



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2026/062722**

**PROPOSAL:** Dwelling

**LOCATION:** 30 Roybridge Way, Howrah

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 16/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 16/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 16/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Planning Application

---

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **New dwelling**

---

Location: **Lot 16 Roybridge Way, Howrah**

**Personal Information Removed**



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant land**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

#### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

#### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application

**Personal Information Removed**



## Planning Application checklist

---

### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

---

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

---

### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

---

- ☐ Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
    - Location and capacity of any existing services or easements on/to the site.
    - Existing pedestrian and vehicle access to the site.
    - Location of existing and proposed buildings on the site.
    - Location of existing adjoining properties, adjacent buildings and their uses.
    - Any natural hazards that may affect use or development on the site.
    - Proposed roads, driveways, car parking areas and footpaths within the site.
    - Any proposed open space, communal space, or facilities on the site.
- 





- Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
  - Private open space for each dwelling.
  - External storage spaces.
  - Car parking space location and layout.
  - Major elevations of every building to be erected.
  - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
  - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
  - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
  - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
  - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
- 

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



## SEARCH OF TORRENS TITLE

|                  |                               |
|------------------|-------------------------------|
| VOLUME<br>187150 | FOLIO<br>16                   |
| EDITION<br>1     | DATE OF ISSUE<br>06-July-2026 |

SEARCH DATE : 10-July-2026

SEARCH TIME : 01.26 pm

## DESCRIPTION OF LAND

City of CLARENCE

Lot 16 on Sealed Plan [187150](#)

Derivation : Part of 730 Acres Gtd. to Frances Butler & Justin

McCarthy Browne

Prior CT [183098/200](#)

## SCHEDULE 1

[B613234](#) TRANSFER to MALWOOD PTY LTD

## SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP[187150](#) EASEMENTS in Schedule of Easements

SP[187150](#) FENCING PROVISION in Schedule of Easements

[B613235](#) MORTGAGE to Murdos Nominees Pty Ltd Registered  
16-June-1993 at 12.01 pm

[B686336](#) MORTGAGE to Murdos Nominees Pty Ltd Registered  
02-Sept-1993 at noon

[B853252](#) MORTGAGE to Murdos Nominees Pty Ltd Registered  
06-Apr-1995 at noon

[C250319](#) TRANSFER of MORTGAGES [B613235](#), [B686336](#) and [B853252](#) to  
Perpetual Trustees Tasmania Limited Registered  
12-Dec-2000 at noon

[C796934](#) TRANSFER of MORTGAGES [B613235](#), [B686336](#) and [B853252](#) to  
Murdoch Clarke Mortgage Management Limited  
Registered 03-Sept-2007 at noon

[E34443](#) AGREEMENT pursuant to Section 71 of the Land Use  
Planning and Approvals Act 1993 Registered  
23-Feb-2016 at 12.02 pm

[E34444](#) AGREEMENT pursuant to Section 71 of the Land Use  
Planning and Approvals Act 1993 Registered  
23-Feb-2016 at 12.03 pm

[E303086](#) AGREEMENT pursuant to Section 78 of the Land Use  
Planning and Approvals Act 1993 Registered  
11-Aug-2022 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

|                                                                                                                                                            |                                                                                                                                                                                                                                                                         |                                                                                                                                                                          |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>OWNER MALWOOD PTY LTD</p> <p>FOLIO REFERENCE C.T.183098/200</p> <p>GRANTEE PART OF 730 ACRES GRANTED TO FRANCES BUTLER &amp; JUSTIN MCCARTHY BROWNE</p> | <p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR ANDREW STEPHEN BIRCH<br/><b>ROGERSON AND BIRCH SURVEYORS</b><br/>UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK<br/>PH 6248-5898 MOB. 0400-114-824</p> <p><b>CITY OF CLARENCE</b></p> <p>SCALE 1: 2500      LENGTHS IN METRES</p> | <p>REGISTERED NUMBER<br/><b>SP187150</b></p> <p>APPROVED - 6 JUL 2026<br/>EFFECTIVE FROM .....</p> <p style="text-align: right;"><i>Renzi</i><br/>Recorder of Titles</p> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**INDEX PLAN**

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

**PRIORITY FINAL PLAN**

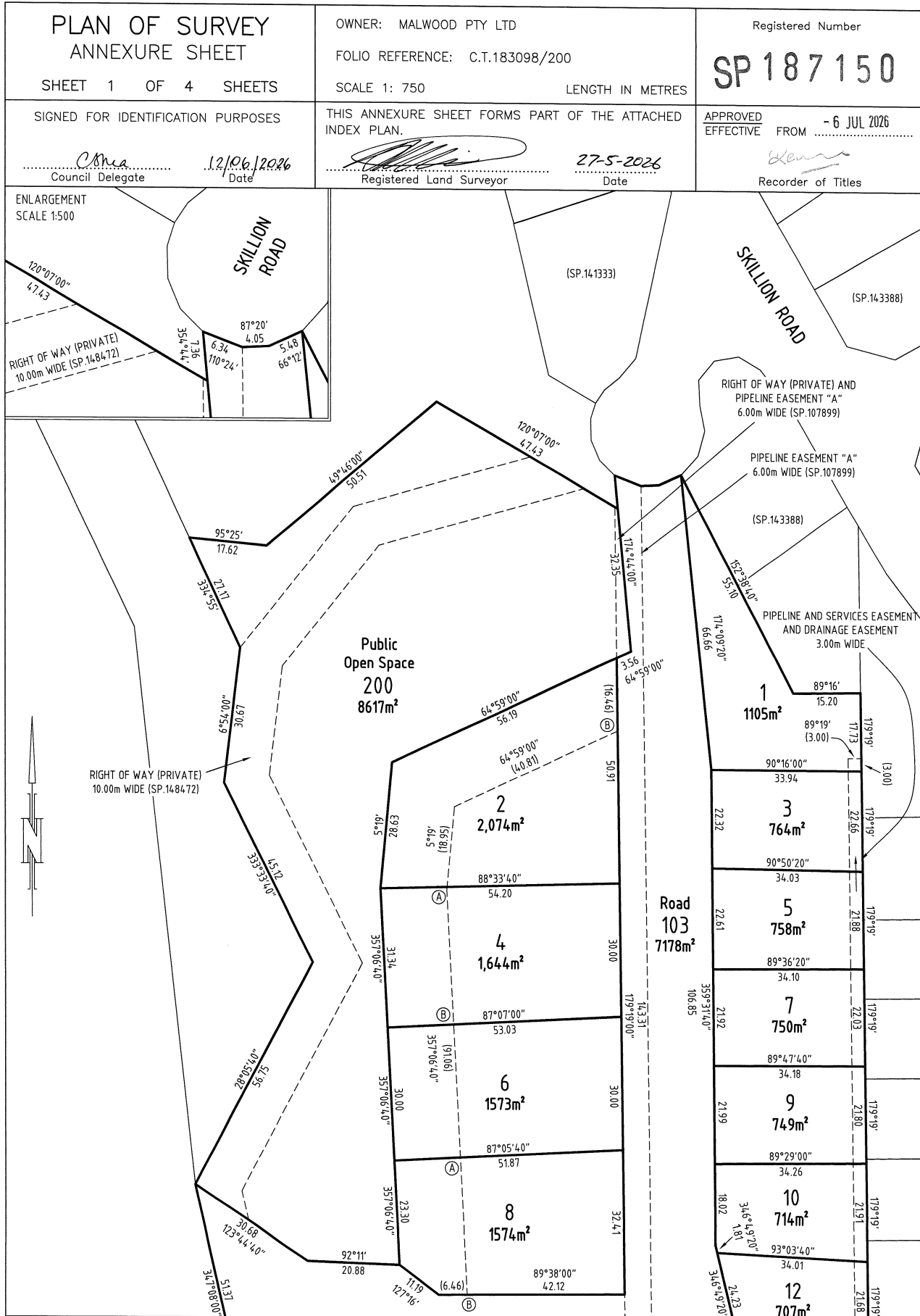
*[Signature]*  
Registered Land Surveyor

