DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062056

PROPOSAL: Two Multiple Dwellings

LOCATION: 31 Benboyd Circle, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 14/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 14/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 14/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

City of Clarence
38 Bligh St Rosny Park
PO Box 96
Rosny Park TAS, 7018

03 6217 9500
clarence@ccc.tas.gov.au
ccc.tas.gov.au

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Unit Development

Location: 31 Benboyd Circle Rokeby

Personal Information Removed

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Is the property on the Tasmanian Heritage Register? Yes ☐ No ☐

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☐

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.

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Development/use or subdivision checklist

Mandatory Documents
This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents
In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
  - Existing and proposed use(s) on site.
  - Boundaries and dimensions of the site.
  - Topography, including contours showing AHD levels and major site features.
  - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
  - Soil type.
  - Vegetation types and distribution, and trees and vegetation to be removed.

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- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:

- Internal layout of each building on the site.
- Private open space for each dwelling.
- External storage spaces.
- Car parking space location and layout.
- Major elevations of every building to be erected.
- Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
- Relationship of the elevations to natural ground level, showing any proposed cut or fill.
- Materials and colours to be used on rooves and external walls.

☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:

- Planting concepts.
- Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
- Plantings proposed for screening from adjacent sites or public places.

☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.

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RESULT OF SEARCH

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
5362	624
EDITION	DATE OF ISSUE
2	16-Sept-2022

SEARCH DATE : 26-Feb-2026
SEARCH TIME : 02.55 pm

DESCRIPTION OF LAND

City of CLARENCE
Lot 624 on Sealed Plan 5362
Derivation : Whole of Lot 36312 Gtd to The Director of Housing and Part of 125 Acres Gtd to D Lord
Prior CT 3430/71

SCHEDULE 1

5031 C.T. 5401 C.T. A431888 & M945244 DIRECTOR OF HOUSING
Registered 16-Sept-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

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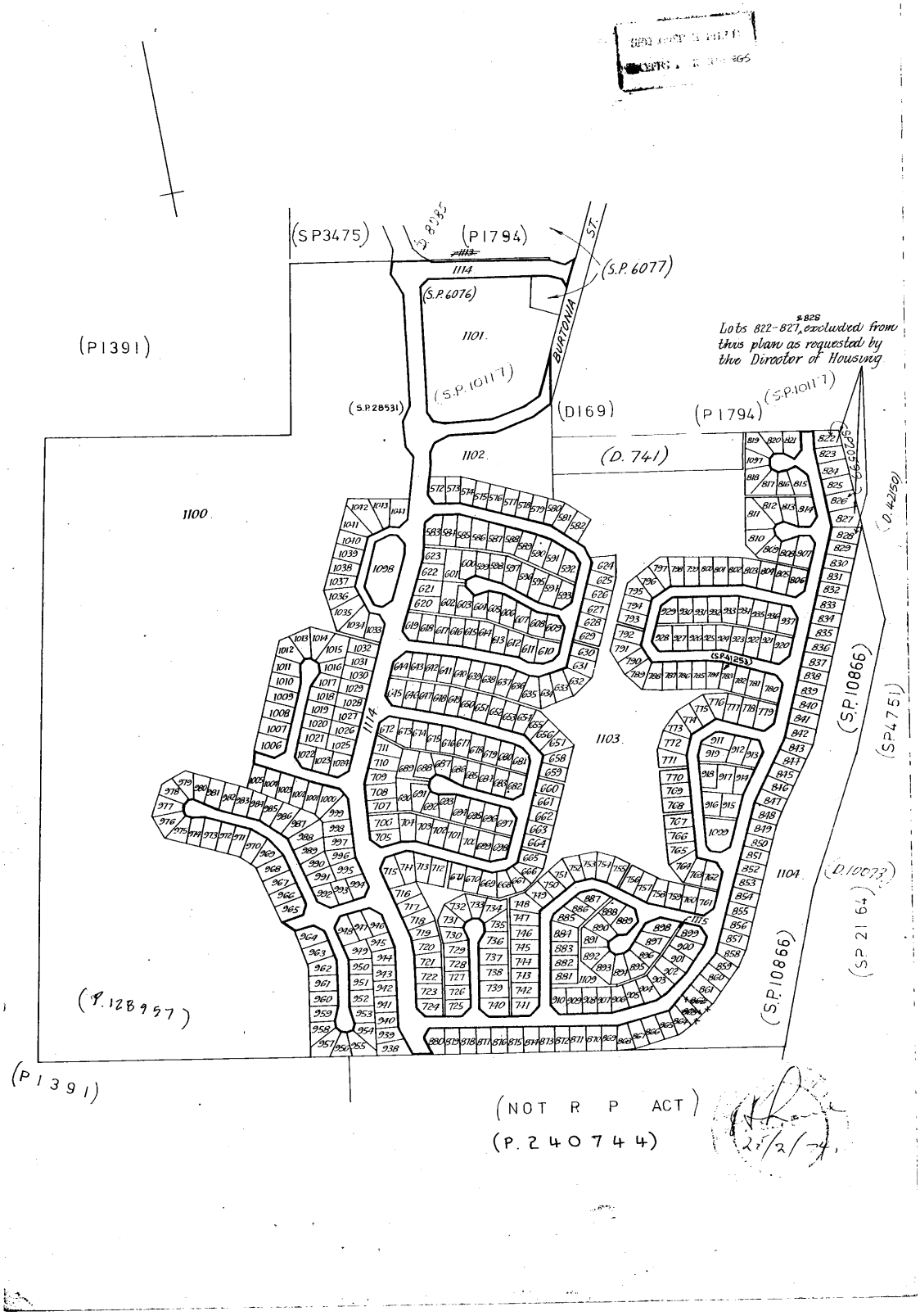
FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

Owner: The Director of Housing	PLAN OF SURVEY by Surveyor L.J. Holmes & G.J. Abbott of land situated in the	Registered Number: S.P. 5362
Title Reference: C.T. 3391-50 CT 3364-29	LAND DISTRICT OF MONMOUTH PARISH OF CLARENCE ROKEBY SUBDIVISION SCALE : 1 : 4000	Effective from 25-9-74
Grantee: Whole of Lot 36312, 87·56ha to Director of Housing Part of 125 acres Granted to D. Lord, 63-2-0 ~~Gtd to M Maum, 70 acres Lse to W Maum, 38-2-0 Gtd to B Joseph and 130 acres Gtd to F Butler and J McBrownie~~ MEMO		P/1 M Matthinson Recorder of Titles

LENGTHS ARE IN METRES.



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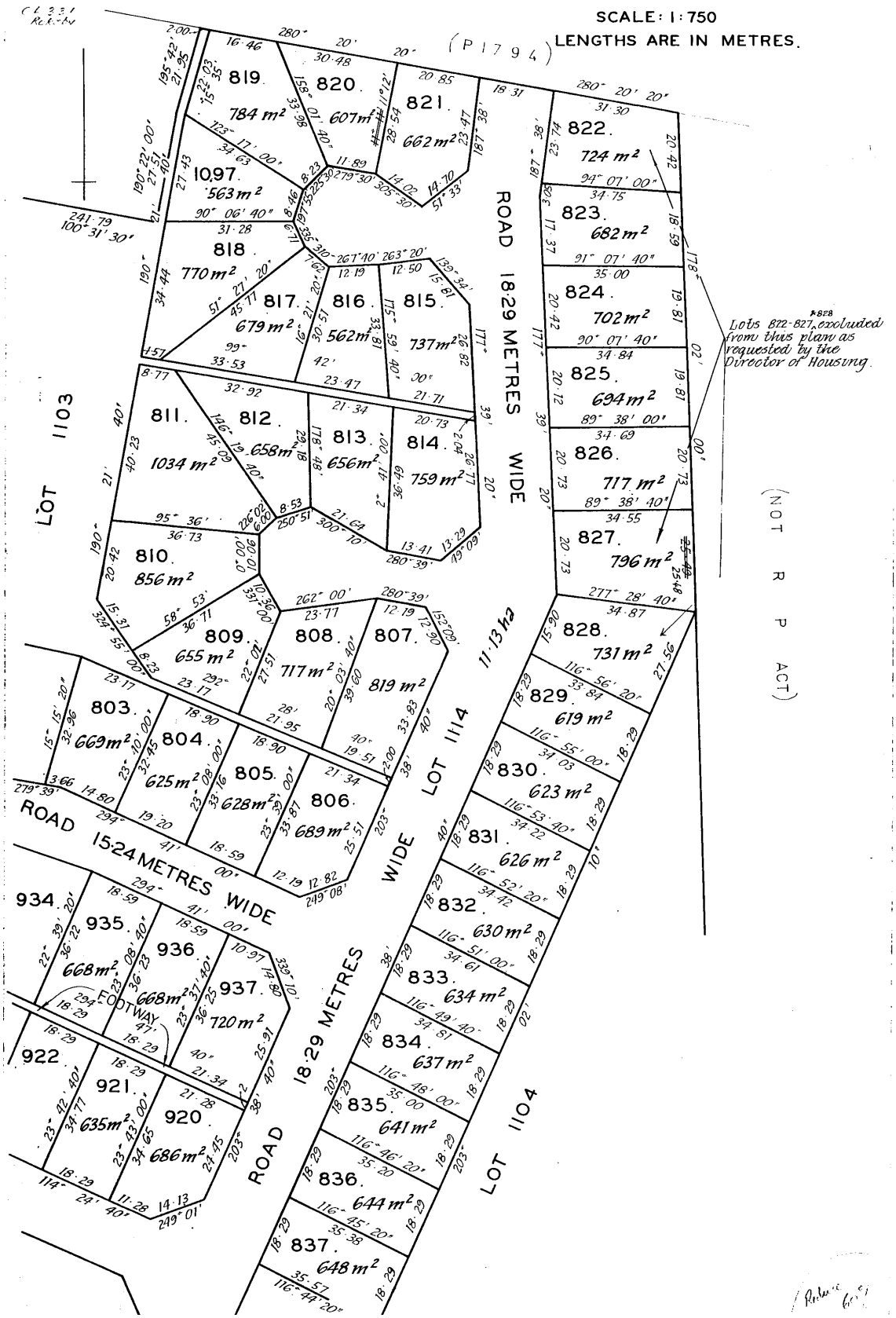
ANNEXURE SHEET No. 1. (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10·1·73 and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor L. J. Mol...	
	Owner:	
Council Clerk	Title Reference:	

SCALE: 1:750
LENGTHS ARE IN METRES.



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ANNEXURE SHEET No. 2. (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: Title Reference:	

SCALE: 1:750
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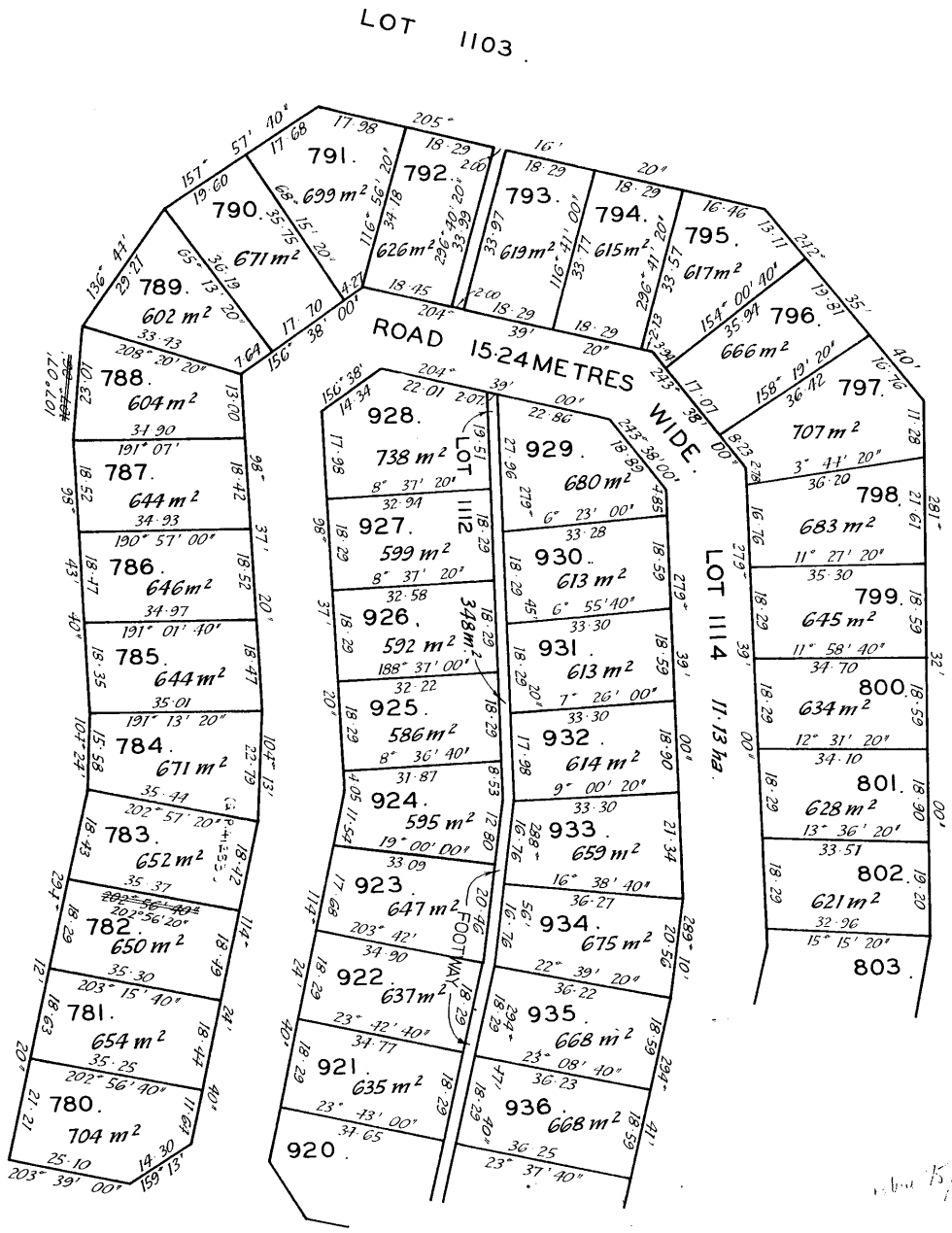

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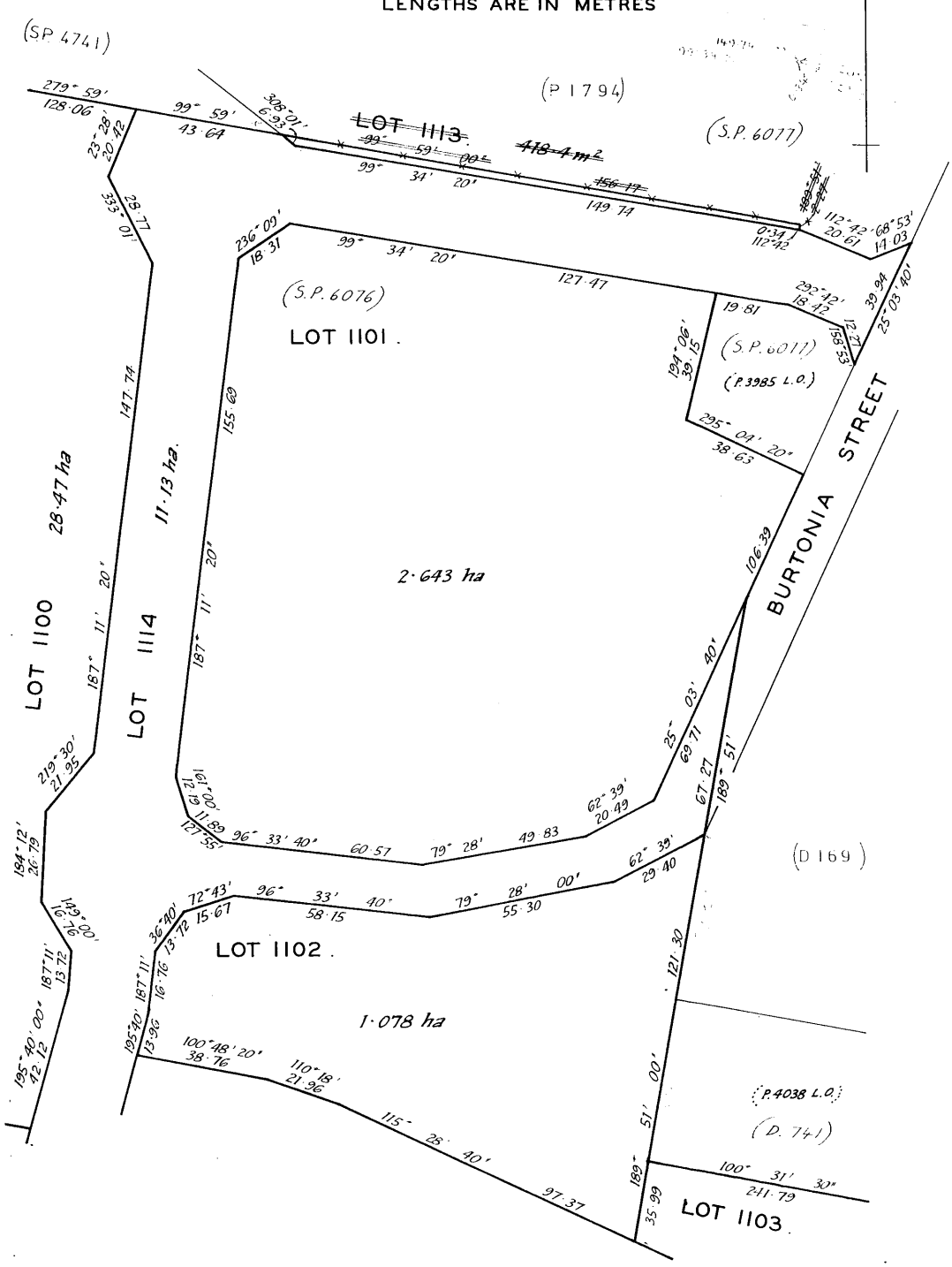
ANNEXURE SHEET No. 3. (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10-1-75 and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	P/1
Council Clerk	Owner:	
	Title Reference:	

