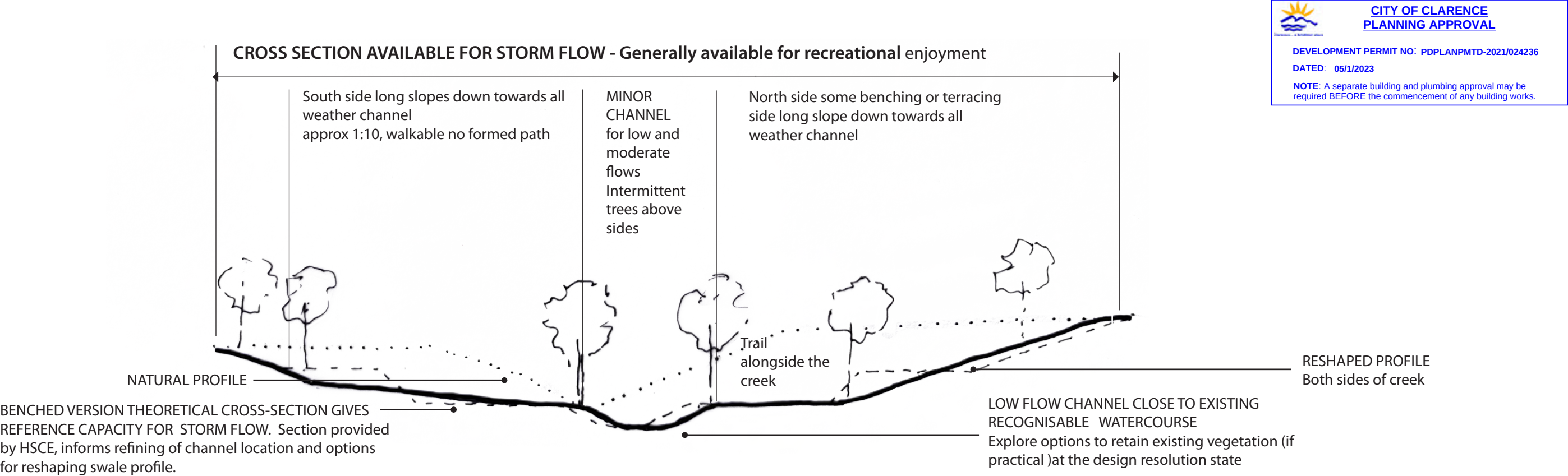
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PRELIMINARY WATERWAY SWALES
Wetlands Ponds and Environs. 93/91 Pass Road
 Subdivision, 93 Pass Road Rokeby

Dwg No: 91/93 Swale Sawpit LPDetail v3
 Sheet 1/2
 Scale: NTS at A3
 Date: 17-10-2022

Lesley Gulson
 Landscape Architect Planner
 Ferndene Studio
 For: HOTAS Pty Ltd

PARANVILLE WATERWAY SWALES: - emerging directions
 Indicative preliminary profile looking westwards around 30m west of the proposed ponds



Refer also HSCE 21281 Drawing set



WATERWAY CROSSINGS FOR WALKING AND CYCLE TRAILS
 Generally these crossings are to be low key, causeways or similar. Height and detail to allow for storm flow, easy access for trail users and connections of services where required. *Photo - crossing of Sorell Rivulet below Parsonage Place, Sorell*