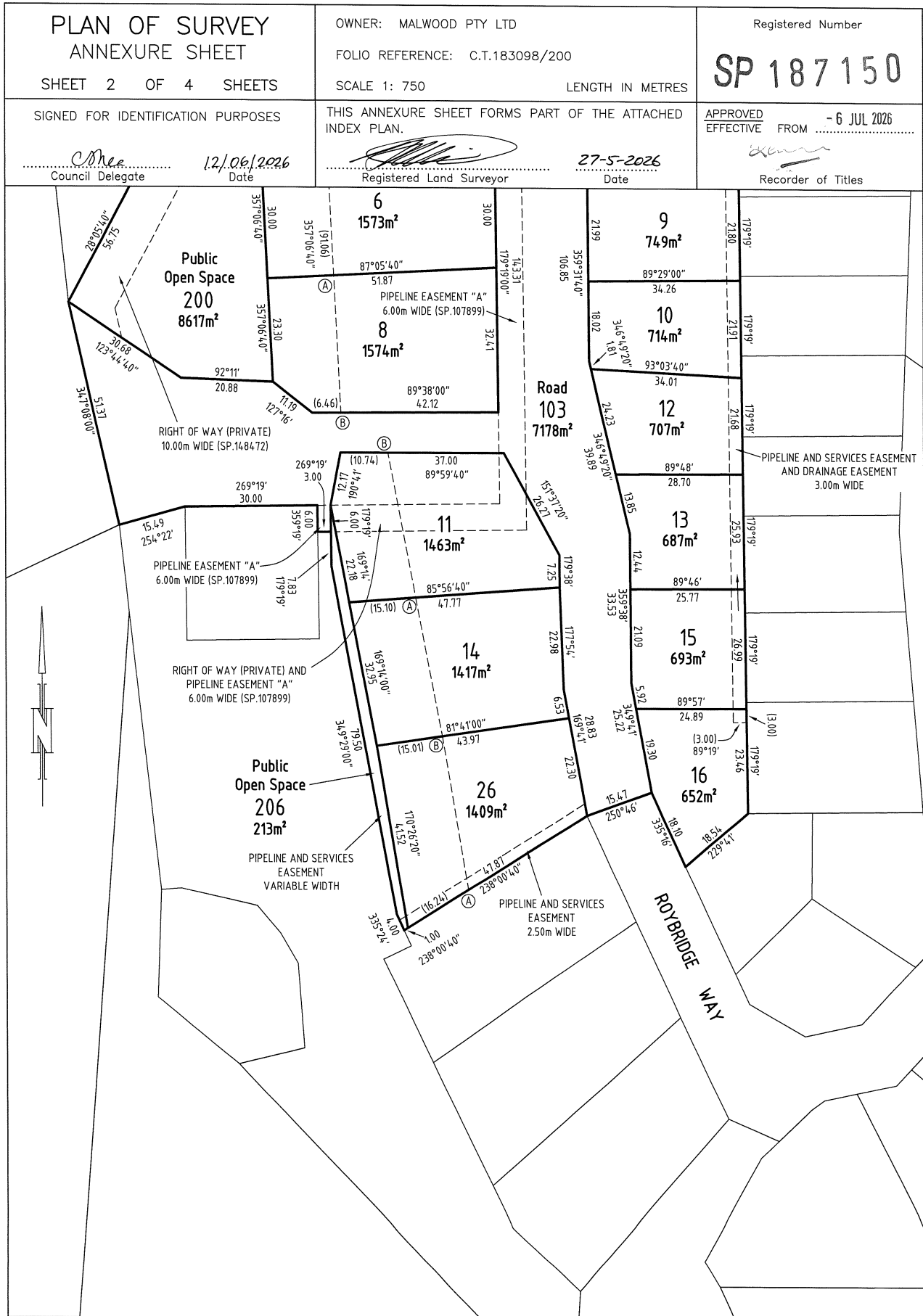
27-5-26  
Date

INSET  
SCALE 1:2500

*C. Shea*  
Council Delegate

12/06/2026  
Date





|                                                                                                               |                                                                                                                                                   |                                                                                             |
|---------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
| <p><b>PLAN OF SURVEY</b><br/><b>ANNEXURE SHEET</b></p> <p>SHEET 3 OF 4 SHEETS</p>                             | <p>OWNER: MALWOOD PTY LTD</p> <p>FOLIO REFERENCE: C.T.183098/200</p> <p>SCALE 1: 1000      LENGTH IN METRES</p>                                   | <p>Registered Number</p> <p><b>SP 187150</b></p>                                            |
| <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>C. Mea</i>      12/06/2026<br/>Council Delegate      Date</p> | <p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i>      27-5-2026<br/>Registered Land Surveyor      Date</p> | <p>APPROVED EFFECTIVE FROM -6 JUL 2026</p> <p><i>[Signature]</i><br/>Recorder of Titles</p> |

LOT 500 IS COMPILED FROM C.T.183098/200 & THIS SURVEY

(SP.179691)      (SP.173199)

307.12

74.73

(P.179130)

500  
6.249ha

101.64

FERMOY CRESCENT

HANNIFFY ROAD

(SP.179691)

(SP.179691)

(SP.179691)

(SP.179691)

PIPELINE AND SERVICES & DRAINAGE EASEMENT  
3.00m WIDE (P.179130)  
(CREATED BY E219751 & E219752)

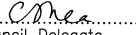
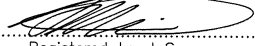
114.53

34.11

61.11

(SP.169863)

(SP.131197)

|                                                                                                                                                                                              |                                                                                                                                                                                                                             |                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PLAN OF SURVEY</b><br/><b>ANNEXURE SHEET</b></p> <p>SHEET 4 OF 4 SHEETS</p>                                                                                                            | <p>OWNER: MALWOOD PTY LTD</p> <p>FOLIO REFERENCE: C.T.183098/200</p> <p>SCALE 1: 1000                      LENGTH IN METRES</p>                                                                                             | <p>Registered Number</p> <p><b>SP187150</b></p>                                                                                                           |
| <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p> 12/06/2026<br/>Council Delegate                      Date</p> | <p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p> 27-5-2026<br/>Registered Land Surveyor                      Date</p> | <p>APPROVED EFFECTIVE FROM - 6 JUL 2026</p> <p> Recorder of Titles</p> |

LOT 500 IS COMPILED FROM C.T.183098/200 & THIS SURVEY

(SP.173199)

PIPELINE & SERVICE EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE (P.175054) (CREATED BY E133592)

307.12

88.11

PIPELINE AND SERVICES & DRAINAGE EASEMENT 3.00m WIDE (P.179130) (CREATED BY E219751 & E219752)

500  
6.249ha

(SP.169863)

14.50 25.63

111.81

VICARY PLACE

75.00

MAUM STREET

34.11 61.11 55.45

DONTAY DRIVE

(SP.131197) (SP.185621) (SP.185621)



|                                                                                                                                                                                      |                                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|
| <p align="center"><b>SCHEDULE OF EASEMENTS</b></p> <p><b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p> | <p align="center">Registered Number</p> <p align="center" style="font-size: 2em;"><b>SP 187 150</b></p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|

PAGE 1 OF 5 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1, 3, 5, 7, 9, 10, 12, 13, 15 & 16 are each subject to a right of drainage in gross over that part of the respective Lots marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE" appurtenant to Clarence City Council.

Lots 1, 3, 5, 7, 9, 10, 12, 13, 15 & 16 are each subject to a Pipeline and Services Easement in gross as defined herein over that part of the respective Lots marked "PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE" ("the Easement Land") appurtenant to TasWater.

Lot 11 is subject to a Pipeline and Services Easement in gross as defined herein over that part of the Lot marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "A" 6.00m WIDE (SP.107899)" ("the Easement Land") appurtenant to TasWater.

Lot 11 is subject to a right of carriage way over that part of the Lot marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "A" 6.00m WIDE (SP.107899)" appurtenant to Lot 5 on Sealed Plan 107899.

*4 and 10*

Lot 26 is subject to a Pipeline and Services Easement in gross as defined herein over that part of the Lot marked "PIPELINE AND SERVICES EASEMENT 2.50m WIDE" ("the Easement Land") appurtenant to TasWater.

*[Signature]*

*SD*  
*SENNA ALEX JAMES*  
*SOLICITOR FOR*  
*REGISTERED PLUMBER*  
*2/7/27*

(USE ANNEXURE PAGES FOR CONTINUATION)

|                                                                                                        |                                                                                                                                                                                                      |
|--------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>SUBDIVIDER: MALWOOD PTY LTD</p> <p>FOLIO REF: 183098-200</p> <p>SOLICITOR: MURDOCH CLARKE</p>       | <p>PLAN SEALED BY: CLARENCE CITY COUNCIL</p> <p>DATE: <i>12th June 2026</i></p> <p><del>SUB-2011-30</del> <i>SD-2010/</i></p> <p>REF NO. <i>44</i></p> <p><i>Clare Shea</i><br/>Council Delegate</p> |
| <p><b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.</p> |                                                                                                                                                                                                      |

|                                                                   |                                        |
|-------------------------------------------------------------------|----------------------------------------|
| <b>ANNEXURE TO<br/>SCHEDULE OF EASEMENTS</b><br>PAGE 2 OF 5 PAGES | Registered Number<br><b>SP 187 150</b> |
| SUBDIVIDER: MALWOOD PTY LTD<br>FOLIO REFERENCE: 183098-200        |                                        |

Lot 103 is subject to a Pipeline and Services Easement in gross as defined herein over that part of the Lot marked "PIPELINE EASEMENT "A" 6.00m WIDE" ("the Easement Land") appurtenant to TasWater.

(SP 107899) 17

Lot 200 is subject to a Pipeline and Services Easement in gross as defined herein over that part of the Lot marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "A" 6.00m WIDE (SP.107899)" ("the Easement Land") appurtenant to TasWater.

Lot 200 is subject to a right of carriage way over that part of the Lot marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "A" 6.00m WIDE (SP.107899)" appurtenant to Lot 5 on Sealed Plan 107899.

4 and 17

Lot 200 is subject to a right of carriage way over that part of the Lot marked "RIGHT OF WAY (PRIVATE) 10.00m WIDE (SP.148472)" appurtenant to Lot 1 on Sealed Plan 148472.

Lot 206 is subject to Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "A" 6.00m WIDE" and "PIPELINE & SERVICES EASEMENT VARIABLE WIDTH" ("the Easement Land") passing through that Lot on the plan.

4 and 17

Lot 206 is subject to a Right of Carriageway (appurtenant to Lot 5 on Sealed Plan 107899 over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "A" 6.00m WIDE") passing through that Lot on the plan.

Lot 206 is subject to a Pipeline and Services Easement in gross as defined herein (in favour of TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT 2.50m WIDE (the Easement Land)" passing through that Lot on the plan.

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

|                                                                   |                                      |
|-------------------------------------------------------------------|--------------------------------------|
| <b>ANNEXURE TO<br/>SCHEDULE OF EASEMENTS</b><br>PAGE 3 OF 5 PAGES | Registered Number<br><b>SP187150</b> |
| SUBDIVIDER: MALWOOD PTY LTD<br>FOLIO REFERENCE: 183098-200        |                                      |

*Drainage Easement* 37

Lot 500 is subject to a ~~right of drainage~~ *Drainage Easement* in gross created by and more fully set forth in Transfer No. E219751 over that part of the Lot marked "PIPELINE AND SERVICES & DRAINAGE EASEMENT 3.00m WIDE (P179130) (CREATED BY E219751 & ~~E219752~~)" appurtenant to Clarence City Council.

Lot 500 is subject to a Pipeline and Services Easement in gross created by and more fully set forth in Transfer No E219752 over that part of the Lot marked "PIPELINE AND SERVICES & DRAINAGE EASEMENT 3.00m WIDE (P179130) (CREATED BY ~~E219751 & E219752~~)" ("the Easement Land") appurtenant to TasWater.