SCALE : 1:1000
LENGTHS ARE IN METRES



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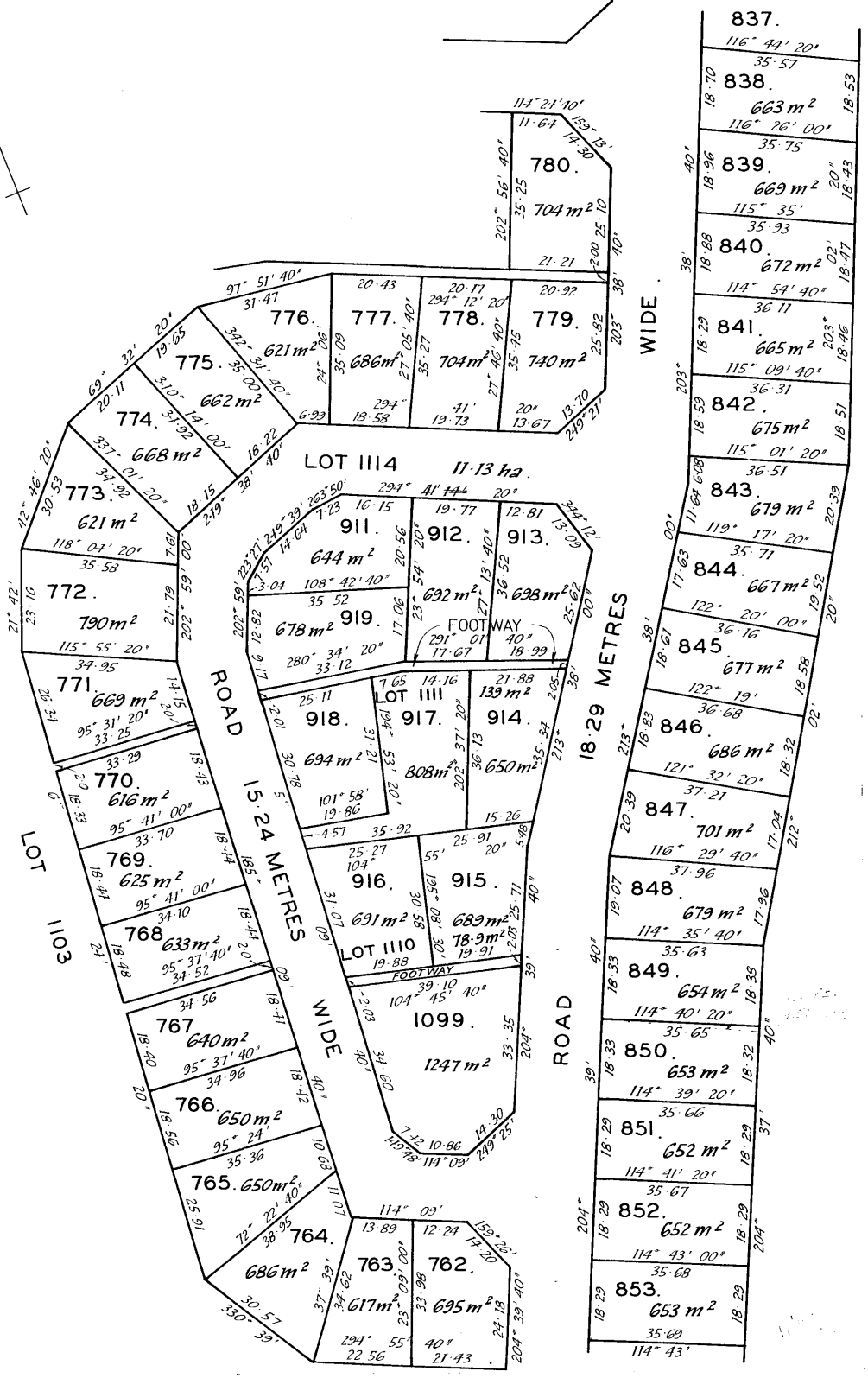
ANNEXURE SHEET No. 4 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10·1·73 and that certificate extends to the detail shown on this sheet.	Registered Number:
Signed for the purposes of identification	Surveyor	S.P.5362
Council Clerk	Owner: Title Reference:	

SCALE : 1:750
LENGTHS ARE IN METRES.



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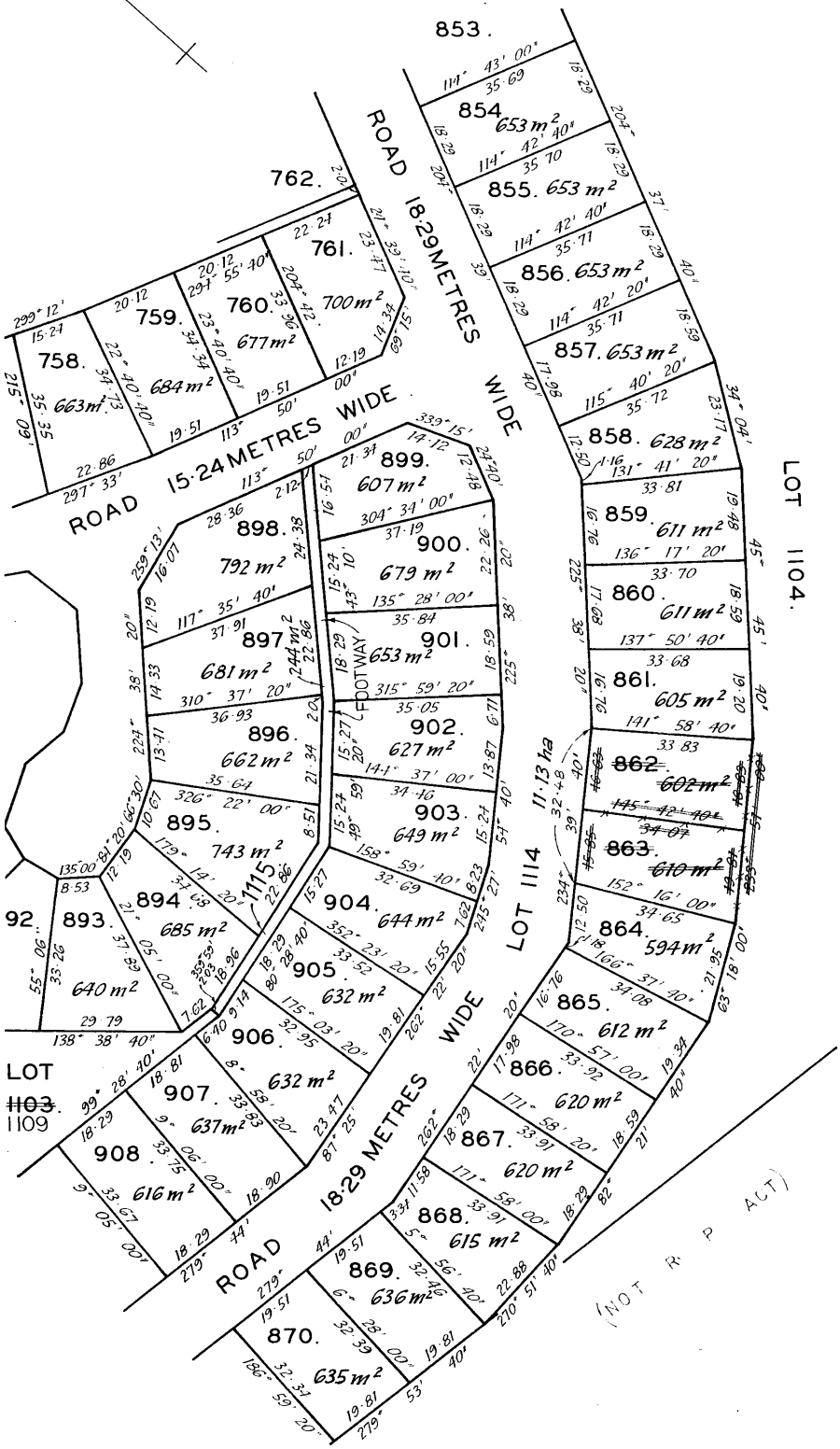
ANNEXURE SHEET No. 5. (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10·1·73 and that certificate extends to the detail shown on this sheet.	Registered Number:
Signed for the purposes of identification	Surveyor L. J. Hall	S.P.5362
Council Clerk	Owner:	
	Title Reference:	

SCALE : 1:750
LENGTHS ARE IN METRES.



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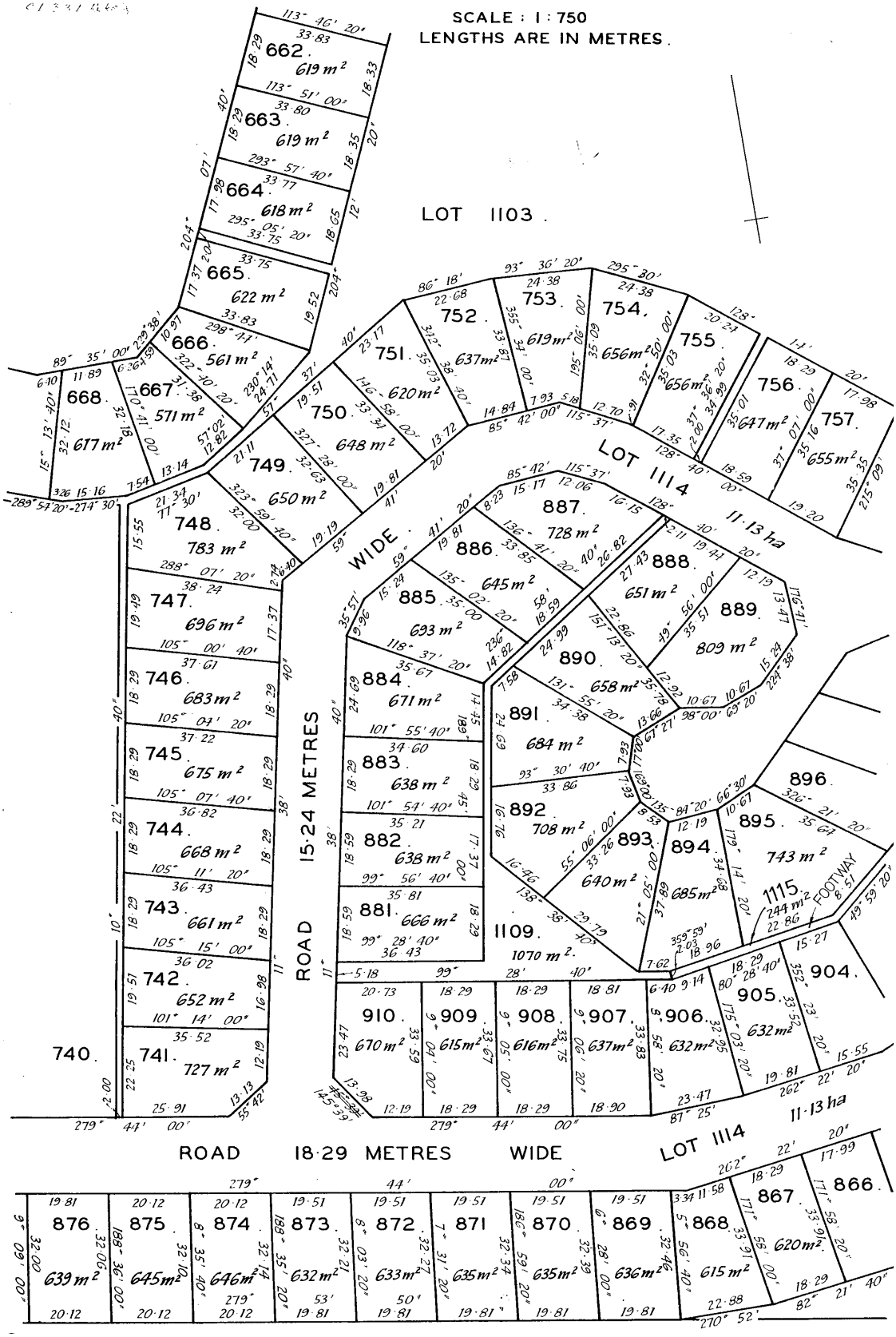
ANNEXURE SHEET No. 6 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10·1·73 and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner:	
	Title Reference:	

SCALE : 1 : 750
LENGTHS ARE IN METRES.



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ANNEXURE SHEET No. 7. (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10·6·75 and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: Title Reference:	

SCALE: 1:750
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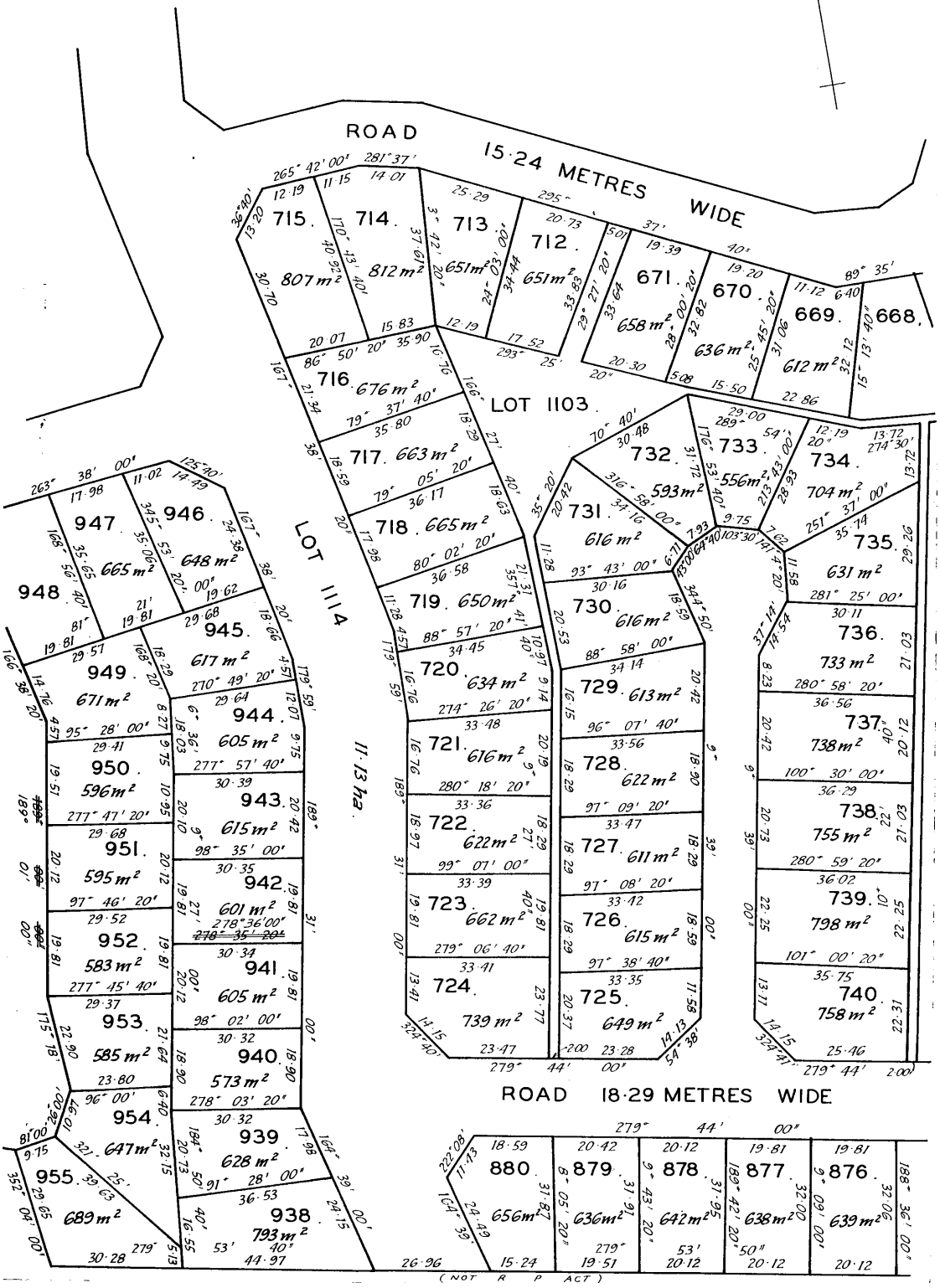
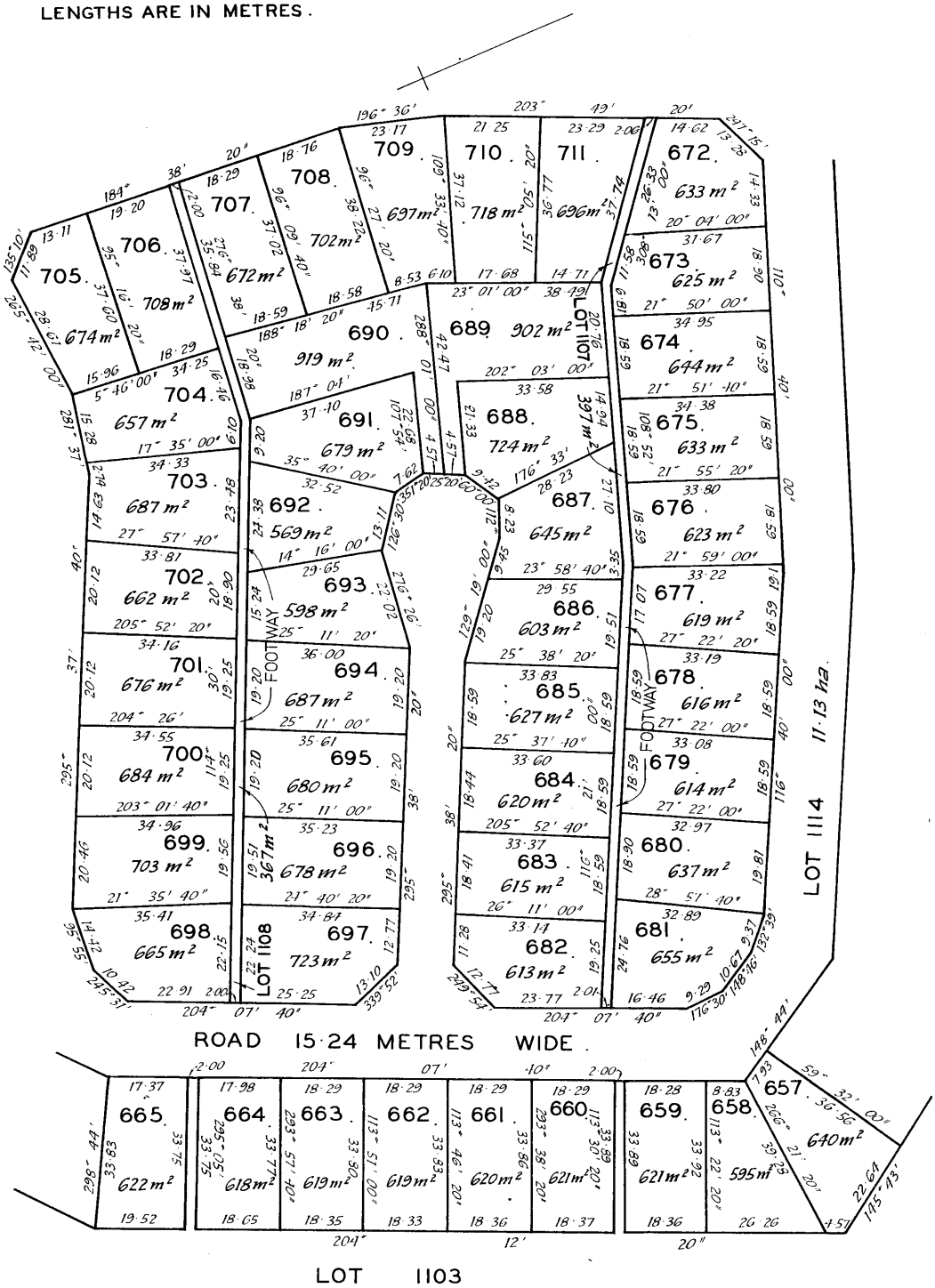


ANNEXURE SHEET No. 8 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated [illegible] and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: Title Reference:	

SCALE : 1 : 750
LENGTHS ARE IN METRES.