*Drainage Easement* 37

Lot 500 is subject to a ~~Right of Drainage~~ *Drainage Easement* in gross created by and more fully set force in Transfer No. E133592 (in favour of Clarence City Council) over the land marked "PIPELINE & SERVICE EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE" passing through that Lot on the plan. *(P175054)* 37

Lot 500 is subject to a Pipeline and Services Easement in gross created by and more fully set forth in Transfer No. ~~E133592~~ *(as defined herein)* (in favour of TasWater) over the land marked "PIPELINE & SERVICE EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE" passing through that Lot on the plan *(P175054)* 37

## COVENANTS

The owners of Lots 2, 4, 6, 8, 11, 14 & 26 on the Plan covenant with Clarence City Council to the intent that the burden of these covenants may run with and bind those Lots and every part thereof and that the benefit thereof may devolve with Clarence City Council to observe the following stipulations:-

1. Not to develop any part of a habitable building within the hazard management area delineated on the Bushfire Hazard Management Plan (Onto It Solutions 12 April 2022) unless constructed to a higher BAL, where the hazard management area on each Lot is west of the line marked "AB" on the plan;
2. Not to develop a habitable building to a higher BAL level within the hazard management area unless accompanied by a Bushfire Hazard Management Plan

## FENCING PROVISION

In respect to each Lot shown on the Plan, the Vendor (Malwood Pty Ltd) shall not be required to fence

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. 37

|                                                                   |                                      |
|-------------------------------------------------------------------|--------------------------------------|
| <b>ANNEXURE TO<br/>SCHEDULE OF EASEMENTS</b><br>PAGE 4 OF 5 PAGES | Registered Number<br><b>SP187150</b> |
| SUBDIVIDER: MALWOOD PTY LTD<br>FOLIO REFERENCE: 183098-200        |                                      |

**INTERPRETATION**

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

"Pipeline and Services Easement" means:-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the



**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



|                                                                   |                                       |
|-------------------------------------------------------------------|---------------------------------------|
| <b>ANNEXURE TO<br/>SCHEDULE OF EASEMENTS</b><br>PAGE 5 OF 5 PAGES | Registered Number<br><b>SP 187150</b> |
| SUBDIVIDER: MALWOOD PTY LTD<br>FOLIO REFERENCE: 183098-200        |                                       |

servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

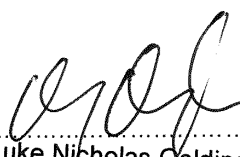
"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for  
the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Executed by **MALWOOD PTY LTD** (009 577 931) pursuant to section 127(1) )  
 of the Corporations Act 2001 by its duly appointed Attorney Benn Rex Dance )  
 pursuant to Power of Attorney PA146789 registered in Tasmania on 23 May )  
 2023 who declares/each declare that they have received no notice of the )  
 revocation thereof: )

  
 .....  
 Signature of Attorney

In the presence of:

Witness sign:   
 Full Name: **Luke Nicholas Golding**  
 Address: **Australian Legal Practitioner**  
**10 Victoria Street**  
**Hobart Tas 7000**

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

# TASMANIAN LAND TITLES OFFICE

## Notification of Agreement under the

## Land Use Planning and Approvals Act 1993 (Section 71)



E34443

| DESCRIPTION OF LAND   |       |        |       |
|-----------------------|-------|--------|-------|
| Folio of the Register |       |        |       |
| Volume                | Folio | Volume | Folio |
| 159758                | 1     |        |       |

REGISTERED PROPRIETOR:  
**MALWOOD PTY LTD**

PLANNING AUTHORITY:  
**CLARENCE CITY COUNCIL**

Dated this First day of February 2016.

We **Clarence City Council**

of **38 Bligh Street, Rosny Park in Tasmania**

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Signed

(on behalf of the Planning Authority)

Alex Van Der Hek  
Corporate Secretary  
Clarence City Council  
38 Bligh Street  
Rosny Park 7018

Land Titles Office Use Only

**LUA**

Version 1

REGISTERED

23 FEB 2016

RECORDED OF TITLES

THE BACK OF THIS FORM MUST NOT BE USED

Stamp Duty

## PART 5 AGREEMENT

**THIS AGREEMENT IS** made the 29<sup>th</sup> day of January 2014 <sup>5</sup>  
**Between:**  
**CLARENCE CITY COUNCIL** a body corporate established by the *Local Government Act 1993*  
("the Council")  
and  
**MALWOOD PTY LTD** of 80 Esplanade, Rose Bay in Tasmania ("the Owner")

### **RECITALS**

- A. The Owner is the registered proprietor of an estate in fee simple situated at 473 Rokeby Road, Howrah in Tasmania, more particularly described in Certificate of Title Volume 159758/1 ("Property").
- B. The Property is subject to the provisions of the *Clarence Planning Scheme 2007* ("Scheme") and the Council is the Planning Authority under the *Land Use Planning and Approvals Act 1993* for the purposes of the Scheme.
- C. The Owner has obtained a planning permit numbered SD -2011/30 ("Permit").
- D. Condition 5 of the Permit requires that an agreement pursuant to Part 5 of the *Land Use Planning and Approvals Act* ("Act") be entered into ("Agreement").

### **1 GENERAL INTERPRETATION**

In this Agreement, unless the context otherwise requires:

- (a) a reference to any legislation or any legislative provision includes any statutory modification or re-enactment of, or legislative provisions substituted for, and any subordinate legislation issued under, that legislation or legislative provision;
- (b) the singular includes the plural and vice versa;
- (c) a reference to an individual or person includes a corporation, partnership, joint venture, association, authority, trust, state or government, or vice versa;
- (d) a reference to any gender includes all genders;

T. J. J. Property Officer  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

(11) 1/1/14  
JSC

- (e) a reference to a recital, clause, schedule, annexure or exhibit is to a recital, clause, schedule, annexure or exhibit of or to this Agreement; and
- (f) a recital, schedule, annexure or a description of the parties forms part of this Agreement.

## **2 AGREEMENT**

### **2.1 Condition 5 Requirements**

- (a) In accordance with the Permit, the Owner has obtained a Bushfire Hazard Management Plan ("BHMP") endorsed by the Tasmania Fire Service ("TFS").
- (b) The BHMP requires bushfire risk mitigation measures ("bushfire risk mitigation measures") which are detailed in Part 3 of this Agreement to be undertaken and maintained on an ongoing basis.
- (c) A plan extract from the BHMP which shows the measures to be implemented forms Attachment 1 to this Agreement.

### **2.2 Covenants**

The Owner and its assigns hereby covenant and agree with the Council in respect of that part of the Property shown as highlighted in grey on Attachment 2 to observe the stipulations set out at part 3 of this Agreement.

## **3 NOW THIS DEED WITNESSES AS FOLLOWS;**

### **3.1 Obligations on the owners of lots T2; T3; T4 and T6**

The owner(s) for the time being of those lots marked as T2; T3; T4 and T6 on Attachment 1 must:

- (a) not construct a residential dwelling on that part of their Lot marked as "Building Protection Zone" on Attachment 1; and
- (b) undertake the following bushfire risk mitigation measures in that part of their Lot marked as "Building Protection Zone" on Attachment 1:
  - (i) maintain the distance between any two (2) trees at more than the width

*T. Brown, Owner of the*  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

*(Signature)*  
*1/1/16*  
*TSC*



of the canopy of each tree, or the height of the tree (whichever is greater);

- (ii) remove branches and loose bark from all trees to a height of at least two (2) metres;
- (iii) remove shrubs; and
- (iv) maintain ground covers below 30 centimetres.

### 3.2 Obligations on the owners of lots T7 and T9

The owner(s) for the time being of those lots marked as T7 and T9 on Attachment 1 must:

- (a) not construct a residential dwelling on those parts of their Lot marked as "Building Protection Zone" or "Fuel Modified Buffer Zone" on Attachment 1; and
- (b) undertake the following bushfire risk mitigation measures in those parts of their Lot marked as "Building Protection Zone" or "Fuel Modified Buffer Zone" on Attachment 1:
  - (i) maintain the distance between any two (2) trees at more than the width of the canopy of each tree, or the height of the tree (whichever is greater);
  - (ii) remove branches and loose bark from all trees to a height of at least two (2) metres;
  - (iii) remove shrubs; and
  - (iv) maintain ground covers below 30 centimetres (in the Building Protection Zone) and 50 centimetres (in the Fuel Modified Buffer Zone).

TSA, Proper Officer  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

The block contains handwritten signatures and initials. On the left, there is a circular stamp with the letters 'TS' inside. To the right of the stamp, there are handwritten initials that appear to be 'HGH' and 'TSC'.

**4 REGISTRATION**

- (a) Following execution the Council will register this Agreement on the folios of the Register to be created for lots T2; T3; T4; T6; T7 and T9 shown on Attachment 1 pursuant to the provisions of Section 78 of the Act.
- (b) The effect of registration will be that the burden of any commitment contained in this Agreement will run with that part of the Property to which this Agreement relates as if it were a covenant to which Section 102(2) of the *Land Titles Act* 1980 applies.

*T. J. Jones, Mayor of the City of...*  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

*[Signature]*  
194.

The Common Seal of the CLARENCE CITY COUNCIL )  
was affixed to this document in the presence of: )

.....  
Witness

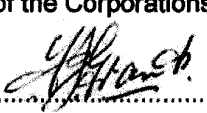
.....  
Address

.....  
Occupation

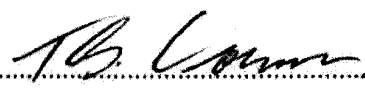


**STEPHEN WICKS**  
acting Corporate Secretary

EXECUTED by MALWOOD PTY LTD pursuant to )  
section 127 of the Corporations Act 2001 by: )

  
.....  
Director Signature

FREDERICK JAMES GRANT  
.....  
Director Full Name (print)

  
.....  
Director Signature

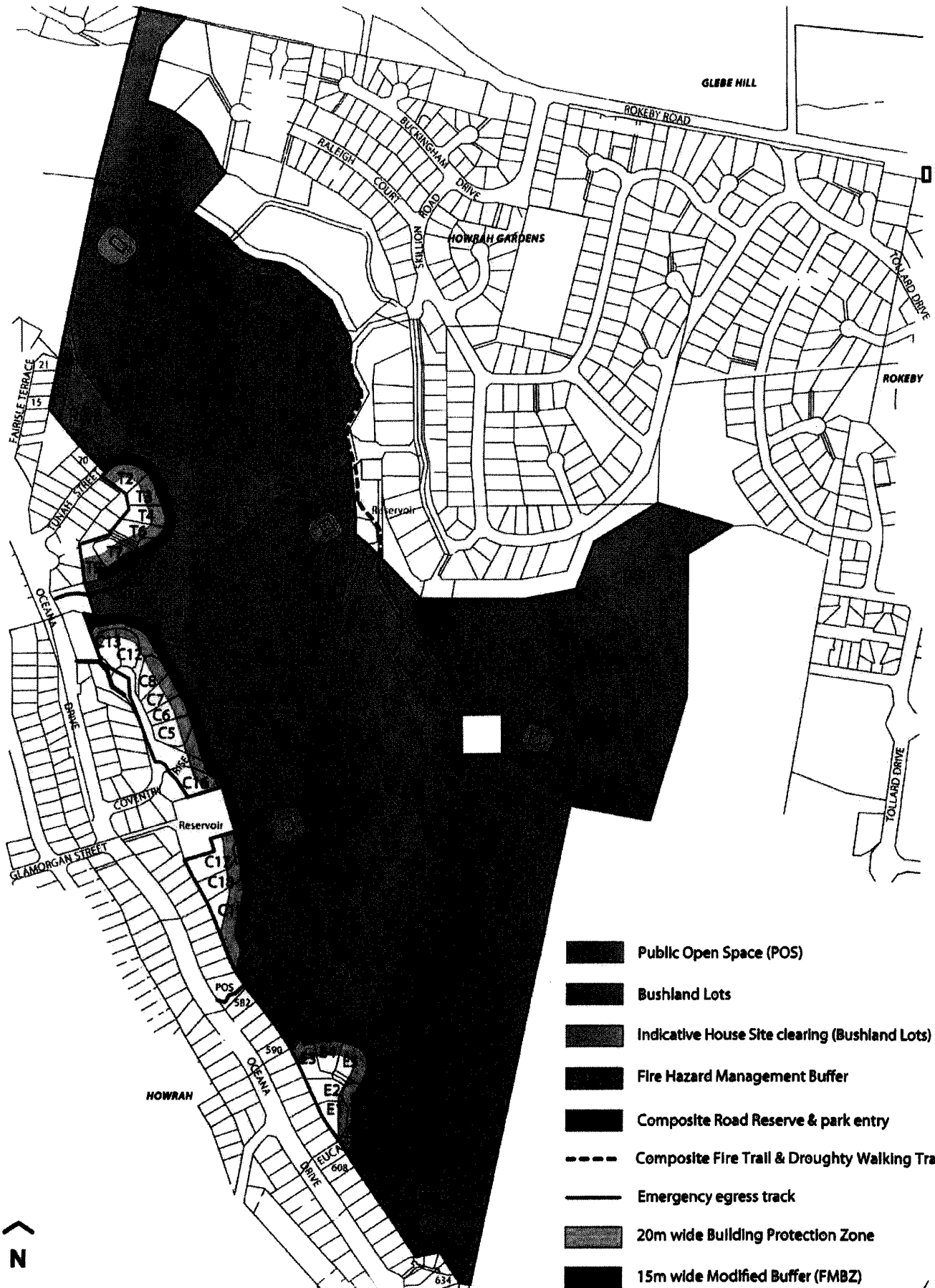
Terence Scott Cronin  
.....  
Director Full Name (print)

Thomas Robert O'Hall  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

  
TBO

ATTACHMENT 1

"Attachment 1"



I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

*[Handwritten signature]*  
TSC.

"Attachment 2"



N

Oceana Phase 2 Part 5 Planning Agreement applies

*[Handwritten signature]*  
fsc

*Tom Popen Offici*  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

# TASMANIAN LAND TITLES OFFICE

## Notification of Agreement under the

## Land Use Planning and Approvals Act 1993 (Section 71)



E34444

| DESCRIPTION OF LAND   |       |        |       |
|-----------------------|-------|--------|-------|
| Folio of the Register |       |        |       |
| Volume                | Folio | Volume | Folio |
| 159758                | 1     |        |       |

REGISTERED PROPRIETOR:  
**MALWOOD PTY LTD**

PLANNING AUTHORITY:  
**CLARENCE CITY COUNCIL**

Dated this First day of February 2016.

We **Clarence City Council**

of **38 Bligh Street, Rosny Park in Tasmania**

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Signed  
(on behalf of the Planning Authority)

**Alex Van Der Hek**  
Corporate Secretary  
Clarence City Council  
38 Bligh Street  
Rosny Park 7010

Land Titles Office Use Only

REGISTERED

**LUA**

Version 1

23 FEB 2016

RECORDED OF TITLES

THE BACK OF THIS FORM MUST NOT BE USED

Stamp Duty

PART 5 AGREEMENT

THIS AGREEMENT IS made the 29<sup>th</sup> day of January 2014

Between:

**CLARENCE CITY COUNCIL** a body corporate established by the *Local Government Act 1993* ("the Council")

and

**MALWOOD PTY LTD** of 80 Esplanade, Rose Bay in Tasmania ("the Owner")

**RECITALS**

- A. The Owner is the registered proprietor of an estate in fee simple situated at 473 Rokeby Road, Howrah in Tasmania, more particularly described in Certificate of Title Volume 159758/1 ("Property").
- B. The Property is subject to the provisions of the *Clarence Planning Scheme 2007* ("Scheme") and the Council is the Planning Authority under the *Land Use Planning and Approvals Act 1993* for the purposes of the Scheme.
- C. The Owner has obtained a planning permit numbered SD -2011/30 ("Permit").
- D. Conditions 5 and 8 of the Permit require that an agreement pursuant to Part 5 of the *Land Use Planning and Approvals Act* ("Act") be entered into ("Agreement").

**1 GENERAL INTERPRETATION**

In this Agreement, unless the context otherwise requires:

- (a) a reference to any legislation or any legislative provision includes any statutory modification or re-enactment of, or legislative provisions substituted for, and any subordinate legislation issued under, that legislation or legislative provision;
- (b) the singular includes the plural and vice versa;
- (c) a reference to an individual or person includes a corporation, partnership, joint venture, association, authority, trust, state or government, or vice versa;
- (d) a reference to any gender includes all genders;

TSC - Proper offer  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

TSC  
H

- (e) a reference to a recital, clause, schedule, annexure or exhibit is to a recital, clause, schedule, annexure or exhibit of or to this Agreement; and
- (f) a recital, schedule, annexure or a description of the parties forms part of this Agreement.

## **2 AGREEMENT**

### **2.1 Condition 5 Requirements**

- (a) In accordance with the Permit, the Owner has obtained a Bushfire Hazard Management Plan ("BHMP") endorsed by the Tasmania Fire Service ("TFS").
- (b) The BHMP requires bushfire risk mitigation measures ("bushfire risk mitigation measures") which are detailed in Part 3 of this Agreement to be undertaken and maintained on an ongoing basis.
- (c) A plan extract from the BHMP which shows the measures to be implemented forms Attachment 1 to this Agreement.

### **2.2 Condition 8 Requirements**

- (a) In accordance with the Permit, the Owner has obtained a plan which shows mature Eucalyptus Trees located on the Property.
- (b) The Permit requires the Mature Trees to be protected in accordance with Part 3 of this Agreement.
- (a) The Plan which shows the location of the Mature Trees forms Attachment 2 to this Agreement.

### **2.3 Covenants**

The Owner and its assigns hereby covenant and agree with the Council in respect of that part of the Property shown as highlighted in grey on Attachment 3 to observe the stipulations set out at part 3 of this Agreement.

  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT



TS  




**The owner(s) for the time being of those lots marked as C5; C6; C7; C8; C12; C13; C16 and C17 on Attachment 1 must:**

- The owner(s) for the time being of the lot marked as C18 on Attachment 1 must:**

- (a) not construct a residential dwelling on those parts of their Lot marked as "Building Protection Zone" or "Fuel Modified Buffer Zone" on Attachment 1; and
- (b) undertake the following bushfire risk mitigation measures in those parts of their Lot marked as "Building Protection Zone" or "Fuel Modified Buffer Zone" on Attachment 1:
  - (i) maintain the distance between any two (2) trees at more than the width of the canopy of each tree, or the height of the tree (whichever is greater);
  - (ii) remove branches and loose bark from all trees to a height of at least two (2) metres;

I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

TSI  
JH

- (iii) remove shrubs; and
- (iv) maintain ground covers below 30 centimetres (in the Building Protection Zone) and 50 centimetres (in the Fuel Modified Buffer Zone).

### 3.1 Obligations on the owners of lot C19

The owner(s) for the time being of the lot marked as C19 on Attachment 1 must:

- (a) not construct a residential dwelling on those parts of their Lot marked as "Building Protection Zone" or "Fuel Modified Buffer Zone" on Attachment 1;
- (b) undertake the following bushfire risk mitigation measures in those parts of their Lot marked as "Building Protection Zone" or "Fuel Modified Buffer Zone" on Attachment 1:
  - (i) maintain the distance between any two (2) trees at more than the width of the canopy of each tree, or the height of the tree (whichever is greater);
  - (ii) remove branches and loose bark from all trees to a height of at least two (2) metres;
  - (iii) remove shrubs; and
  - (iv) maintain ground covers below 30 centimetres (in the Building Protection Zone) and 50 centimetres (in the Fuel Modified Buffer Zone); and
- (c) not remove the Mature Tree(s) from those parts of their Lot marked on Attachment 2, without the prior written consent of Council (whose consent must not be unreasonably withheld where the owner(s) provides a report to Council from a suitably qualified person demonstrating that the Mature Tree(s) has no conservation value, is of ill health and is not likely to survive or poses a danger to individuals).