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ANNEXURE SHEET No. 9 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 10.1.72 and that certificate extends to the detail shown on this sheet.	Registered Number: S.P. 5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: Title Reference:	

SCALE : 1:750

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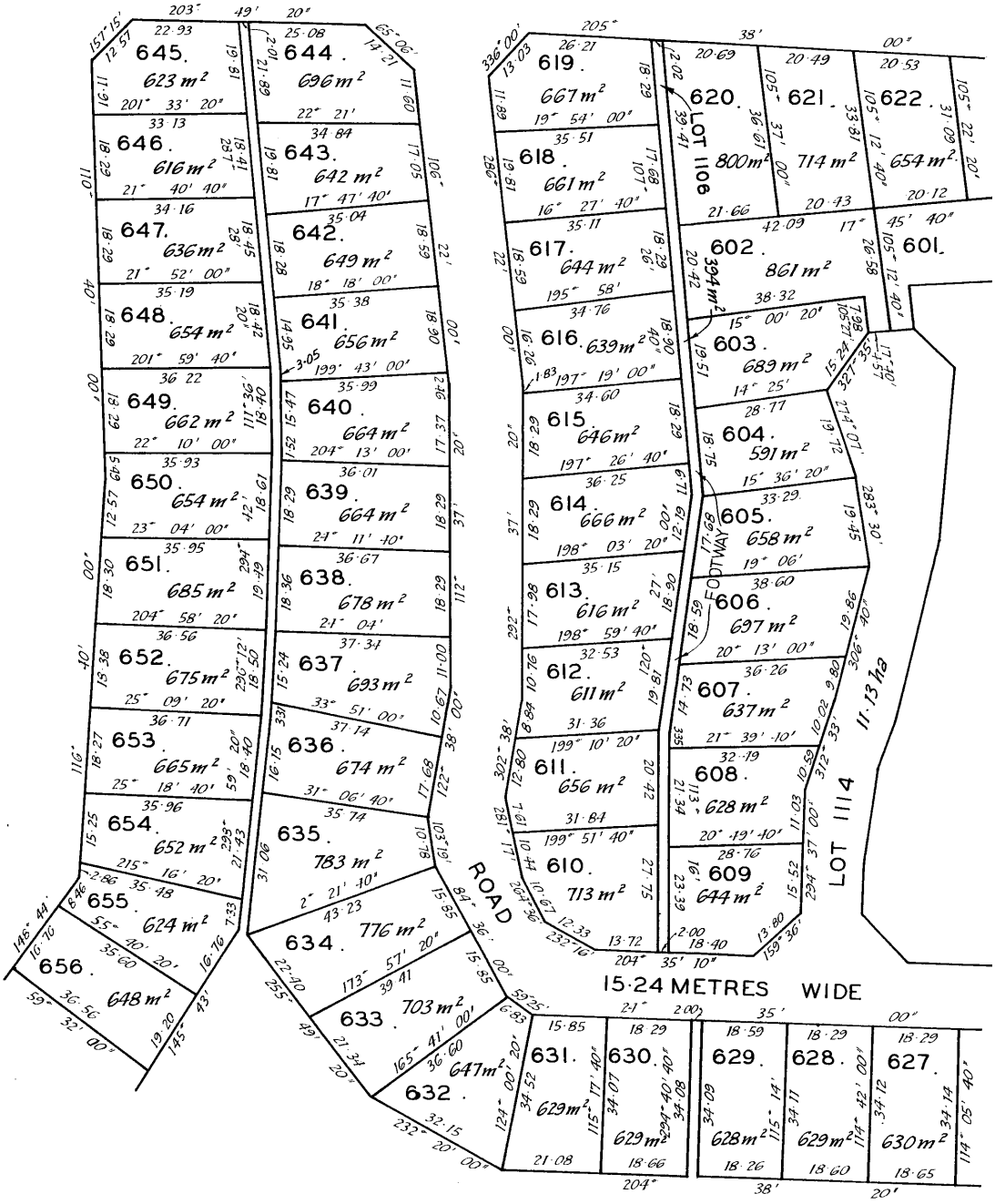

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ANNEXURE SHEET No. 10 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated [illegible] and that certificate extends to the detail shown on this sheet.	Registered Number:
Signed for the purposes of identification	Surveyor [illegible]	S.P.5362
Council Clerk	Owner:	
	Title Reference:	

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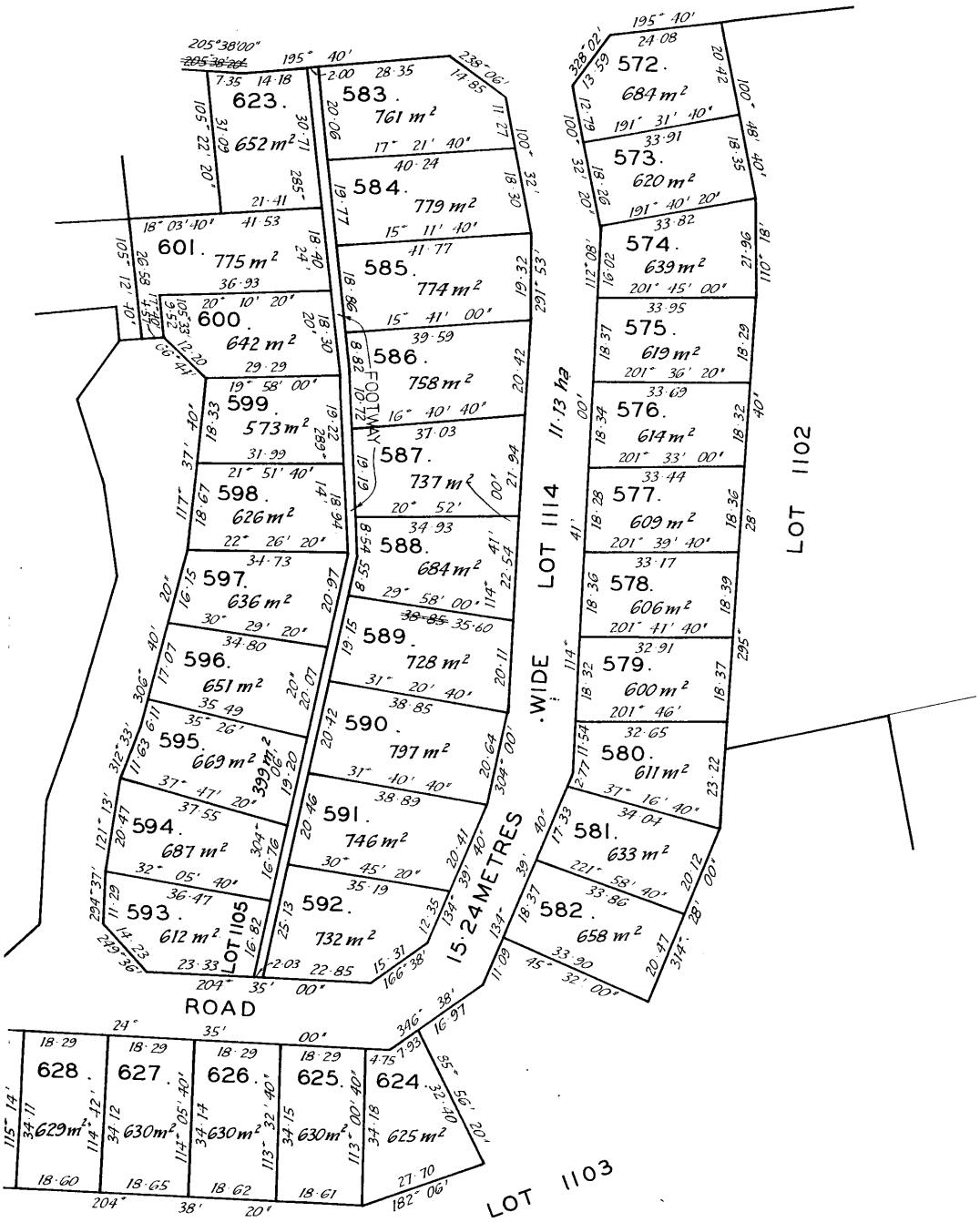

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ANNEXURE SHEET No. 11 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: Title Reference:	

SCALE : 1 : 750
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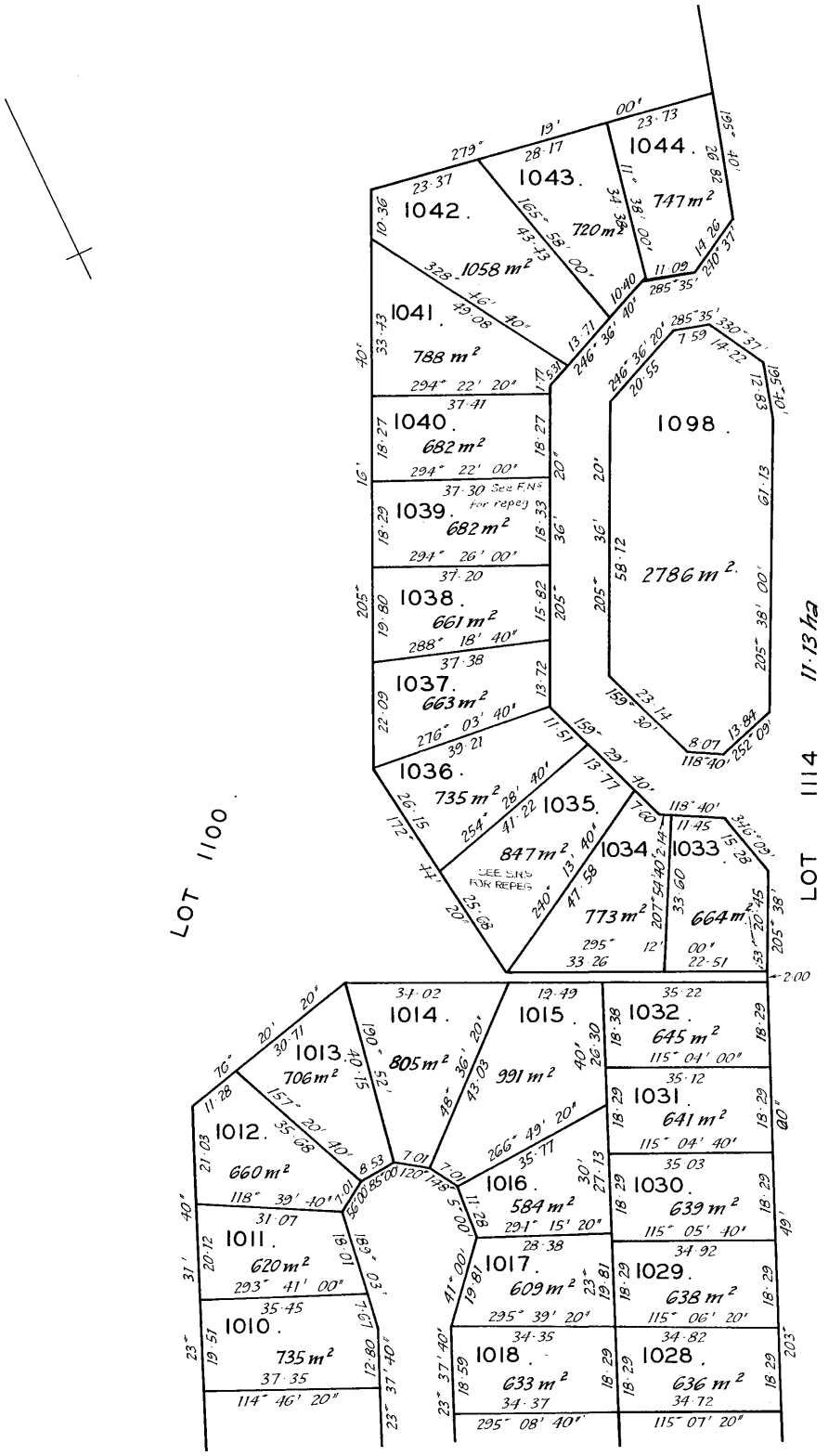

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ANNEXURE SHEET No. 12 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated and that certificate extends to the detail shown on this sheet.	Registered Number:
Signed for the purposes of identification	Surveyor	S.P.5362
Council Clerk	Owner:	
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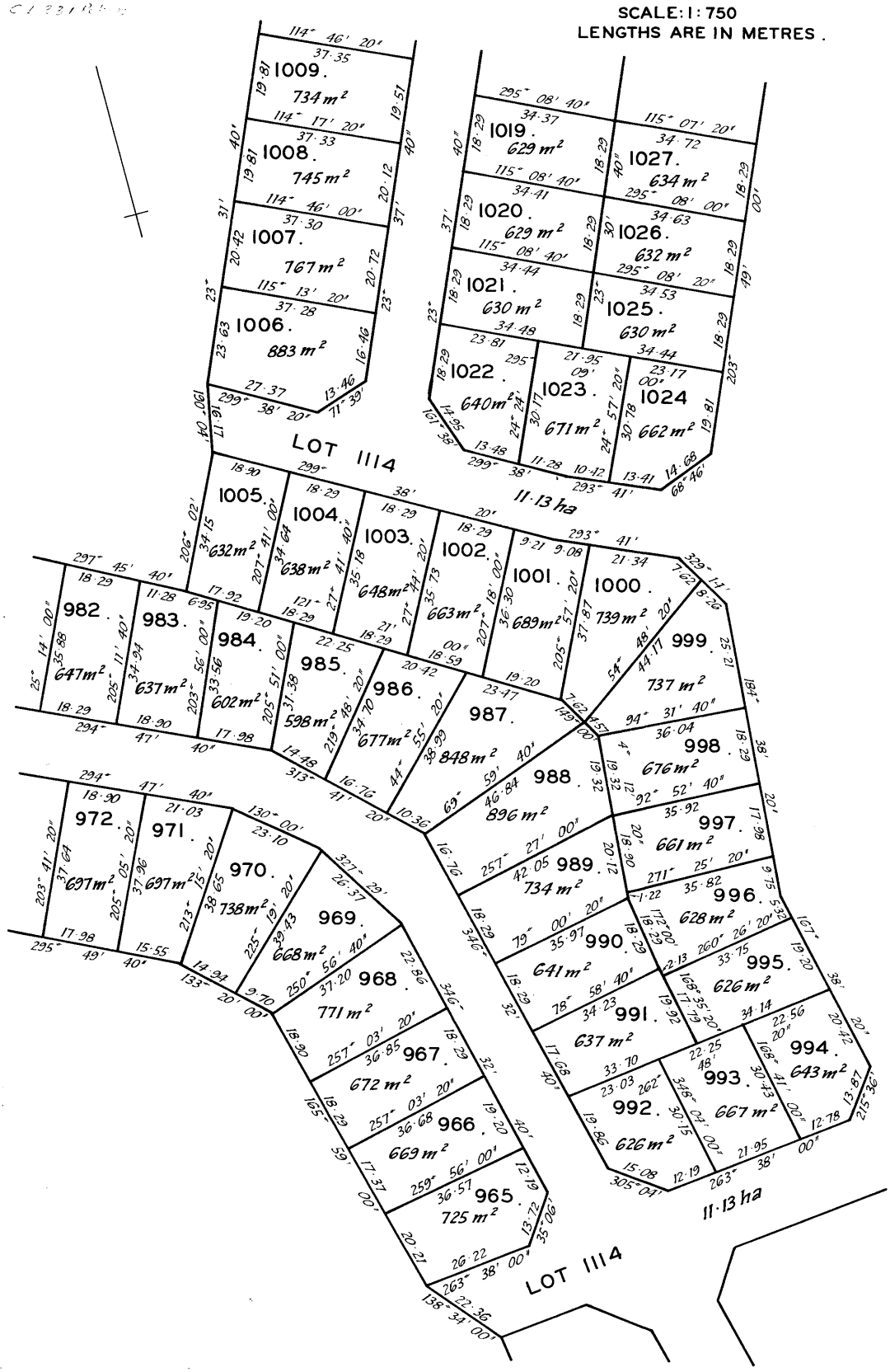

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ANNEXURE SHEET No. 13 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
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Council Clerk	Owner: Title Reference:	

SCALE: 1 : 750

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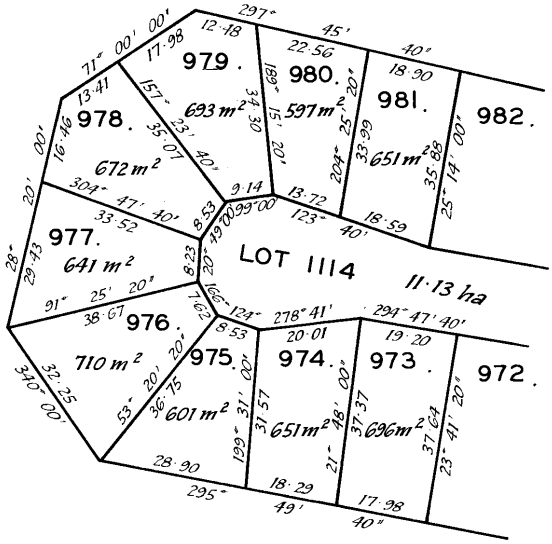

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ANNEXURE SHEET No. 14 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated ... and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: / Title Reference:	