*T. Jones, Property Officer*  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

*TSC*  
*JH*

**4 REGISTRATION**

- (a) Following execution the Council will register this Agreement on the folios of the Register to be created for lots C5; C6; C7; C8; C12; C13; C16; C17; C18 and C19 shown on Attachment 1 pursuant to the provisions of Section 78 of the Act.
- (b) The effect of registration will be that the burden of any commitment contained in this Agreement will run with that part of the Property to which this Agreement relates as if it were a covenant to which Section 102(2) of the *Land Titles Act* 1980 applies.

*Thomas Power of the*  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

*TS*  
*1/11*

The Common Seal of the CLARENCE CITY COUNCIL )  
was affixed to this document in the presence of: )

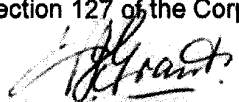
.....  
Witness

.....  
Address

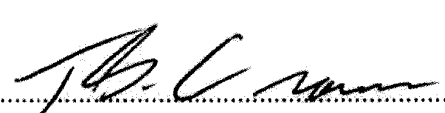
.....  
Occupation

  
**STEPHEN WICKS**  
acting Corporate Secretary

EXECUTED by MALWOOD PTY LTD pursuant to )  
section 127 of the Corporations Act 2001 by: )

  
.....  
Director Signature *FREDERICK JAMES GRANT.*

.....  
Director Full Name (print)

  
.....  
Director Signature

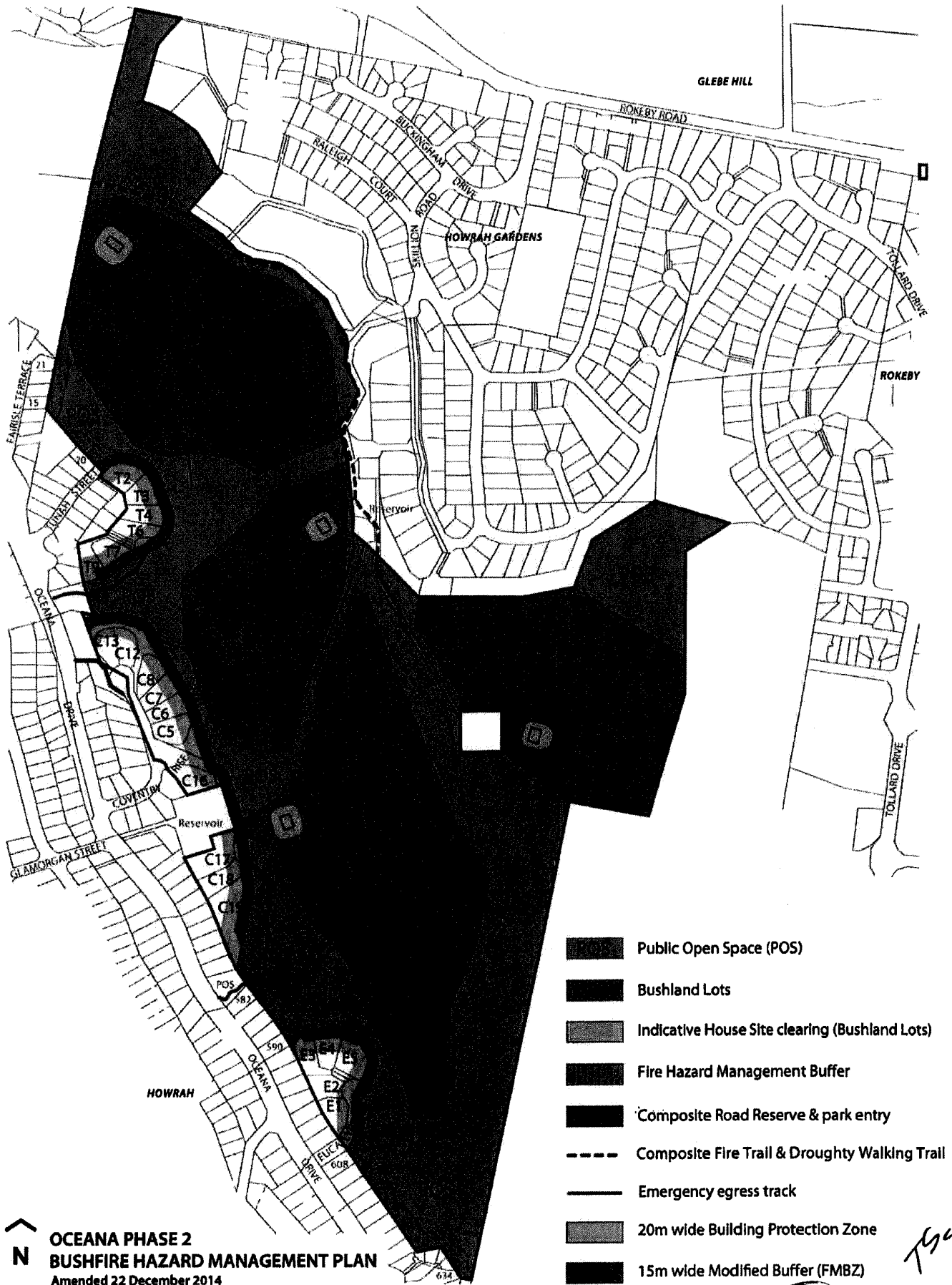
*Tance Scott Cronin*  
.....  
Director Full Name (print)

*Tance Cronin*  
I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

 *TSC*  
*EC*

# "Attachment 1"

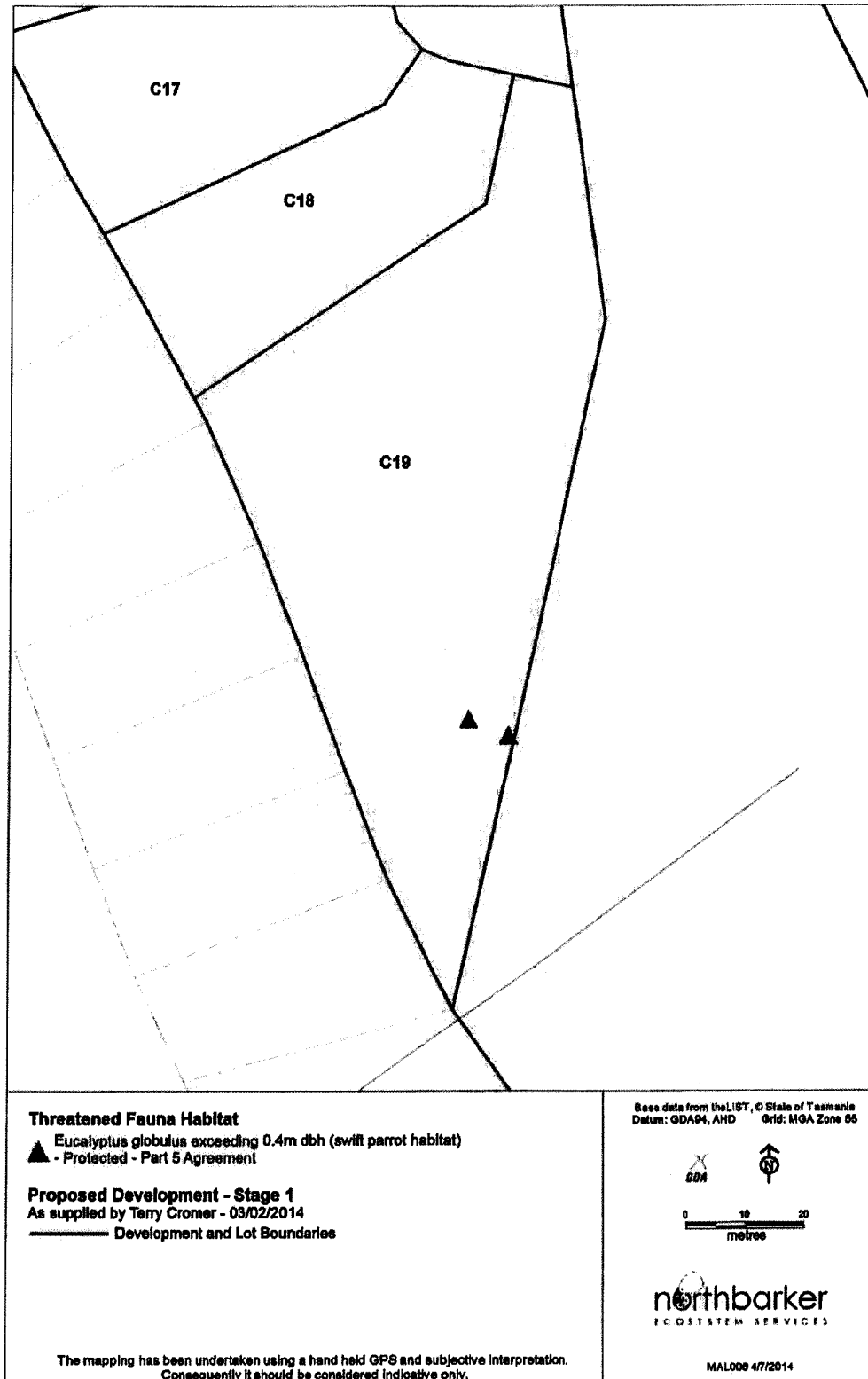
## ATTACHMENT 1



**OCEANA PHASE 2  
BUSHFIRE HAZARD MANAGEMENT PLAN**  
Amended 22 December 2014

I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

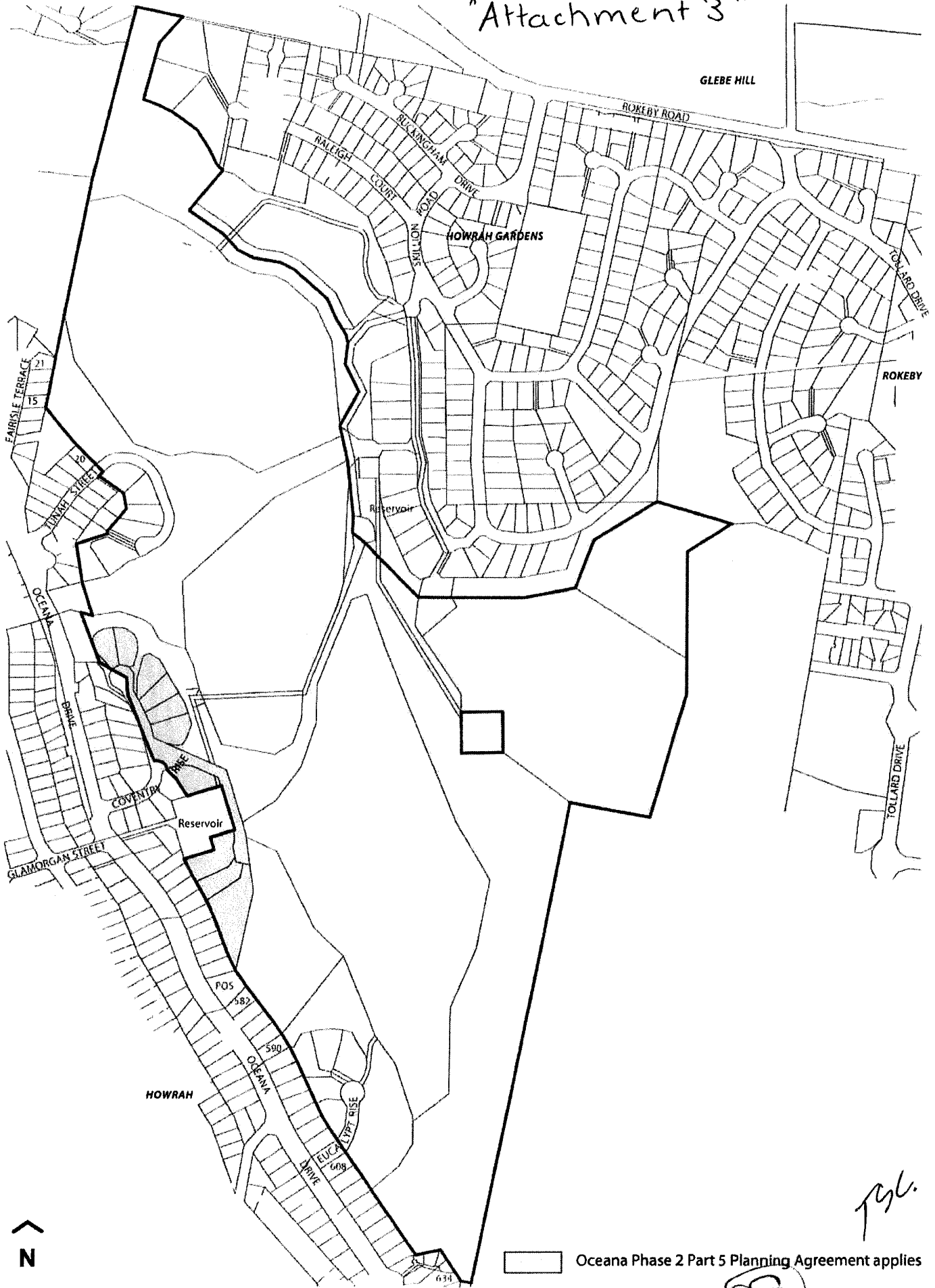
# "Attachment 2"



Terry Cromer  
 I HEREBY CERTIFY THAT THIS IS A  
 COPY OF THE ORIGINAL DOCUMENT

TSC  
 1/10

# "Attachment 3"



 Oceana Phase 2 Part 5 Planning Agreement applies

I HEREBY CERTIFY THAT THIS IS A  
COPY OF THE ORIGINAL DOCUMENT

# TASMANIAN LAND TITLES OFFICE

## Notification of Agreement under the Land Use Planning and Approvals Act 1993

Section 78



E303086

| DESCRIPTION OF LAND   |       |        |       |
|-----------------------|-------|--------|-------|
| Folio of the Register |       |        |       |
| Volume                | Folio | Volume | Folio |
| 179035                | 200   |        |       |

### REGISTERED PROPRIETOR:

Malwood Pty Ltd (ACN 009 577 931) of 80 Esplanade, Rose Bay in Tasmania, 7015

PLANNING AUTHORITY: Clarence City Council

I/we Clare Amy Shea, Corporate Secretary  
of Clarence City Council

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement (not including annexures) between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Date: 5<sup>th</sup> August 2022

Signed: Clare Shea  
(on behalf of the Planning Authority)  
**Clare Shea**  
**Corporate Secretary**  
**Clarence City Council**  
**38 Bligh Street**  
**Rosny Park 7018**

Land Titles Office Use Only

**LUA**  
Version 2 (TOLD)

REGISTERED IN TASMANIA

11 AUG 2022

RECORDER OF TITLES

THE BACK OF THIS FORM MUST NOT BE USED

Created 02-Aug-2022 01:31PM



**AGREEMENT UNDER PART 5 OF THE LAND USE PLANNING AND APPROVALS  
ACT 1993**

This Agreement is made on the 5<sup>th</sup> day of August 2022

**PARTIES**

**Clarence City Council** a body corporate established by the *Local Government Act 1993* (Tas), of 38 Bligh Street, Rosny Park in Tasmania 7018 (**Council**)

and

**Malwood Pty Ltd** (ACN 009 577 931) of 80 Esplanade, Rose Bay in Tasmania 7015 (**Owner**)

**RECITALS**

- A. The Owner is the registered proprietor of an estate in fee simple in the Land.
- B. Council is the planning authority under the Act and for the purposes of the Planning Scheme.
- C. The Land is subject to the provisions of the Planning Scheme.
- D. The owner is proposing to subdivide the Land as detailed in the Permit.
- E. It is a condition of the Permit that the Owner is to enter into this agreement with Council pursuant to section 71(1) of the Act.

**OPERATIVE PART**

**1. Definitions and interpretation**

**1.1 Definitions**

In this Agreement, unless the context requires otherwise:

**Act** means the *Land Use Planning and Approvals Act 1993* (Tas).

**Agreement** means this Part 5 agreement.

Kylie Jayne Wright  
I HEREBY CERTIFY THAT  
THIS IS A COPY OF THE  
ORIGINAL DOCUMENT

T.S.C.

*[Signature]*

**Approved Subdivision Staging Plan** means the Plan approved by Council Permit SD-2010/44 as amended on 18 January 2019 ('Proposed Subdivision Overall Staging', reference ROMAN13 7549-08), annexed and marked "A".

**Land** means the land situated at 473 Rokeby Road, Howrah in Tasmania as described in Certificate of Title Volume 179035 Folio 200.

**Lot** means each individual lot shown as M2, M4, M6, M8, M11, M14, M21-M30 inclusive, M40, M42, M44, M50-M54 inclusive on the Approved Subdivision Staging Plan.

**Permit** means Council planning permit SD-2010/44 dated 22 February 2013 as amended on 10 July 2020, 26 April 2022 and 10 May 2022.

## 1.2. Interpretation

In this Agreement:

- a. the expression "Owner":
  - i. can mean more than one person;
  - ii. includes the successors and assigns of the Owner;
  - iii. includes any person deriving title to the Land or any part of the Land from the Owner;
- b. where the Owner comprises more than one person, those persons are jointly and each of them is severally liable under this Agreement;
- c. clause headings are inserted for convenience only and do not affect the interpretation of this Agreement;
- d. a recital, schedule, annexure or a description of the parties forms part of this Agreement;
- e. where any word or phrase is given a defined meaning, any other part of speech or other grammatical form of that word or phrase has a corresponding meaning; and
- f. a party includes its successors assigns, executors and administrators.

## 2. Covenants

The Owner of a Lot covenants with Council that, in accordance with condition 7 of the Permit:

- a. to design window detail, and to arrange and locate windows to avoid bird strike; and

*Kylie Jayne Wright*  
JL I HEREBY CERTIFY THAT  
THIS IS A COPY OF THE  
ORIGINAL DOCUMENT

*13.0.*  
*[Signature]*

- b. not to install wire fences greater than 1.2m high on the Lot.

### 3. Dispute

- a. If a dispute arises between the parties under this Agreement, then (except in the case of action required to be taken under statute) the parties agree that it must be resolved expeditiously in accordance with the provisions of this clause.
- b. If a dispute arises requiring resolution, a party must serve a notice on the other specifying the nature and substance of the matter in dispute.
- c. If, within thirty (30) days of a notice under **clause 3(b)** being served, the parties are unable to resolve the dispute, then the dispute must be submitted by the parties for resolution under the following sub-clauses.
- d. The matter in dispute must be referred for resolution by a person of appropriate qualifications and experience, as agreed between the parties, who will act as mediator and conduct a mediation concerning the matter in dispute.
- e. The costs of all mediation under this clause are to be shared equally between the parties.
- f. Each of the parties agrees to use their best endeavours to resolve the dispute through mediation.

### 4. Severance

If any provision of this Agreement or its application to any person or circumstance is or becomes invalid, illegal or unenforceable, then so far as possible, the provision will be read down to the extent necessary to ensure that it is not illegal, invalid or unenforceable. If any provision or part of it cannot be so read down, then the provision or part of it will be taken to be void and severable and the remaining provisions of this Agreement will not be affected or impaired in any way

### 5. Notices

- a. A notice or other communication given or made under this Agreement must be in writing and addressed to the party to whom the notice is to be given at the address for service of notices as agreed by the parties from time to time.
- b. A notice or other communication is taken to have been duly served:
  - i. in the case of hand delivery - when delivered;
  - ii. if sent by prepaid post - on the third business day after the date of posting;

Kylie Jayne Wright  
I HEREBY CERTIFY THAT  
THIS IS A COPY OF THE  
ORIGINAL DOCUMENT  
112 164.

- iii. if sent by email, when the recipient becomes capable of receiving the email during ordinary business hours (unless the sender receives an automated message that the email has been delayed or delivery has failed).
- c. A notice or other communication given or made under this Agreement is sufficient if:
  - i. in the case of the Council, it is under the hand of the General Manager or a duly authorised officer of the Council or the Council's solicitors;
  - ii. in the case of the Owner, it is under the hand of the Owner or their solicitor.
- d. A printed or copied signature is sufficient for the purposes of sending any demand, written consent or other communication by facsimile transmission or by email.