SCALE: 1:750

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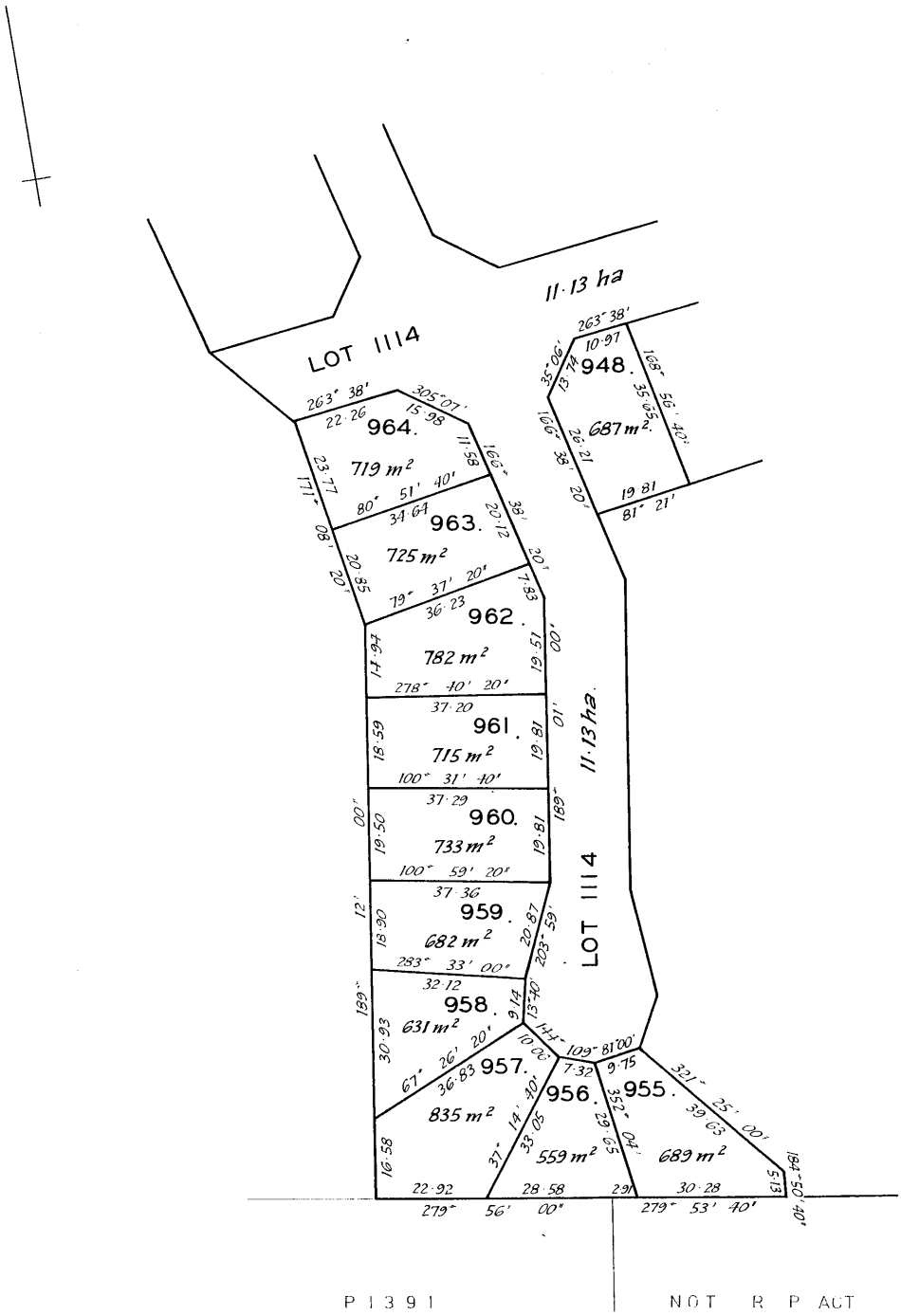

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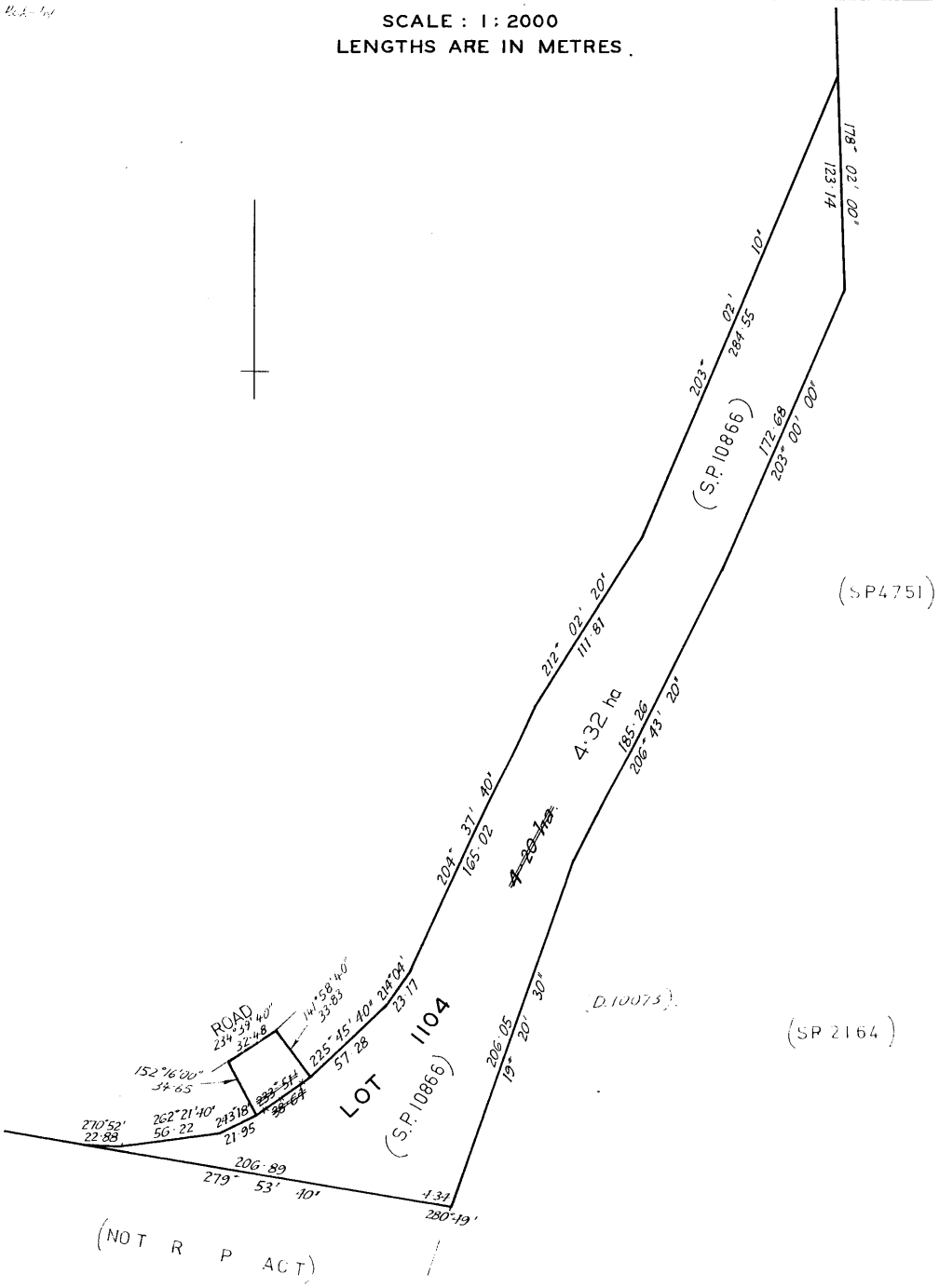
ANNEXURE SHEET No. 15 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: Title Reference:	

SCALE : 1 : 2000

LENGTHS ARE IN METRES



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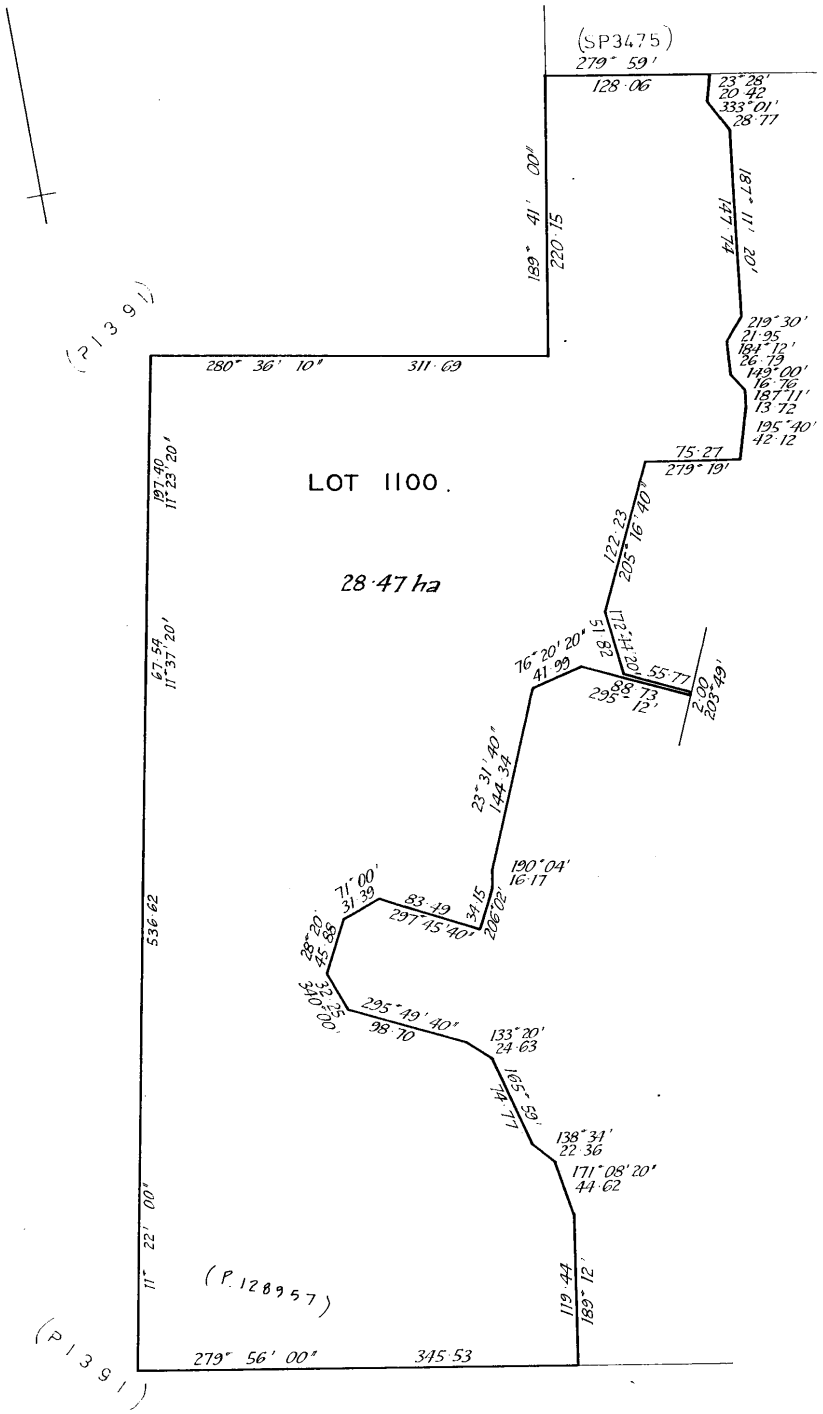
ANNEXURE SHEET No. 16 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated ..., and that certificate extends to the detail shown on this sheet.	Registered Number: S.P.5362
Signed for the purposes of identification	Surveyor	
Council Clerk	Owner: Title Reference:	

SCALE : 1 : 3000

LENGTHS ARE IN METRES.



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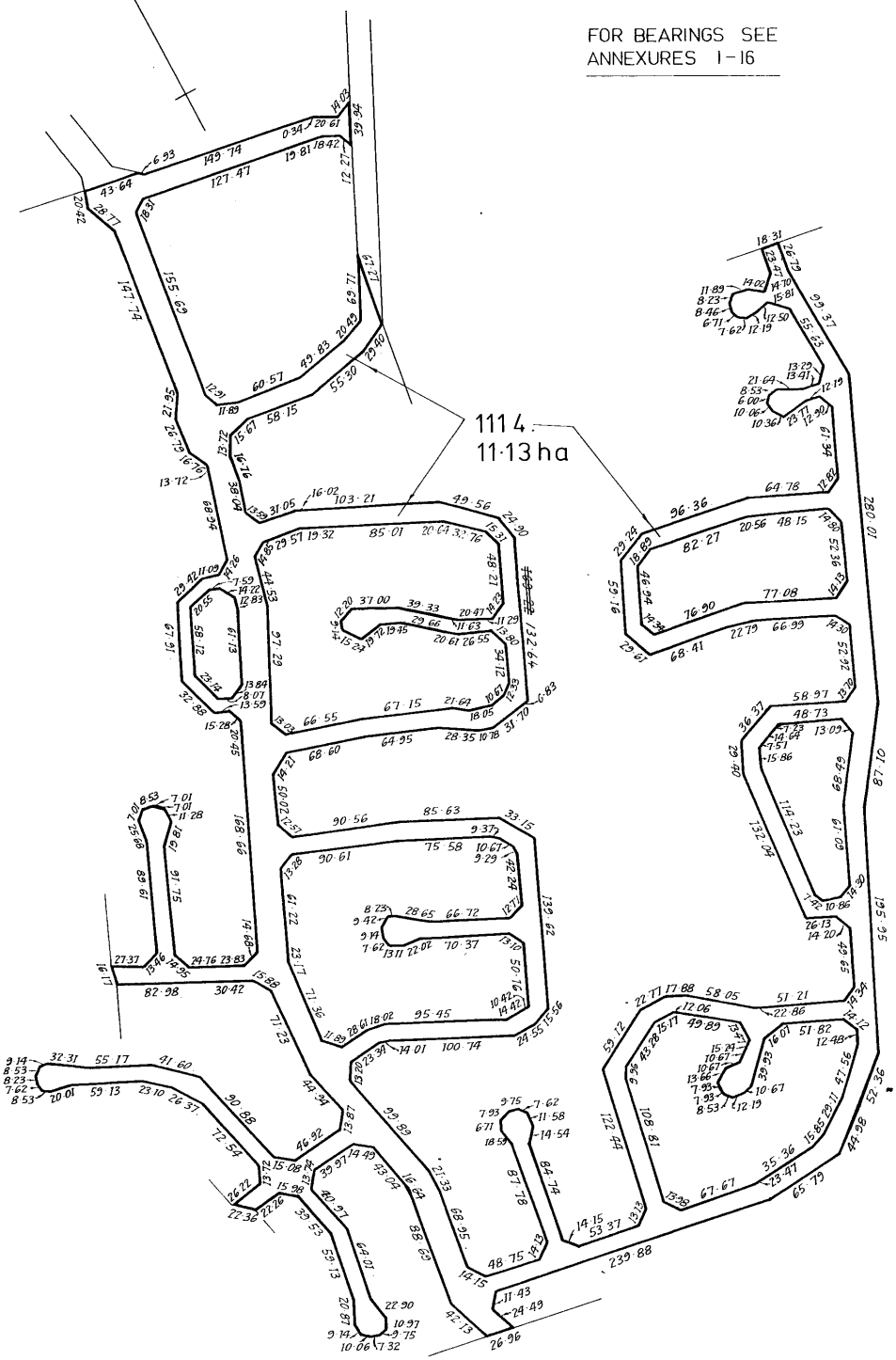
ANNEXURE SHEET No. 17 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated and that certificate extends to the detail shown on this sheet.	Registered Number:
Signed for the purposes of identification	Surveyor D. J. Holmes	S.P. 5362
Council Clerk	Owner:	
	Title Reference:	

SCALE: 1: 3000
MEASUREMENTS IN METRES.

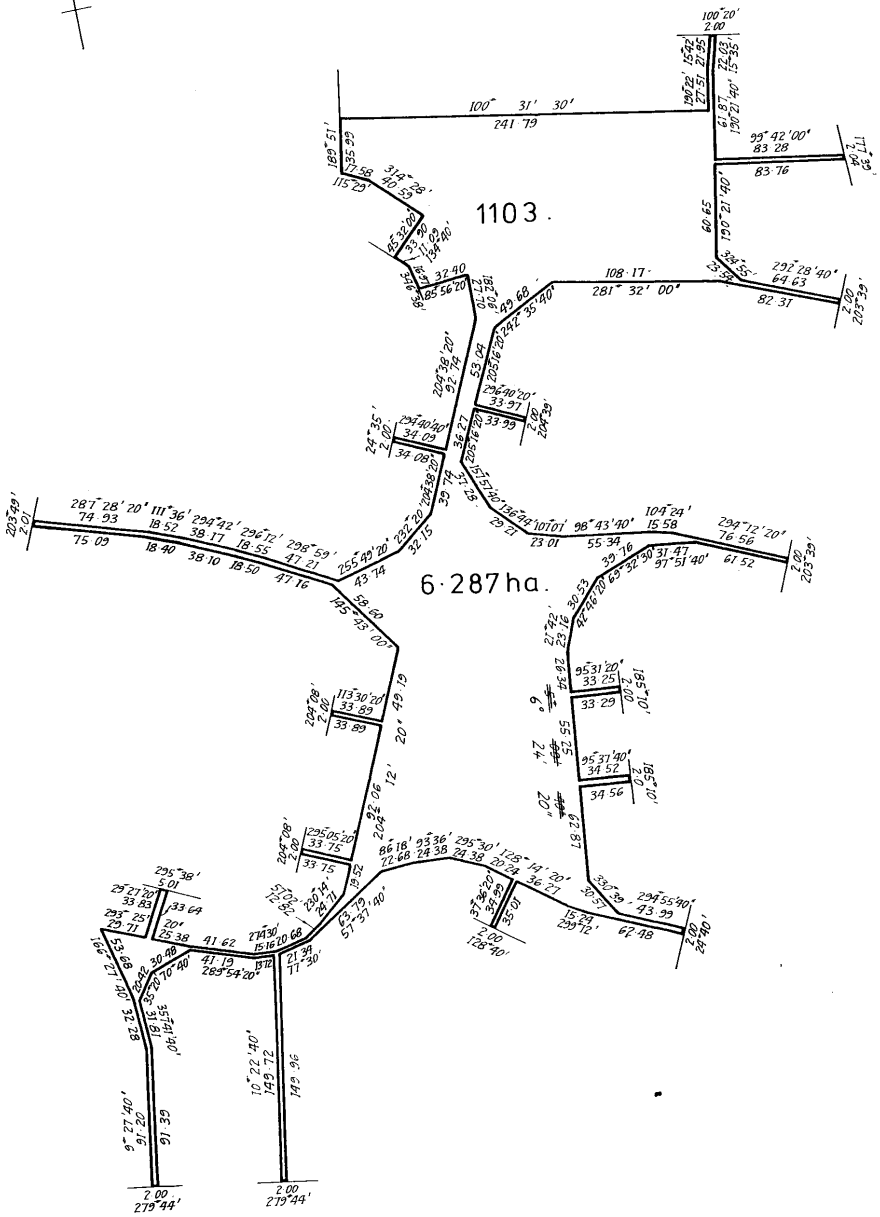
FOR BEARINGS SEE ANNEXURES 1-16



ANNEXURE SHEET No. 18 (of 18 annexures) to plan by Surveyor	This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated and that certificate extends to the detail shown on this sheet.	Registered Number: S.P. 5362
Signed for the purposes of identification	Surveyor L. J. Holmes	
	Owner:	
Council Clerk	Title Reference:	

SCALE: 1 : 2500

MEASUREMENTS IN METRES.