## 6. Owner's acknowledgment

The Owner acknowledges that:

- a. this Agreement is being entered into pursuant to Part 5 of the Act for the purpose of satisfying the condition stated in the Permit. It may be registered on the title to the Land by Council at the Owner's cost;
- b. the effect of registration pursuant to the preceding clause will be that the burden and benefit of any covenant contained in this Agreement will run with the land as if it were a covenant to which section 102(2) of the Land Titles Act 1980 (Tas) applies; and
- c. this Agreement is enforceable between the parties to it, and any person deriving title under any such party, as if the Agreement were entered into by a fee simple owner of land for the benefit of adjacent land held by the Crown in fee simple that was capable of being benefited by the Agreement and as if that adjacent land continued to be so held by the Crown.

## 7. Costs

The Owner and Council agree that:

- a. the Owner must bear the costs and disbursements associated with the preparation, negotiation and registration of this Agreement including any costs or disbursements incurred or to be incurred by Council; and

Kylie Jayne Wright  
JO. I HEREBY CERTIFY THAT  
THIS IS A COPY OF THE  
ORIGINAL DOCUMENT  
T.G.C.  
CD

- b. unless this Agreement provides to the contrary, each party must pay its own costs incurred in the future operation of this Agreement.

#### **8. Council powers**

The parties acknowledge and agree that this Agreement does not fetter or restrict the powers or discretions of Council as planning authority in any way, including to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of plans relating to the Land or relating to any use or development of the Land.

#### **9. Commencing date and duration**

This agreement will:

- a. take effect on the date it is executed by the parties notwithstanding any delay or failure of the part of the Council in registering it against the title to the Land; and
- b. Continue in full effect until terminated either pursuant to a provision of the Act or by mutual agreement of the parties.

Kylie Jayne Wright

390.

I HEREBY CERTIFY THAT  
THIS IS A COPY OF THE  
ORIGINAL DOCUMENT

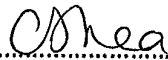
m

13.6.

EXECUTED by the parties as an agreement under seal

on the 5<sup>th</sup> day of August 2022

The Common Seal of CLARENCE CITY COUNCIL  
was affixed by its duly authorised delegate  
in accordance with section 19(5)  
of the *Local Government Act 1993* (Tas)

  
.....  
Clare Amy Shea  
Corporate Secretary

Executed by

**Malwood Pty Ltd (ACN 009 577 931)**  
by authority of its Directors in accordance with  
section 127 of the *Corporations Act 2001* (Cth)

  
.....  
Director

  
.....  
ROBERT JOHN BRADNALL  
Director UNDER POWER OF ATTORNEY  
P114531.

 Kylie Jayne Wright  
I HEREBY CERTIFY THAT  
THIS IS A COPY OF THE  
ORIGINAL DOCUMENT



UNIT 1, 2 KENNEDY DRIVE  
CAMBRIDGE 7170  
PHONE: (03) 6246 5898  
EMAIL: admin@rbsurveyors.com  
WEB: www.rbsurveyors.com

This plan has been prepared only for the purpose of obtaining preliminary subdivisional approval from the local authority and is subject to that approval

All measurements and areas are subject to the final survey

OWNER:

LOCATION 473, 503 & 525 ROKEBY ROAD  
ROKEBY

TITLE REFERENCE SEE BELOW

PROPOSED EASEMENTS AS REQUIRED

GRANTEE SEE TITLE

SCALE 1:2500

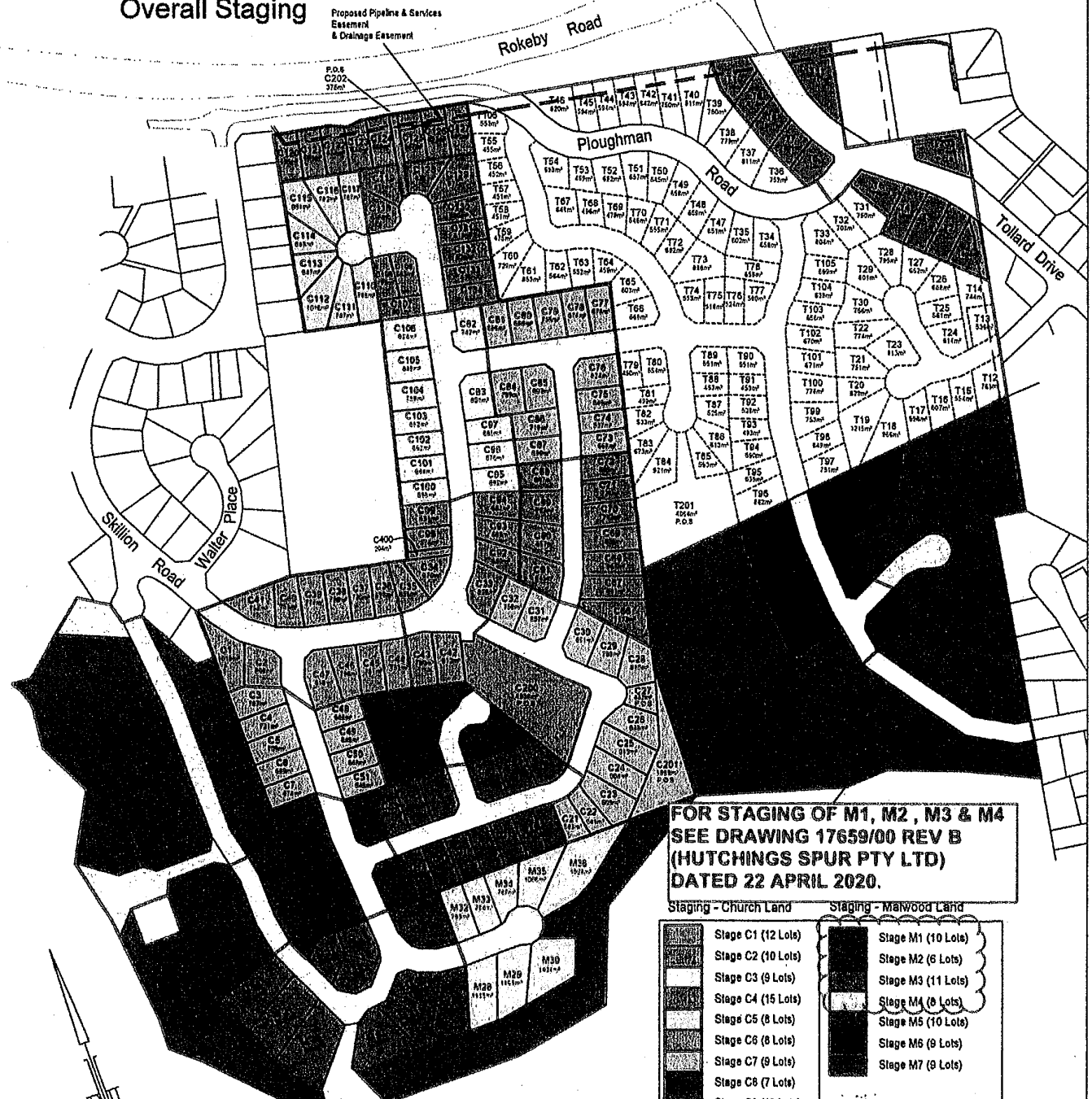
DATE: 12-11-2018

MUNICIPALITY CLARENCE

REF. NO. ROMAN13  
7549-08

## PROPOSED SUBDIVISION Overall Staging

Proposed Pipeline & Services  
Easement  
& Drainage Easement



FOR STAGING OF M1, M2, M3 & M4  
SEE DRAWING 17659/00 REV B  
(HUTCHINGS SPUR PTY LTD)  
DATED 22 APRIL 2020.

Staging - Church Land

Staging - Malwood Land

|                     |                    |
|---------------------|--------------------|
| Stage C1 (12 Lots)  | Stage M1 (10 Lots) |
| Stage C2 (10 Lots)  | Stage M2 (6 Lots)  |
| Stage C3 (9 Lots)   | Stage M3 (11 Lots) |
| Stage C4 (15 Lots)  | Stage M4 (8 Lots)  |
| Stage C5 (8 Lots)   | Stage M5 (10 Lots) |
| Stage C6 (8 Lots)   | Stage M6 (9 Lots)  |
| Stage C7 (9 Lots)   | Stage M7 (9 Lots)  |
| Stage C8 (7 Lots)   |                    |
| Stage C9 (13 Lots)  |                    |
| Stage C10 (7 Lots)  |                    |
| Stage C11 (11 Lots) |                    |
| Stage C12 (11 Lots) |                    |
| Stage C13 (13 Lots) |                    |

Staging - Tranmere Point Land

CITY OF CLARENCE  
PLANNING APPROVAL

SUBDIVISION PERMIT NO: SD-2010/44  
DATED 22/2/2013

Amended under S 56 LUPAA 18/1/2019

*Kylie Jayne Wright*  
I HEREBY CERTIFY THAT  
THIS IS A COPY OF THE  
ORIGINAL DOCUMENT

Base image by TASMAP (www.tasmap.tas.gov.au), © State of Tasmania  
Base data from the LIST (www.thelist.tas.gov.au), © State of Tasmania