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(7)

RECORDER OF TITLES TASMANIA

SCHEDULE OF EASEMENTS **PLAN NO.**

S.P.5362

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

No easements, profits a **prendre** or covenants are created to benefit or burden any lots shown on the plan.

THE DIRECTOR OF HOUSING registered proprietor of the land shown on the plan in the presence of:-

Certified correct for the purpose of the Real Property Act, 1862, as amended.

LESLIE FERGUSON ALLWINTON,
DIRECTOR OF HOUSING.

25/2/74

This is the schedule of easements attached to the plan of Rokeby Subdivision Stage III comprising part of the land in

(*Insert Title Reference*)

Sealed by ..... on ..... 19.....

Council Clerk/Town Clerk

47818

Document Set ID: 5941224
Version: 1, Version Date: 12/06/2026
Department of Natural Resources and Environment Tasmania
www.thelist.tas.gov.au

Homes Tasmania

Building homes, creating communities.

Clarence City Council
Ian Nelson
Chief Executive Officer
38 Bligh Street (PO Box 96)
ROSNY PARK TAS 7018

To whom it may concern,

Subject: Landowner consent - Statutory Applications

31 Benboyd Circle, Rokeby CT 5362/624

As a person authorised under Section 12(1) of the *Homes Tasmania Act 2022*, on behalf of Homes Tasmania, I Richard Gilmour, hereby give the applicant permission to the making of the following involving land in the ownership Homes Tasmania at the nominated address. Please note, as of 1st December 2022 the Director of Housing ceased to exist. Under Schedule 2(5) of the *Homes Tasmania Act 2022* all reference to the Director of Housing is to be taken to be a reference to Homes Tasmania.

- Development Application;
- Building Surveyor Application;
- Building and Plumbing Application;
- TasWater, TasNetworks and NBN Applications; and
- Access to Council, TasWater and TasNetworks records and drawings pertaining to the nominated address.

Yours sincerely

Richard Gilmour
Director – Community Infrastructure
Homes Tasmania
3 June 2026

GPO Box 65
Hobart, TAS, 7001
homestasmania.com.au
HousingProjects@homes.tas.gov.au

Contact Officer: Rachael Benjamin
Phone: 6166 3578
Email: rachael.benjamin@homes.tas.gov.au

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026

THIS PLAN IS ACCEPTED BY:

.....

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals.
SIGNATURE:

.....

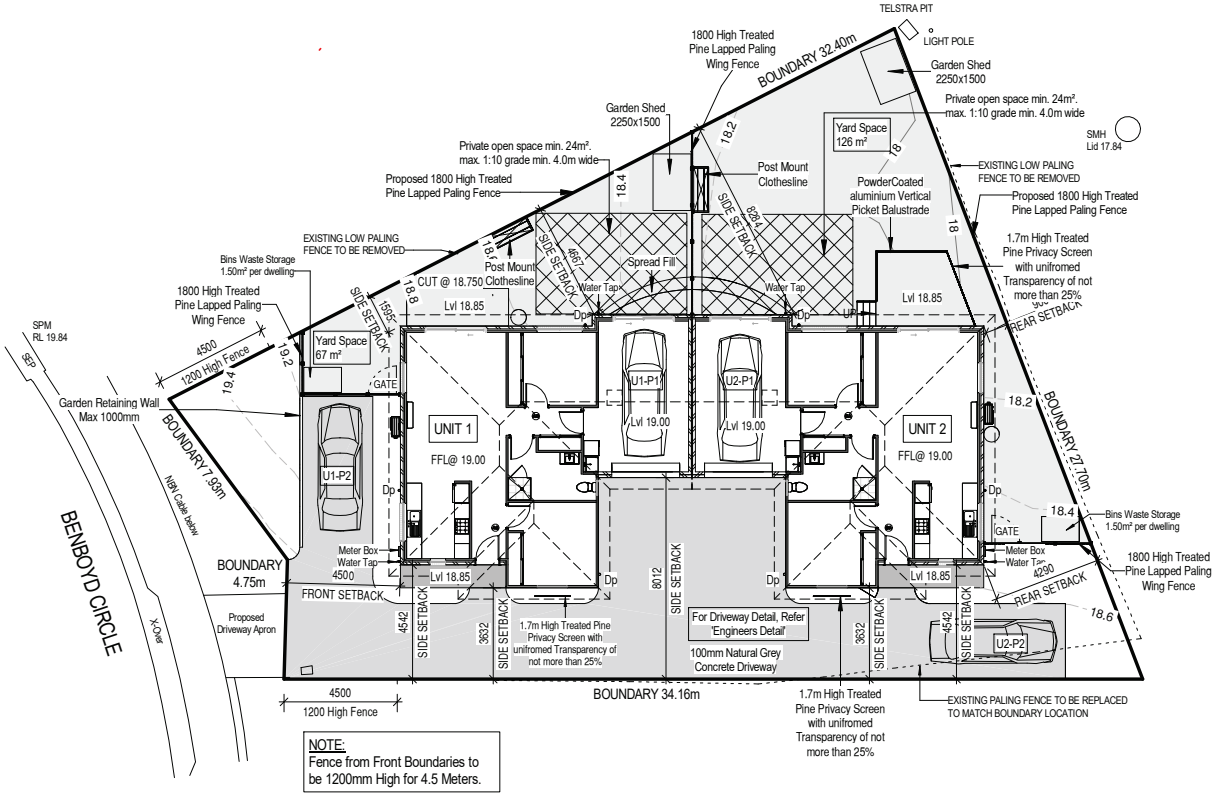
DATE:

.....

U1-CL	21.400
U1-Ground FL	19.000

U2-CL	21.400
U2-Ground FL	19.000

RONALD YOUNG + CO BUILDERS
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



NOTE:
Fence from Front Boundaries to be 1200mm High for 4.5 Meters.

AREA SCHEDULE

Site Area	:	683 m²
UNIT 1:		
Ground Floor (Dwelling)	:	102.5 m²
Porch	:	3.8 m²
Outdoor Living	:	6.0 m²
UNIT 2:		
Ground Floor (Dwelling)	:	102.5 m²
Porch	:	3.8 m²
Outdoor Living	:	6.0 m²
Total Floor Area U1+U2	**:**	**205 m²**
Total PORCH/O.L. U1+U2	**:**	**19.6 m²**

GLAZING NOTE:
All windows are Double glazed

NOTE:
Builders' responsibility to protect stormwater pipes during construction.

BAL : LOW

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Rev.	Date	Revision Description	Drawn
D	14.08.2026	Modified as RY markups	RK
C	23.06.2026	Party wall detail added	RK
B	01.06.2026	Bath layout modified	RK
A	27.05.2026	Modified as RY markups	RK
	15.05.2026	BA PLANS	RK

DRAWING: SITE PLAN
DATE: 14.08.2026
FILE NAME: 2396
DRAWN BY: RK
DWG No: 01

Scale: 1 : 200

PROPOSED DWELLING FOR HOMES TASMANIA
AT 31 BENBOYD CIRCLE, ROKEBY

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026

THIS PLAN IS ACCEPTED BY:

.....

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SIGNATURE:

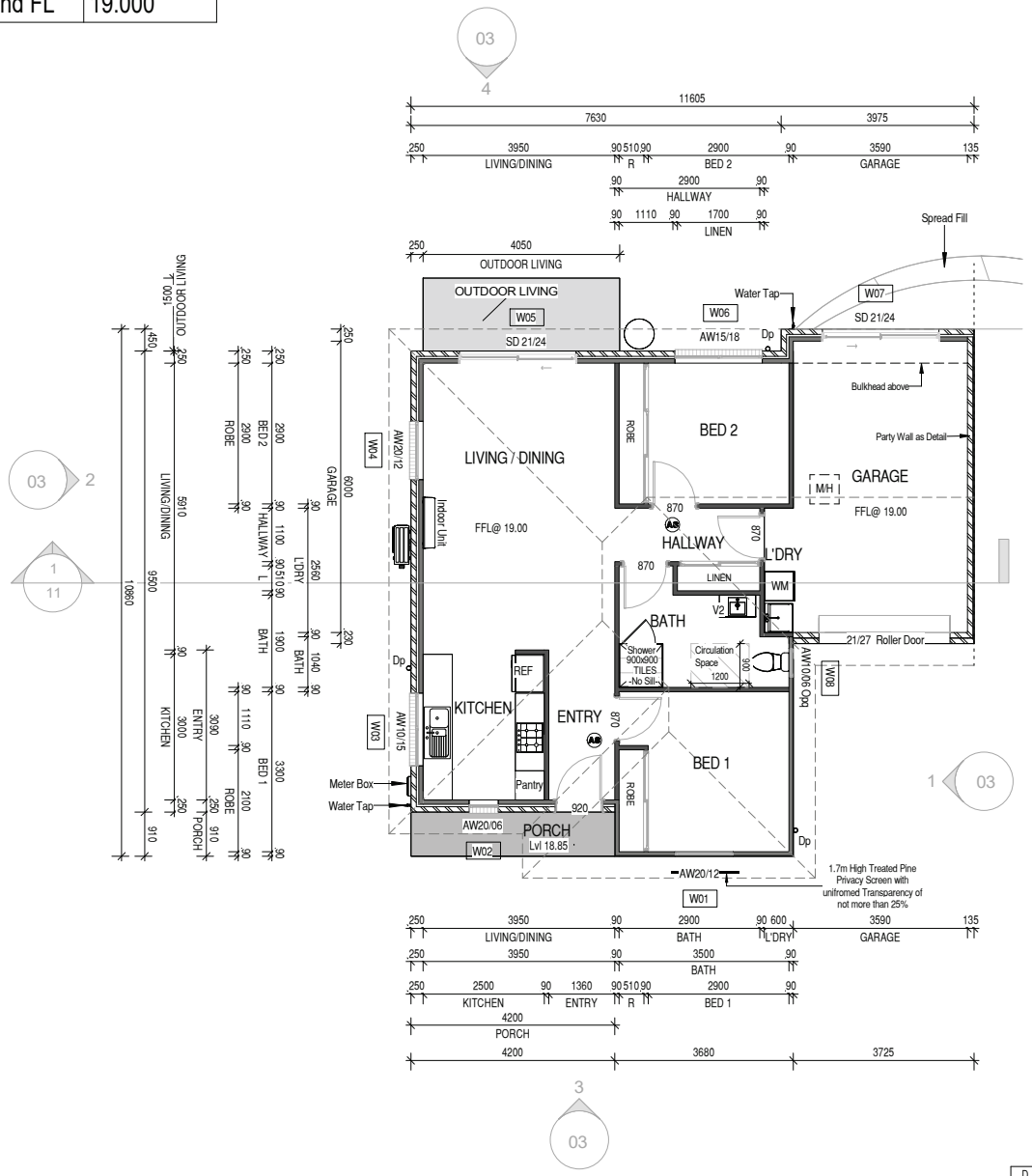
.....

DATE:

.....

U1-CL	21.400
U1-Ground FL	19.000

RONALD YOUNG + CO BUILDERS
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



NOTES:

AJ Articulation Joint
Dp Down Pipe

For Kitchen Details,
Refer to Kitchen Joinery Design

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Site Area	:	683 m²
UNIT 1:		
Ground Floor (Dwelling)	:	102.5 m²
Porch	:	3.8 m²
Outdoor Living	:	6.0 m²
UNIT 2:		
Ground Floor (Dwelling)	:	102.5 m²
Porch	:	3.8 m²
Outdoor Living	:	6.0 m²
Total Floor Area U1+U2	**:**	**205 m²**
Total PORCH/O.L. U1+U2	**:**	**19.6 m²**

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: U1-FLOOR PLAN
DATE: 14.08.2026
FILE NAME: 2396
DRAWN BY: RK
DWG No: 02

Rev.	Date	Revision Description	Drawn
D	14.08.2026	Modified as RY markups	RK
C	23.06.2026	Party wall detail added	RK
B	01.06.2026	Bath layout modified	RK
A	27.05.2026	Modified as RY markups	RK
	15.05.2026	BA PLANS	RK

PROPOSED DWELLING FOR HOMES TASMANIA
AT 31 BENBOYD CIRCLE, ROKEBY

Scale: 1 : 100

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026

THIS PLAN IS ACCEPTED BY:

.....

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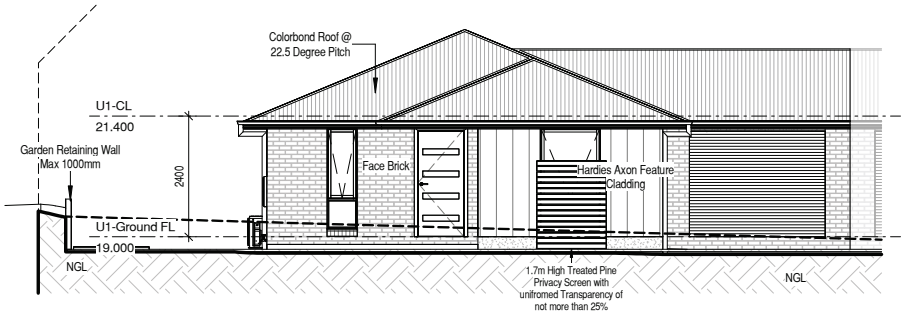
SIGNATURE:

.....

DATE:

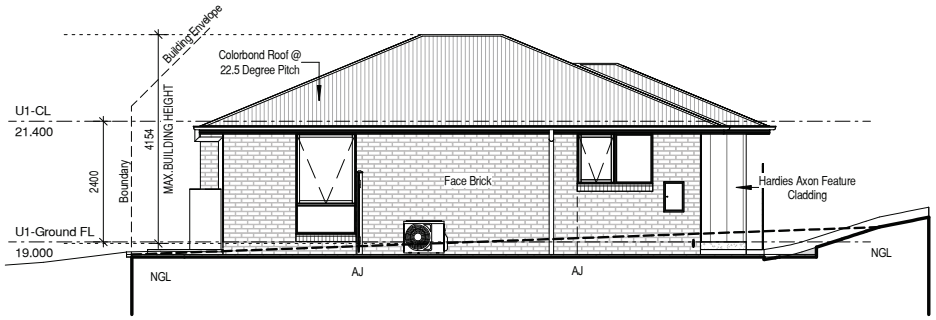
.....

RONALD YOUNG + CO BUILDERS
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633

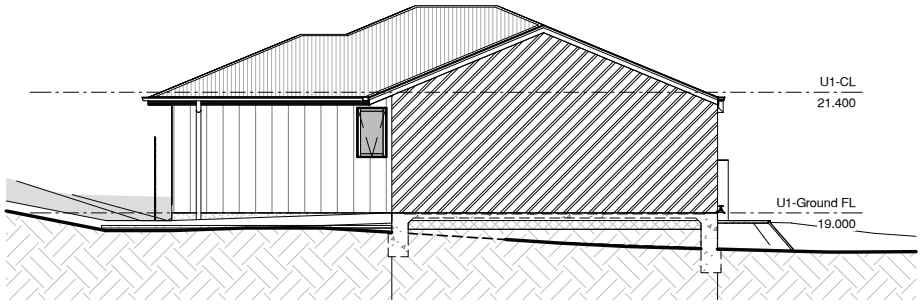


U1-South Elevation

U1-North Elevation



U1-West Elevation



U1-East Elevation

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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B	01.06.2026	Bath layout modified	RK
A	27.05.2026	Modified as RY markups	RK
	15.05.2026	BA PLANS	RK

DRAWING: U1-ELEVATIONS
DATE: 14.08.2026
FILE NAME: 2396
DRAWN BY: RK
DWG No: 03

Scale: 1 : 100

PROPOSED DWELLING FOR HOMES TASMANIA
AT 31 BENBOYD CIRCLE, ROKEBY

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026

THIS PLAN IS ACCEPTED BY:

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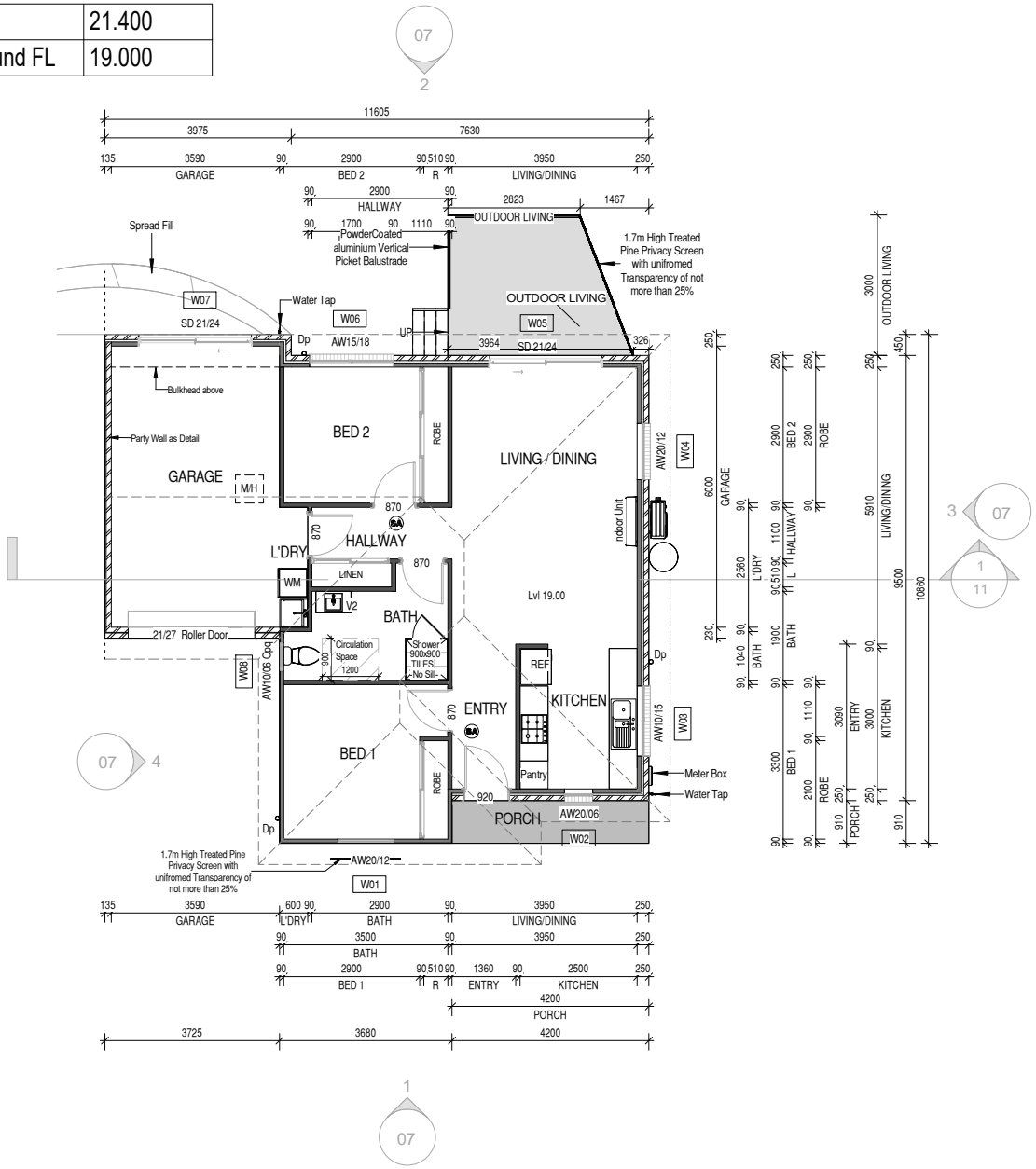
SIGNATURE:

.....

DATE:

.....

U2-CL	21.400
U2-Ground FL	19.000



RONALD YOUNG + CO BUILDERS
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633

NOTES:

AJ Articulation Joint
Dp Down Pipe

For Kitchen Details, Refer to Kitchen Joinery Design

Vanity Legend	
VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Site Area : 683 m²

UNIT 1:
Ground Floor (Dwelling) : 102.5 m²

Porch : 3.8 m²
Outdoor Living : 6.0 m²

UNIT 2:
Ground Floor (Dwelling) : 102.5 m²

Porch : 3.8 m²
Outdoor Living : 6.0 m²

Total Floor Area U1+U2 : 205 m²
Total PORCH/O.L. U1+U2 : 19.6 m²

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: U2-FLOOR PLAN
DATE: 14.08.2026
FILE NAME: 2396
DRAWN BY: RK
DWG No: 06

Rev.	Date	Revision Description	Drawn
D	14.08.2026	Modified as RY markups	RK
C	23.06.2026	Party wall detail added	RK
B	01.06.2026	Bath layout modified	RK
A	27.05.2026	Modified as RY markups	RK
	15.05.2026	BA PLANS	RK

PROPOSED DWELLING FOR HOMES TASMANIA
AT 31 BENBOYD CIRCLE, ROKEBY

Scale: 1 : 100

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026

THIS PLAN IS ACCEPTED BY:

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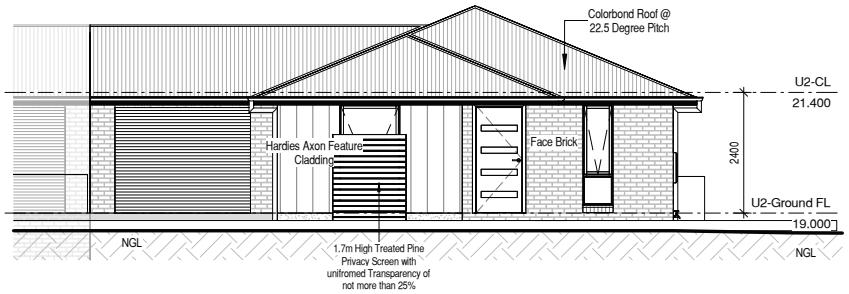
SIGNATURE:

.....

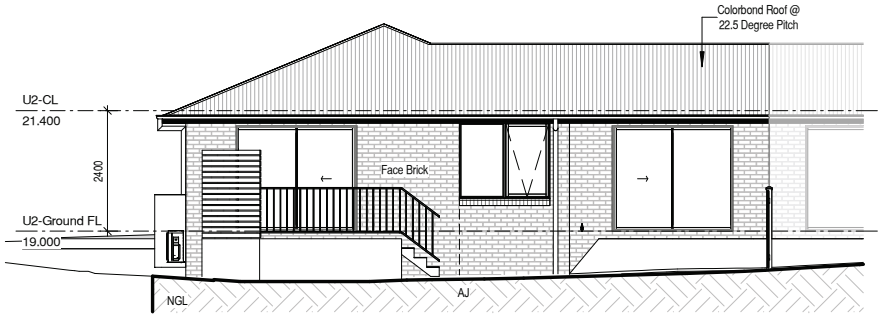
DATE:

.....

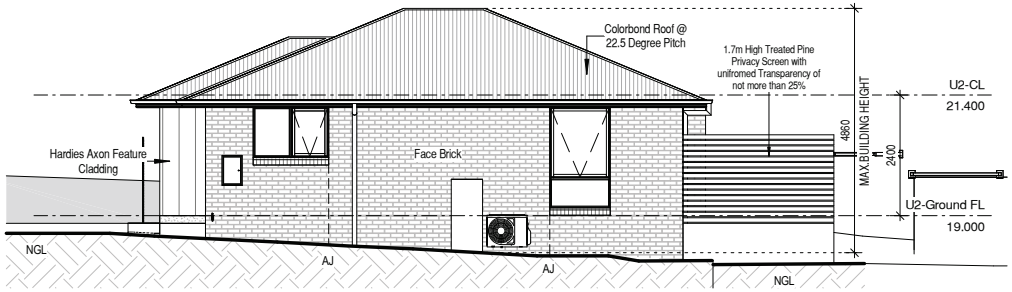
RONALD YOUNG + CO BUILDERS
174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



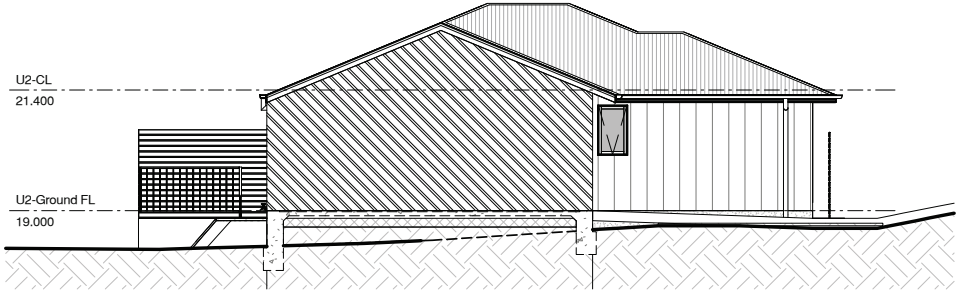
U2-South Elevation



U2-North Elevation



U2-East Elevation



U2-West Elevation

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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Rev.	Date	Revision Description	Drawn
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	15.05.2026	BA PLANS	RK

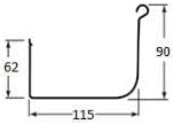
DRAWING: U2-ELEVATIONS
DATE: 14.08.2026
FILE NAME: 2396
DRAWN BY: RK
DWG No: 07

Scale: 1 : 100

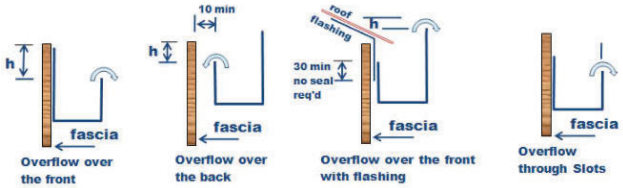
PROPOSED DWELLING FOR HOMES TASMANIA
AT 31 BENBOYD CIRCLE, ROKEBY

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026

Quad 115 Hi-front no 5809



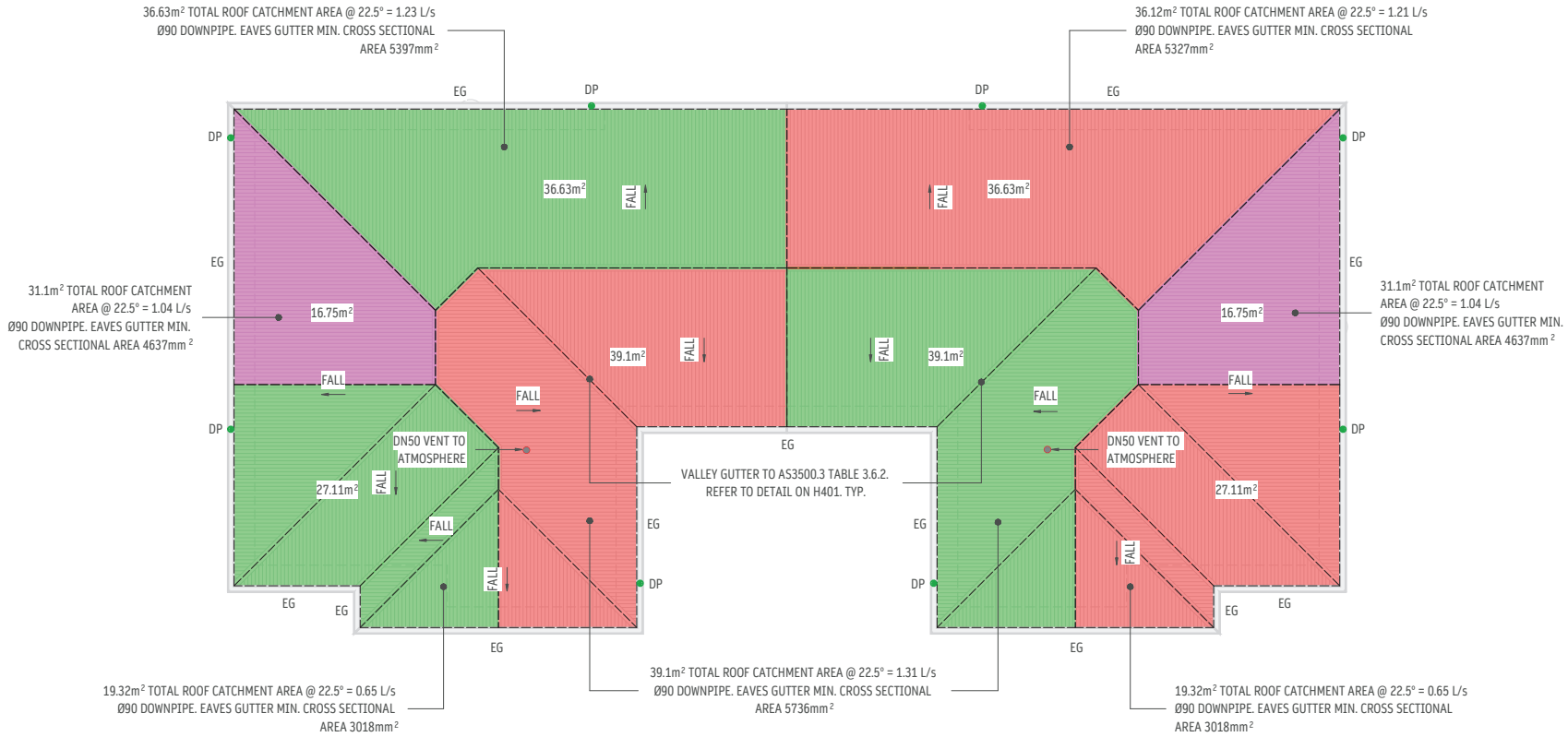
SUGGESTED EAVES GUTTER



Total Required overflow/meter of gutter (L/s/m)	0.12	Dimension 'h' NCC (mm) ***Whats this?***	10
Overflow required over gutter edge (L/s/m)	0.12	Dim 'h' Plumbing Code *sloping gutter.*	11
'h' from weir formula (refer below) (mm)	1.6	Dim 'h' Plumbing Code *Level gutter.*	17

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT

ROOF SCHEDULE	
●	STORMWATER DOWNPIPE (DN100) U.N.O
●	VENT (DN50) U.N.O
EG	EAVES GUTTER (MIN CROSS SECTIONAL
	AREA TO BE AS INDICATED ON DRAWINGS)
DP	DOWNPIPE (SIZE AS SHOWN ON DRAWINGS)



ROOF DRAINAGE PLAN

1 : 100

HYDRAULIC NOTES

ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE NCC VOL 3 (PCA), AS3500 AND TO LOCAL AUTHORITY APPROVAL.

THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE.

CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CUPBOARDS ETC. UNLESS OTHERWISE APPROVED.

REFER ARCHITECTS DRAWINGS FOR FIXTURE LOCATION AND SPECIFICATION.

MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.

EXISTING SEWER AND STORMWATER FITTINGS NOT IN USE TO BE DISCONNECTED, CAPPED AND SEALED.

PROVIDE TUNDISHES CONNECTED TO SEWER OR STORMWATER TO ALL AIR CONDITIONING UNITS AND PRESSURE VALVES - PIPE LAYOUT TO BE DETERMINED ON SITE.

HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.

DIAL BEFORE YOU DIG www.1100.com.au

BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ONSITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

IMPORTANT NOTICE TO THE ATTENTION OF THE OWNER

FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

HOBART
DEVONPORT
LAUNCESTON

verto

Hobart Office
LG, 199 Macquarie Street
Hobart TAS 7000
03 6234 8666
www.vertotas.com.au

APPROVAL		REV	DESCRIPTION	DATE
DRAWN:	TM	0	BUILDING APPROVAL	31/07/2026
CHECKED:	SL			
DESIGN:	TM			
CHECKED:	SL			
VERIFIED:	DG			

CLIENT:	PROJECT:	SHEET:	SCALE:	PROJECT No.	SHEET No.	REV.
HOMES TASMANIA	PROPOSED DWELLING 31 BENBOYD CIRLCE ROKEBY, TAS 7019	ROOF DRAINAGE PLAN	1 : 100 (A3)	26E47-25	H102	0

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026

SITE & EXISTING SERVICES LEGEND

26.0	DESIGN SURFACE CONTOUR (MAJ/MIN)
26.0	EXISTING SURFACE CONTOUR (MAJ/MIN)
	BOUNDARY - SURVEYED
	EASEMENT - SURVEYED
EX OH	EXISTING OVERHEAD POWER
EX LV	EXISTING UNDERGROUND POWER
EX COM	EXISTING COMMS - TELSTRA
EX COM	EXISTING COMMS - NBN
EX GAS	EXISTING GAS

PAVEMENT LEGEND

	CONCRETE FOOTPATH
	CONCRETE
BK	150H BARRIER KERB AS PER TSD-R14-V3
FK	150W FLUSH KERB AS PER TSD-R14-V3
KC	600W KERB & CHANNEL AS PER TSD-R14-V3

STORMWATER LEGEND

SWS	PVC STORMWATER DN150 SN8 U.N.O.
SSD	SLOTTED PVC AG DRAIN
	TABLE DRAIN
SW	NEW STORMWATER MAIN
EX SW	EXISTING STORMWATER MAIN
EX SWS	EXISTING STORMWATER - PRIVATE
	INSPECTION OPENING
	GP1 - 450 SQ PIT ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE
	GP5 - 350 SQ PIT ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE
	GRATED TRENCH WITH PIT. ACO TYPE 45 POLYMER CONCRETE PIT AND INCL. HEELSAFE GRATE

SEWER LEGEND

SS	uPVC SEWER DN100 SN6 U.N.O.
S	NEW SEWER MAIN
EX SS	EXISTING SEWER - PRIVATE
EX S	EXISTING SEWER MAIN
SEW	SEWER MAINTENANCE HOLE 1050Ø AS PER MRWA-S-307
S	MAINTENANCE SHAFT
	SEWER FIXTURE
IO	INSPECTION OPENING
IOS	INSPECTION OPENING TO SURFACE
ORG	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER

WATER SERVICES LEGEND

WS	DN150 O-PVC PN16 WATER MAIN OR APPROVED EQUIVALENT UNO
W	NEW WATER MAIN
EX W	EXISTING WATER MAIN
EX WS	EXISTING WATER SERVICE - PRIVATE
WS	25OD POLY (20ID) CONNECTION WITH 20mm WATER METER INCL. OF BACKFLOW PREVENTION AS PER TWS-W-0002
WS	DN100 CONDUIT TO ROAD CROSSING
	CHECK VALVE
SV	WATER VALVE
FH	HYDRANT

HOBART
DEVONPORT
LAUNCESTON

verto

Launceston Office
22 - 24 Paterson Street
Launceston TAS 7250
03 6388 9200
www.vertotas.com.au

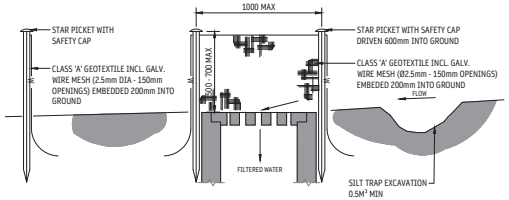
APPROVAL		REV	DESCRIPTION	DATE
DRAWN:	DE			
CHECKED:	LG			
DESIGN:	DE			
CHECKED:	LG			
VERIFIED:	DG	0	BUILDING APPROVAL	5/08/2026

PROJECT:
HOMES TASMANIA
31 BENBOYD CIRCLE
ROKEBY

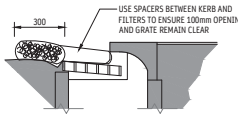
SHEET:
SITE PLAN

SCALE:	PROJECT No.	SHEET No.	REV.
1:100 (A1)	26E47-25	C101	0

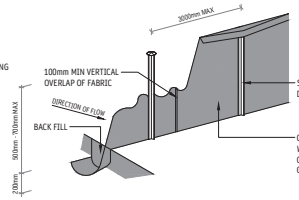
Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026



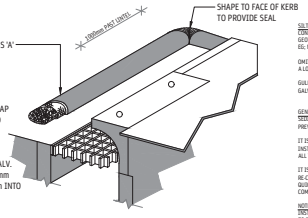
D04 SILT FENCE AT GRATED PIT
SCALE N.T.S



D05 SILT FENCE AT GULLY PIT
SCALE N.T.S



D06 SILT FENCE DETAIL
SCALE N.T.S



SILT FENCE
CONSTRUCT AS DETAILED AND INSTALL CLASS 'A' GEOTEXTILE OR USE PROPRIETARY SILT FENCE. EG. MACCAFERRI 'SILT LOK'.

OMIT SANDBAG WALL AND SILTTRAP WHEN PIT IS IN A LOW POINT.

GULLY PIT
GALVANIZED WIRE MESH 2mm DIA x 12mm OPENING.

GENERAL
MAINTAIN FENCES ARE TO BE CLEANED DAILY TO PREVENT BREAKAGE/OVERTOPPING.

IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES.

IT IS STRONGLY RECOMMENDED THAT THE DEVELOPER RE-COVERS ANY DISTURBED AREAS WITH TOPSOIL AS QUICKLY AS POSSIBLE AFTER BULK EARTHWORKS ARE COMPLETED, TO PREVENT SOIL DISPERSION.

NOTE:
INSTALL SILT MANAGEMENT AS REQUIRED. LOCATIONS TO BE CONFIRMED ON SITE. ENSURE SILT MANAGEMENT COMPLIES WITH CURRENT COUNCIL STANDARDS AND REQUIREMENTS.

D07 SILT FENCE AT GULLY PIT
SCALE N.T.S

EROSION & SEDIMENT LEGEND

SOIL FENCE

NOTES:

1. GENERAL:
   A. CONTROL MEASURES TO BE IMPLEMENTED BY DEVELOPERS CONTRACTOR AND INSTALLED IN ACCORDANCE WITH "EROSION AND SEDIMENT CONTROL, THE FUNDAMENTALS FOR DEVELOPMENT IN TASMANIA AND ASSOCIATED GUIDELINE DOCUMENTS (TEER & DEP, 2023)".
   B. TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
   C. ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.
   D. ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
   E. CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
   F. IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
   G. STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.
   H. ANY DISTURBED GROUND TO BE RE-VEGETATED AND MADE GOOD.
2. SEDIMENT FENCE:
   A. NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW.
   B. NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100m LENGTH OF FENCE.
   C. WOVEN FABRICS ARE PREFERRED. NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
   D. FENCES ARE REQUIRED 2m MIN FROM TOE OF CUT OR FILL BATTERS, WHERE NOT PRACTICAL ONE FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1M MIN AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL WITH TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE.
3. STRAW BALE BANKS:
   A. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR,IN A ROW WITH ENDS TIGHLY ABUTTING THE ADJACENT BALES.
   B. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINMUM OF 100mm ON THE DOWNSTREAM SIDE AND PLACED SO THE BINDINGS ARE HORIZONTAL.
   C. BALES SHALL BE SECURELY ANCHORED IN PLACE WITH EITHER TWO STAKES OR STEEL PICKETS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER.
   D. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. REPLACE AT LEAST 3 MONTHLY.
4. SAFETY ISSUES MUST BE CONSIDERED AT ALL TIMES, INCORPORATE TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT.
5. ADVICE:
   - EROSION AND SEDIMENT TRANSPORTATION CONTROL DEVICES TO BE ESTABLISHED ON SITE PRIOR TO THE DISTURBANCE OF ANY SOIL OR EXCAVATION.
   - FORMAL CONNECTION TO THE STORMWATER NETWORK FROM IMPERVIOUS SURFACES SUCH AS ROOFS OR HARDSTAND ARE TO MADE AS EARLY AS POSSIBLE, EVEN IF ONLY TEMPORARY IN CONSTRUCTION
   - KEEP ANY EARTHWORKS TO THE MINIMUM AREA REQUIRED AND TIMED WITH THE COMMENCMENT OF BUILDING AND CONSTRUCTION WORKS
   - ANY DISPERSIVE SOIL ON SITE TO BE TREATED AS PER RECOMMENDATION OF GEOTECHNICAL REPORT/SOIL REPORT
   - RETAIN AS MUCH NATURAL VEGETATION AS POSSIBLE THROUGHOUT CONSTRUCTION
   - ANY WASH DOWN OF EQUIPMENT ON-SITE TO BE COMPLETED IN DESIGNATED AREA WITH ADEQUATE CONTROLS IN PLACE
   - PLACE STOCKPILES AWAY FROM ON-SITE DRAINAGE OR STORMWATER FLOW. INSTALL SEDIMENT FENCING DOWNSLOPE OF STOCKPILES AND COVER WITH GEOFABRIC OR PLASTIC WHEN NOT IN USE.
   - IF A TEMPORARY SITE ACCESS IS TO BE USED, ENSURE THE ENTRANCE TO THE SITE IS STABILISED AND DESIGNATED AS THE SINGULAR ENTRY TO SITE. ANY DEBRIS TRACKED ONTO PUBLIC ROADS TO BE REMOVED VIA SHOVEL OR BROOM TO AVOID ENTRY TO THE PUBLIC STORMWATER SYSTEM
   - IF SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE ERECTED IN STAGES, CONTRACTOR IS TO ENSURE ADEQUATE PROTECTION IS PROVIDED AT ALL TIMES.

PLEASE REFER TO THE DERWENT ESTUARY WEBSITE FOR FURTHER INFORMATION REGARDING THE BEST PRACTICE FOR SOIL AND WATER MANAGEMENT ON SITE.

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DRAWN:	DE			
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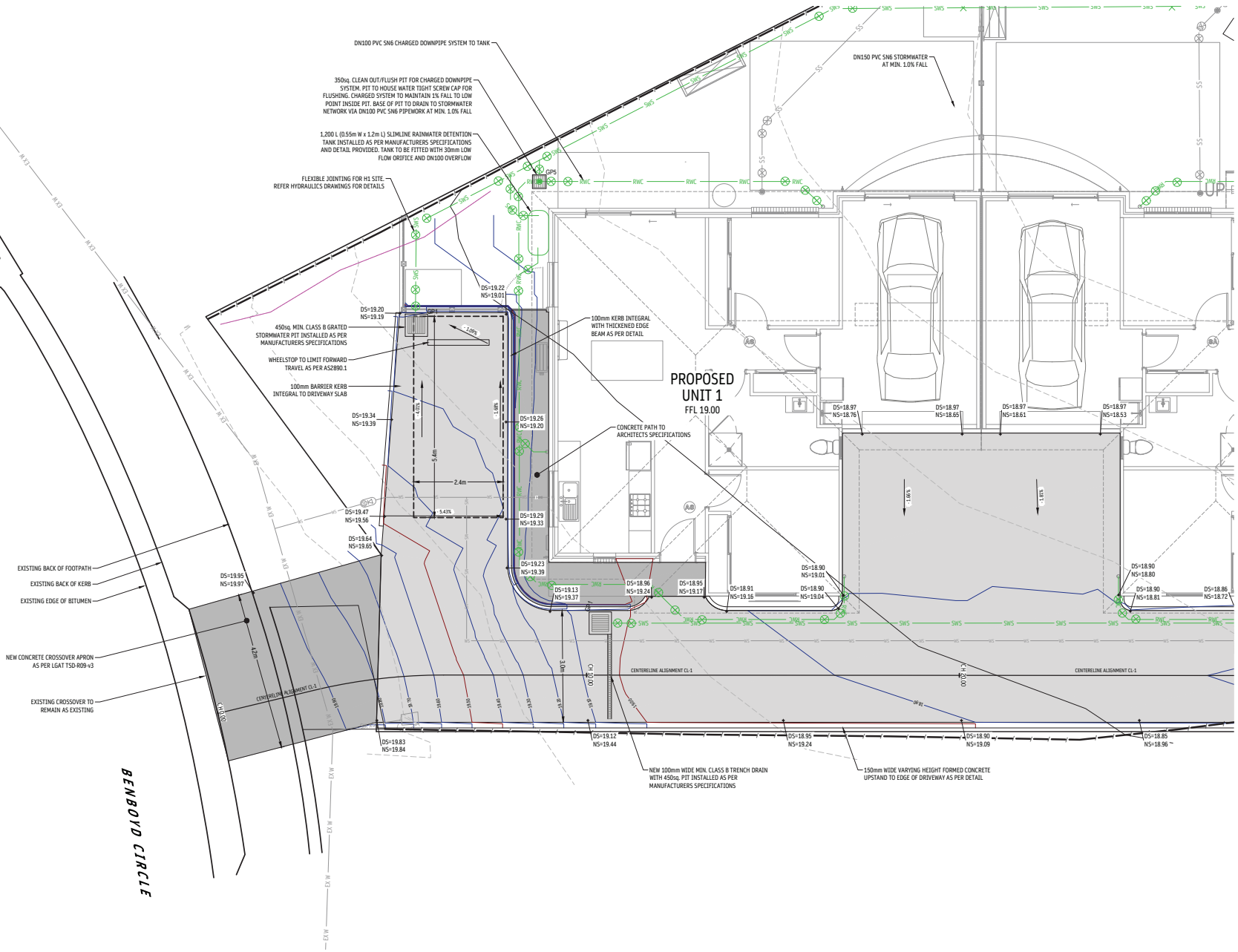
DESIGN:	DE			
CHECKED:	LG			
VERIFIED:	DG	0	BUILDING APPROVAL	5/08/2026

PROJECT: HOMES TASMANIA
31 BENBOYD CIRCLE
ROKEBY

SHEET: SOIL AND WATER MANAGEMENT PLAN

SCALE:	PROJECT No.	SHEET No.	REV.
1:100 (A1)	26E47-25	C301	0

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026



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PROJECT: HOMES TASMANIA
31 BENBOYD CIRCLE
ROKEBY

SHEET: ROAD AND STORMWATER PLAN - SHEET 1

SCALE: 1:50 (A1)

PROJECT No. 26E47-25

SHEET No. C401

REV. 0

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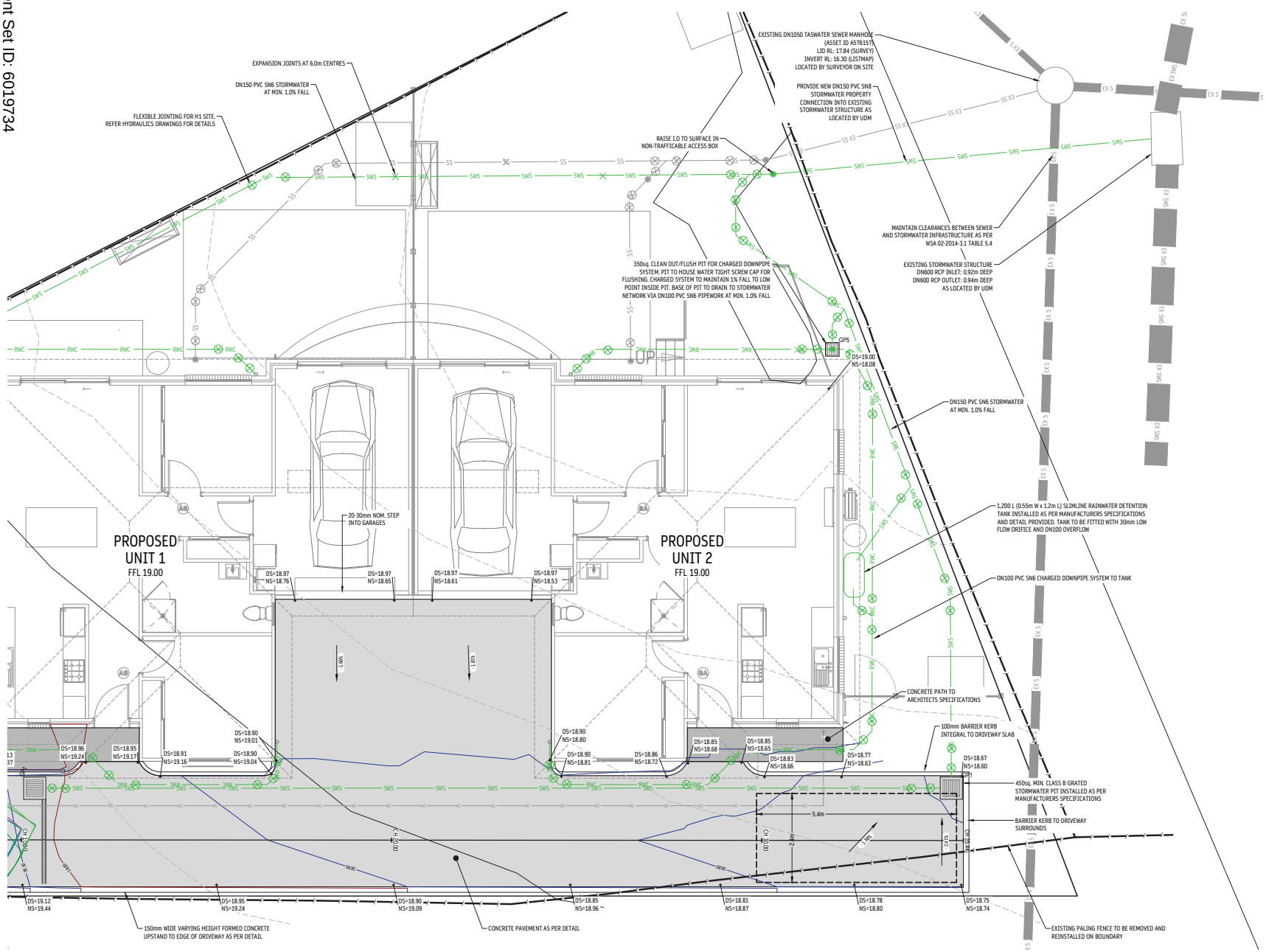
Version: 1, Version Date: 18/08/2026



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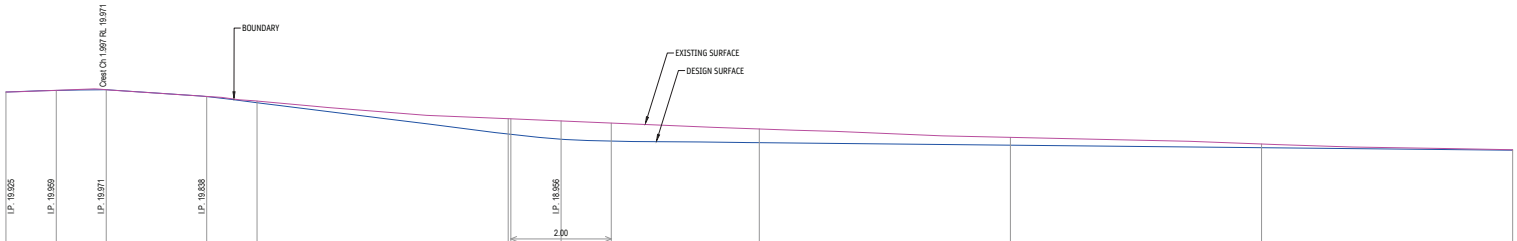
PROJECT:	SHEET:	SCALE:	PROJECT No.	SHEET No.	REV.
HOMES TASMANIA 31 BENBOYD CIRCLE ROKEBY	ROAD AND STORMWATER PLAN - SHEET 2	1:50 (A1)	26E47-25	C402	0

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026



R.L. 16.00

CUT (-) FILL (+)	+0.00	+0.00	+0.00	+0.00	-0.04	-0.30	-0.31	-0.37	-0.36	-0.27	-0.15	-0.07	-0.01
DESIGN CENTRE LINE	19.92	19.96	19.97	19.84	19.71	19.09	19.08	18.98	18.95	18.92	18.87	18.82	18.77
EXISTING SURFACE	19.92	19.96	19.97	19.84	19.75	19.39	19.39	19.35	19.31	19.19	19.02	18.89	18.78
CHAINAGE	0.00	1.00	2.00	4.00	5.00	10.00	10.05	11.05	12.05	15.00	20.00	25.00	30.00

From 0.000m To 30.000m Scales: H 1:50 V 1:50

CENTRELINE ALIGNMENT CL-1 - DWAY CL

R.L. 16.00

CUT (-) FILL (+)	-0.01	+0.03	+0.03
DESIGN CENTRE LINE	18.77	18.72	18.71
EXISTING SURFACE	18.78	18.69	18.68
CHAINAGE	30.00	35.00	35.44

From 30.000m To 35.444m Scales: H 1:50 V 1:50

CENTRELINE ALIGNMENT CL-1 - DWAY CL

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PROJECT: HOMES TASMANIA
31 BENBOYD CIRCLE
ROKEBY

SHEET: LONGSECTIONS

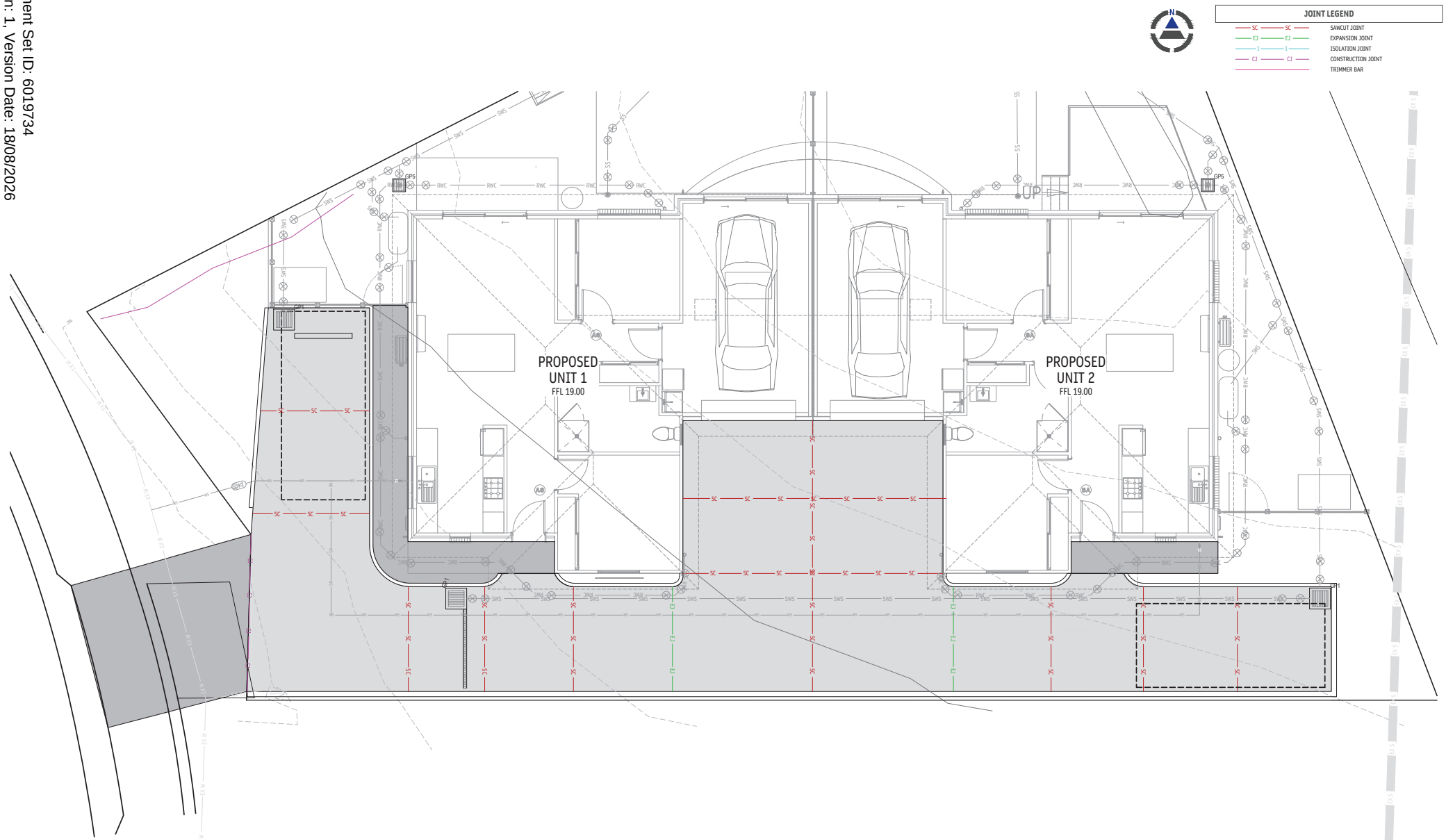
SCALE: 1:50 (A1)

PROJECT No. 26E47-25

SHEET No. C421

REV. 0

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026



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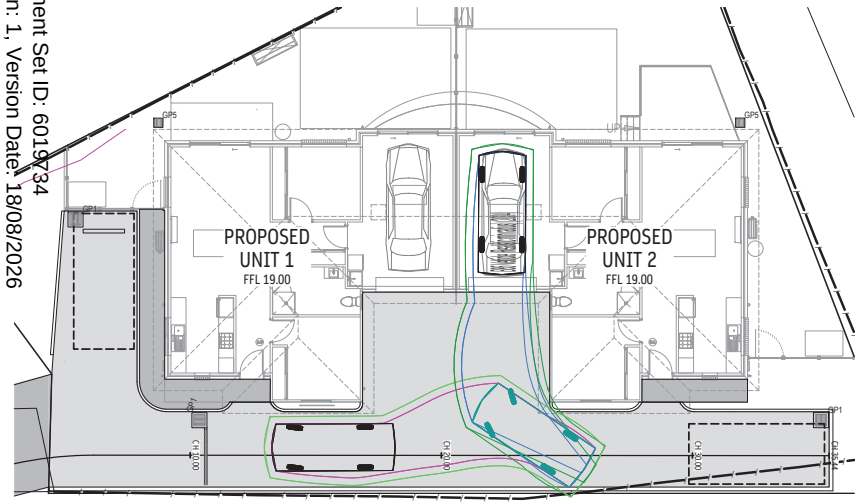
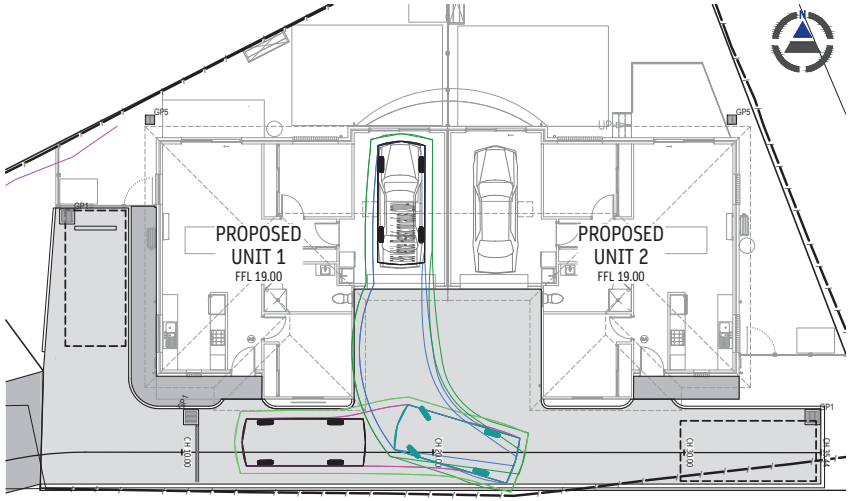
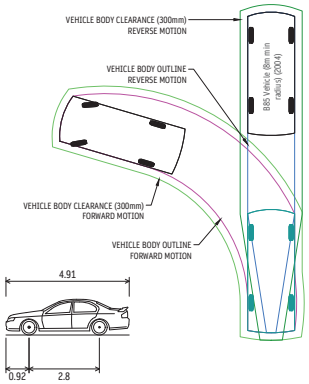
CHECKED:	LG			
DESIGN:	DE			
CHECKED:	LG			
VERIFIED:	DG	0	BUILDING APPROVAL	5/08/2026

PROJECT:	SHEET:	SCALE:		PROJECT No.	SHEET No.	REV.
HOMES TASMANIA 31 BENBOYD CIRCLE ROKEBY	JOINTING PLAN	1:50	(A1)	26E47-25	C471	0

Document Set ID: 6019734
Version: 1, Version Date: 18/08/2026



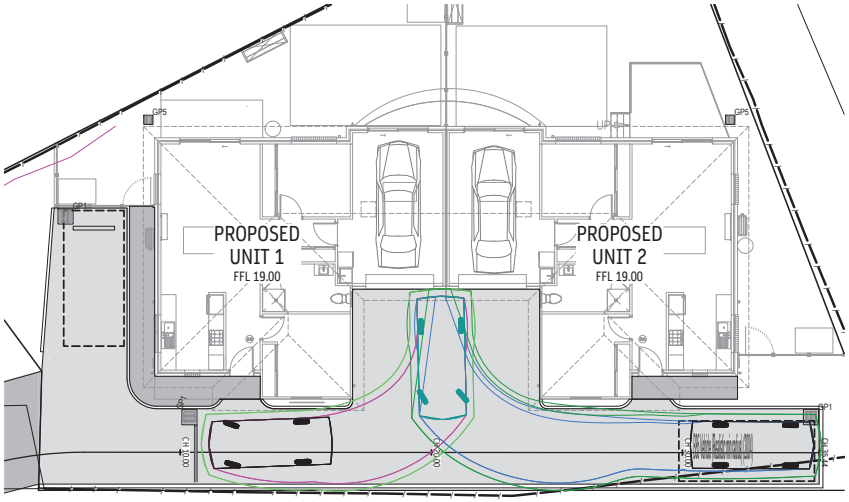


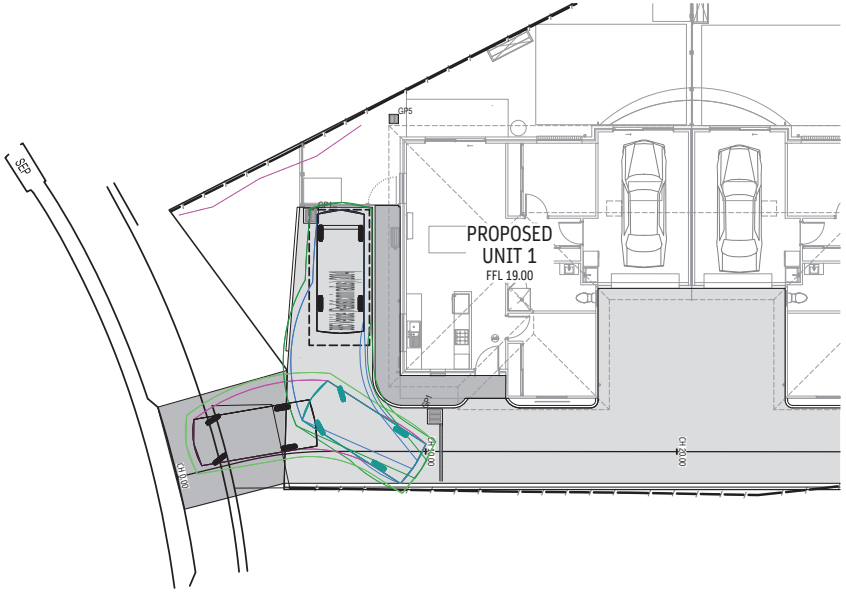


B85 Vehicle (8m min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	8.000m

VEHICLE TURNPATH - LEGEND
1:100





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PROJECT: HOMES TASMANIA
31 BENBOYD CIRCLE
ROKEBY

SHEET: TURNPATH PLAN

SCALE:	PROJECT No.	SHEET No.	REV.
1:100 (A1)	26E47-25	C491	0

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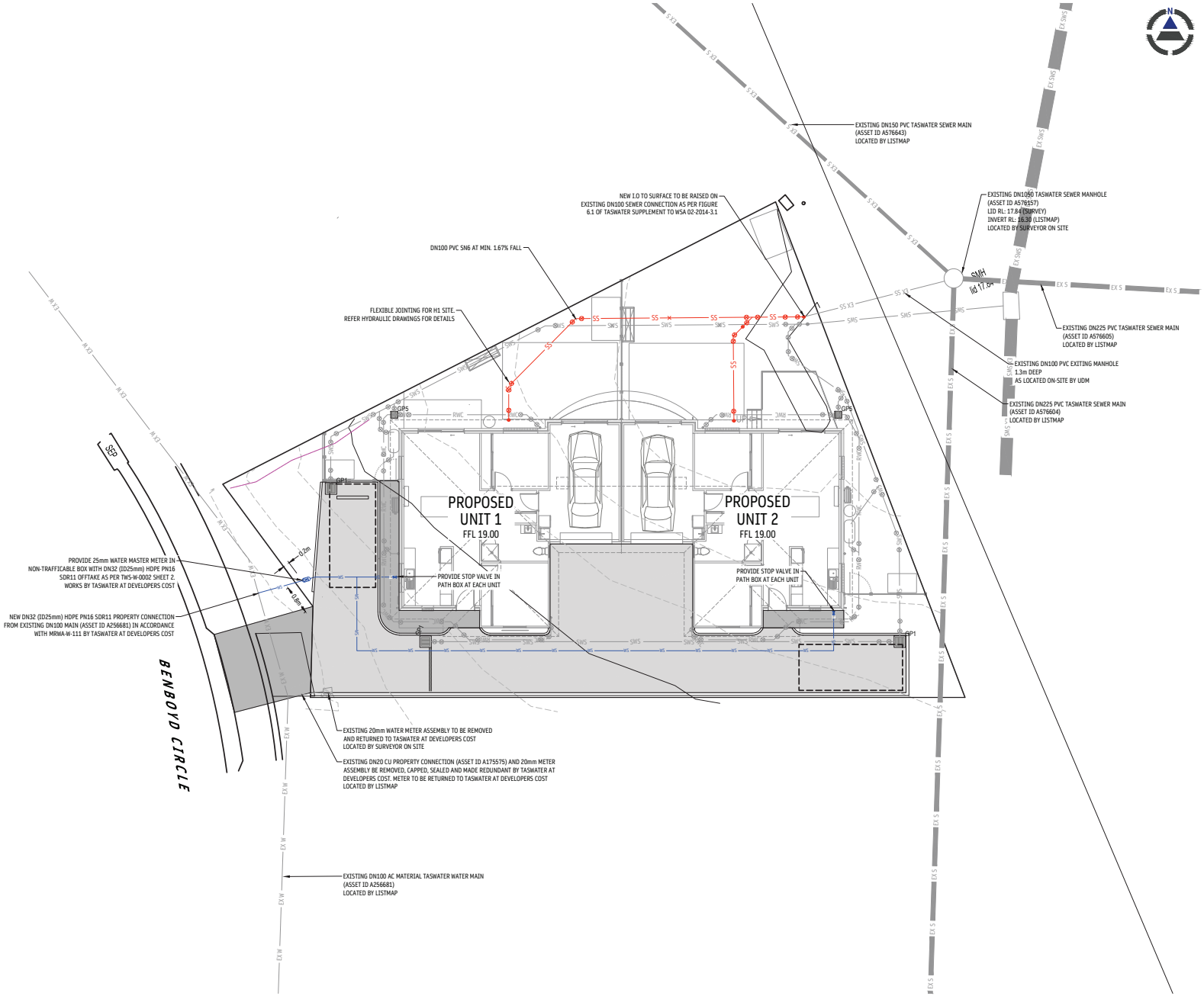

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PROJECT: HOMES TASMANIA 31 BENBOYD CIRCLE ROKEBY

SHEET: SEWER AND WATER PLAN

SCALE:	PROJECT No.	SHEET No.	REV.
1:100 (A1)	26E47-25	C601	0

Document Set ID: 6019734
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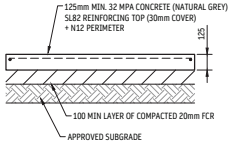
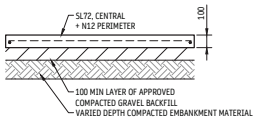
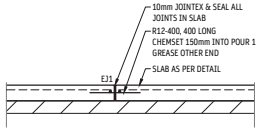


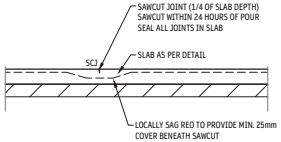
D01 SECTION - PAVEMENT 'B' DRIVEWAY (TYP.)
SCALE 1:20



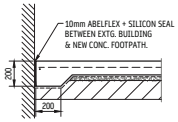
D02 SECTION DETAIL - PAVEMENT 'C' FOOTPATH (TYP.)
SCALE 1:20
REFER IPWEA STD DWG TSD-R11-v3 FOR ADDITIONAL FOOTPATH DETAILS



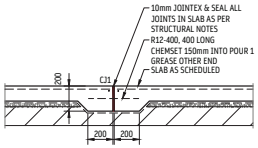
D03 DETAIL - EXPANSION JOINT EJ1 (TYP.)
SCALE 1:20



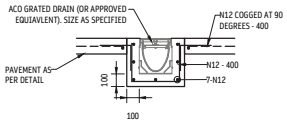
D04 SAWCUT JOINT DETAIL - SCJ
SCALE 1:20



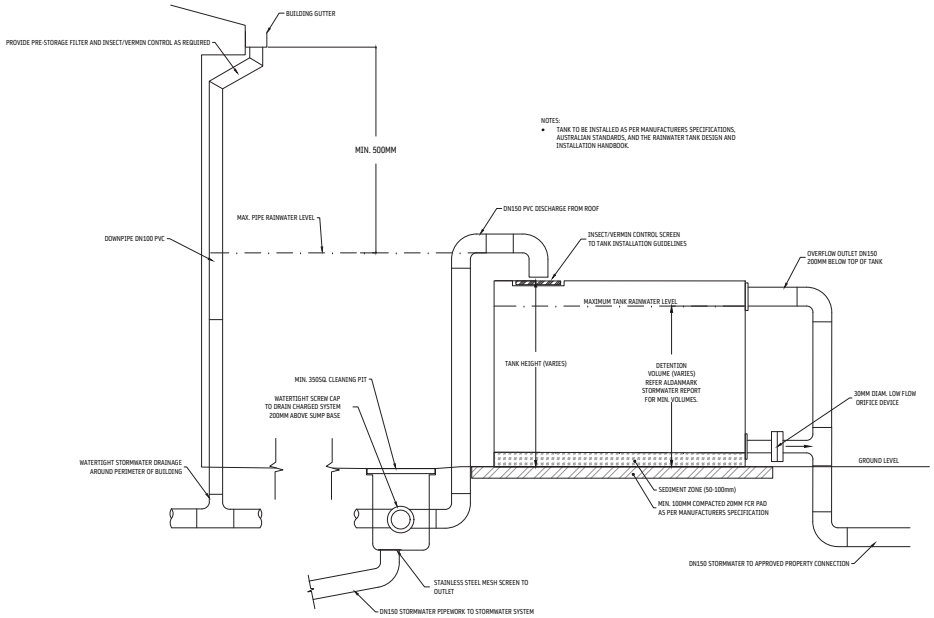
D05 SECTION DETAIL - ABELFLEX DETAIL (TYP.)
SCALE 1:20



D06 CONSTRUCTION JOINT DETAIL - CJ1
SCALE 1:20

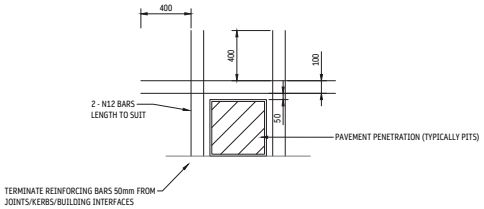


D07 TRENCH DRAIN THICKENING
SCALE 1:10

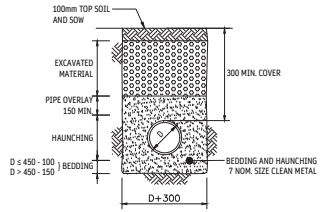


NOTES:
- TANK TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS, AUSTRALIAN STANDARDS, AND THE RAINWATER TANK DESIGN AND INSTALLATION HANDBOOK.

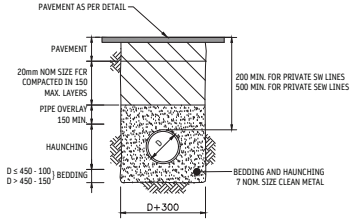
T01 TANK SCHEMATIC - SLIMLINE DETENTION TANK (TYPICAL)
1:100



D08 SECTION - DRIVEWAY PENETRATION DETAIL
SCALE 1:20



D09 TRENCHES - NON-TRAFFICABLE
SCALE 1:20



D10 TRENCHES - TRAFFICBALE
SCALE 1:20

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PROJECT:	SHEET:	SCALE:	PROJECT No.	SHEET No.	REV.
HOMES TASMANIA 31 BENBOYD CIRCLE ROKEBY	CONSTRUCTION DETAILS	1:100 (A1)	26E47-25	C801	0

RONALD
YOUNG + CO
BUILDERS

14 August 2026

Clarence City Council
38 Bligh Street
Rosny Park TAS 7018

RE: Response to Planning Application – PDPLANPMTD-2026/062056 – DATED 02.07.2026

Dear Sally

Please find response to RFI dated 2 July 2026.

Clause 8.4.2

- Although the units are semi conjoined, please provide the messing elevation to show the east (unit 1) and west (unit 2) elevations.

Please find updated plans with required elevations.

Clause 8.4.3(b)

- Please confirm the total private open space in m^2 for each unit to demonstrate if above 60m2 and compliant with the acceptable solution.

Please find updated plans with the required information.

Clause 8.4.6 P3

- Please provide further information to address the Performance Criteria as the driveway is less than 1m from habitable room windows.

Please find updated plans showing screen in front of window.

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Clause 8.4.7 P1

- Please confirm if any front fencing is proposed (within 4.5m of the front boundary) and if so, please provide height and transparency details on the plans.

Please find the updated plans showing the side boundary fencing at 4.5m at 1200mm high. There is no fencing to the front boundary.

Parking & Sustainable Transport Code

Clause C2.5.1

- The proposal for two multiple dwellings is required to provide four residential parking spaces and one visitor parking space. The submitted plans demonstrate four residential parking spaces but do not demonstrate provision of a compliant visitor parking space. Please provide amended plans demonstrating compliance with the parking requirements of the code or alternatively address the corresponding Performance Criteria for the clause.

The development conforms to Performance Criteria P1.1 as per the below;

- The availability of off-street public car parking within a reasonable walking distance of the site.
- The availability of public transport at the end of the street.
- Limited space within the site for visitor carpark

Clause C2.6.1 and C2.6.2

- Please provide further information to demonstrate compliance with C2.6.1 and C2.6.2 and provide plans and supporting information prepared by a suitable qualified person demonstrating
    - Parking space dimensions
    - Manoeuvring aisle widths
    - Driveway widths, grades and transitions
    - Pavement construction and drainage details
    - Compliance with AS2890 and

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- Swept path analysis demonstrating vehicles can assess parking spaces and enter and exit the site in a forward direction.

Please find Civil plans from Verto Engineers outlining the above requirements.

Stormwater Management

- Insufficient information has been provided to assess stormwater management for the development. Please provide stormwater engineering documents prepared by a suitably qualified person which includes;
  - The legal point of discharge
  - Details of existing and proposed stormwater infrastructure
  - Pipe sizes and
  - Details demonstrating how runoff from all roofs, driveways and other impervious surfaces will be collected and conveyed to an approved point of discharge.

Kind regards

Marie Ashworth
Client liaison
Ronald Young + CO Builders

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