H1397 - Proposed Dwelling, REID  
AT 30 ROYBRIDGE WAY, HOWRAH

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055

Ph. (03) 62 833 273      www.tassiehomes.com.au

Climate Zone - 7  
C.T. No. 187150/16  
Wind Speed - N2  
Corrosion Environment -  
MODERATE  
Soil Classification - H-1  
Floor Area      = 164.3m<sup>2</sup>  
                      = 17.7 sq

| Architectural<br>Drawing No. | Description                                         |
|------------------------------|-----------------------------------------------------|
| 01                           | Site Plan                                           |
| 01a                          | Driveway Chainage                                   |
| 02                           | Drainage Plan                                       |
| 02a                          | H-1 Drainage Notes Sheet 1 of 2                     |
| 02b                          | H-1 Drainage Notes Sheet 2 of 2                     |
| 03                           | Floor Plan                                          |
| 04                           | Elevations                                          |
| 05                           | Section                                             |
| 06                           | Roof Plan                                           |
| 07                           | Electrical Plan                                     |
| 08                           | Flooring Layout Plan                                |
| 09                           | Lighting Calculations, Insulation & Window Schedule |
| 10                           | Compliance Notes                                    |
| 10a                          | Liveable Housing Specifications Sheet 1 of 3        |
| 10b                          | Liveable Housing Specifications Sheet 2 of 3        |
| 10c                          | Liveable Housing Specifications Sheet 3 of 3        |
| 11                           | Wet Area Specifications                             |
| 11a                          | Stair Notes                                         |
| 11b                          | Balustrade Notes                                    |
| 12                           | Vegetation Overlay                                  |
| 13                           | BAL Construction Requirements                       |

| Structural<br>Drawing No. | Description            |
|---------------------------|------------------------|
| S01                       | Floor Structure        |
| S02                       | Framing & Bracing Plan |
| S03                       | Bracing Details        |
| S04                       | Details                |

PROTECTIVE COATINGS FOR STEELWORK

| ENVIRONMENT                                                                                                                                    | LOCATION | MINIMUM PROTECTIVE COATING                   |                                                                                                                                                                                                                                      |
|------------------------------------------------------------------------------------------------------------------------------------------------|----------|----------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                |          | General structural steel members             | Lintels in masonry                                                                                                                                                                                                                   |
| MODERATE<br><br>More than 1 km from breaking surf or more than 100m from salt water not subject to breaking surf or non-heavy industrial areas | INTERNAL | No protection required                       |                                                                                                                                                                                                                                      |
|                                                                                                                                                | EXTERNAL | Option 1<br>Option 2<br>Option 3<br>Option 4 | 2 coats alkyd primer; or<br>2 coats alkyd gloss<br>Hot dip galvanise 300 g/m <sup>2</sup> min.<br>Hot dip galvanise 100 g/m <sup>2</sup> min. plus –<br>(a) 1 coat solvent based vinyl primer; or<br>(b) 1 coat vinyl gloss or alkyd |

NOTES:  
1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.  
2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.  
3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.  
4. All zinc coatings (including Inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.  
5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.  
6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.  
7. For applications outside the scope of this table, seek specialist advice.

| REVISION | DATE             | SHEETS                     | DESCRIPTION                                                                                                                                                                                                  |
|----------|------------------|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A        | 12 February 2026 | 00, 02-04, 07 & 09         | Changes to architectural plans including change window, move heat pump units. Changes to electrical plan. Update all affected floor plans and window schedule.                                               |
| B        | 28 July 2026     | 00, 01 & new 01a           | Rotate house on site to achieve required setbacks. Draft driveway chainage to show site access and parking gradients.                                                                                        |
| C        | 30 July 2026     | All architectural sheets   | Amend all sheets affected by change of location on site plan including drainage, elevations and all floor plans. Change street number on all sheets. Provide H-1 drainage information and site requirements. |
| D        | 6 August 2026    | 00, 01, 02, 03-05, 07 & 08 | Changes to DA plans including change storage area to bar, update all floor plans to reflect change. Show additional electrical fixtures. Change cladding to Axon 133 on elevations and section.              |
| E        | 10 August 2026   | 00 & 01                    | Show additional notes and dimensions on parking area as requested by CCC RFI.                                                                                                                                |

THIS PLAN IS ACCEPTED BY:

.....

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).

SIGNATURE:

.....

DATE:

.....

BAL-12.5  
See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes.  
Drafted by Phil Chamberlain, Accreditation CC5652Y

DRAWING:  
DATE:  
FILE NAME:  
DRAWN BY:

COVER SHEET  
10/08/26  
H1397 DA 051225.dgn  
PC

DWG No: COVER SHEET



THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

IMPORTANT NOTES:

The builder shall ensure that all downpipes are connected to the stormwater drainage system as soon as possible to prevent any erosion, swelling or saturation of susceptible foundation soils.

Batter slopes to be in accordance with NCC Table 3.2.1. Provide retaining walls as required to comply with NCC requirements.

NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

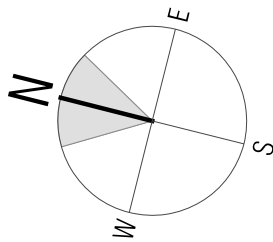
The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

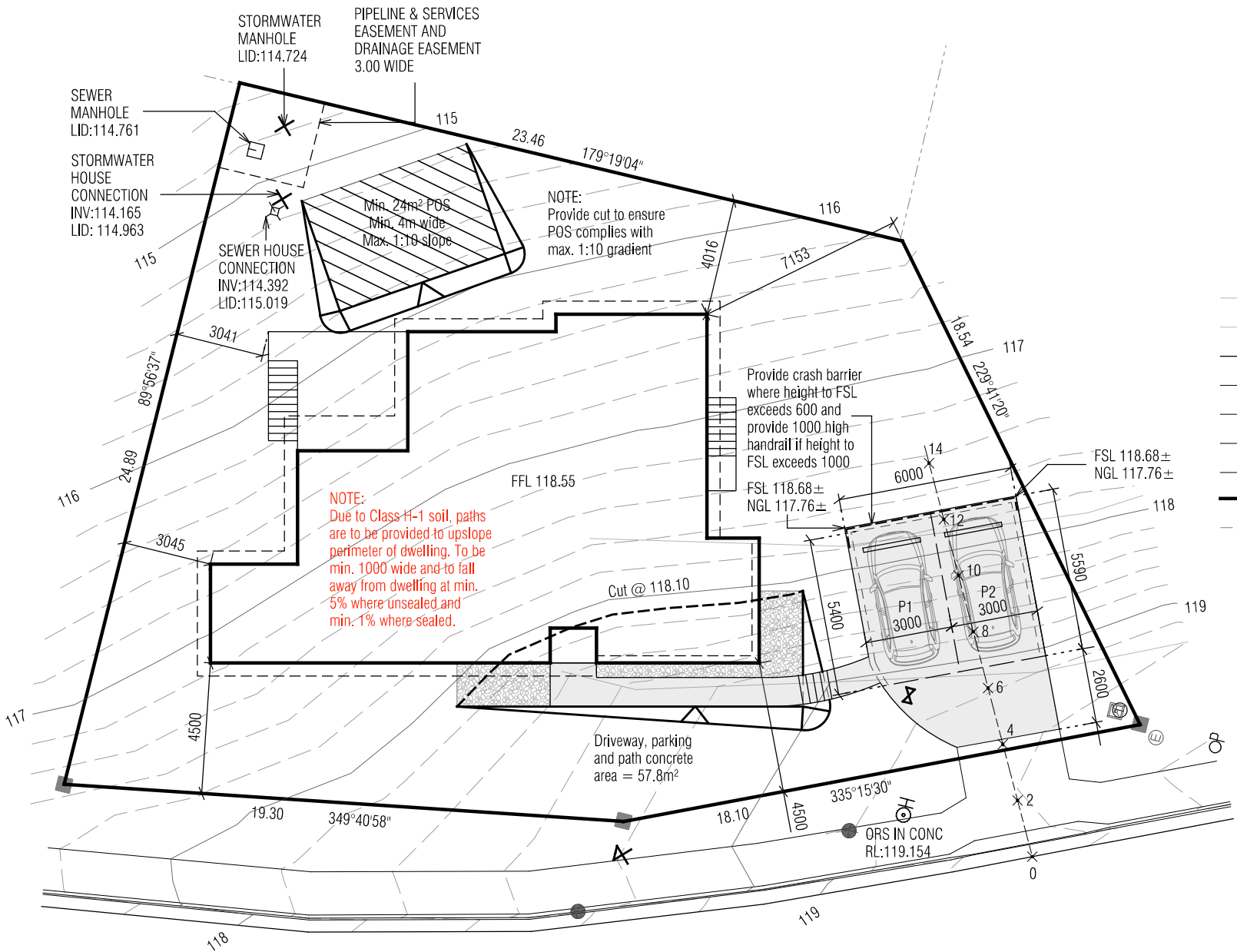
DATUM - Vertical : AHD per SPM10990 with reputed AHD level of 80.417 from SURCOM on 21/12/25

At the time of this survey, 187150/16 TITLE HAS YET TO BE ISSUED. PARENT TITLE OWNERS MALWOOD PTY LTD  
Date of Survey : 16/12/25



Scale 1:200

LOT 16  
652m<sup>2</sup>



- BANK TOP
- BANK BOTTOM
- BITUMEN EDGE
- KERB INVERT
- KERB BACK
- KERB TOP
- FOOTPATH
- LOT BOUNDARY
- FENCE
- TITLE PEG
- NAIL
- LIGHT POLE
- MANHOLE HYDRO
- CABLE HYDRO UNDERGROUND
- CABLE COMMS UNDERGROUND
- SEWER MANHOLE
- SEWER HOUSE CONNECTION
- STOP VALVE
- FIRE HYDRANT
- METER WATER
- STORMWATER IO & MANHOLE COVER

DRIVEWAY INFORMATION  
Downslope from crossover to end of driveway. Provide grated drain and pit to roadside end of driveway.  
Provide spoon drain to side of driveway. Connect spoon drain into grated pit.  
Connect pit into stormwater. Driveway, parking & path to be concrete, by builder.

ROYBRIDGE WAY

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH



Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au

BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING:      SITE PLAN  
DATE:      10/08/26  
FILE NAME:      H1397 DA 051225.dgn  
DRAWN BY:      PC

DWG No:

| REVISION | DATE           | DESCRIPTION                         |
|----------|----------------|-------------------------------------|
| B        | 28 July 2026   | Changes as described on Cover Sheet |
| C        | 30 July 2026   | Changes as described on Cover Sheet |
| D        | 6 August 2026  | Changes as described on Cover Sheet |
| E        | 10 August 2026 | Changes as described on Cover Sheet |

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

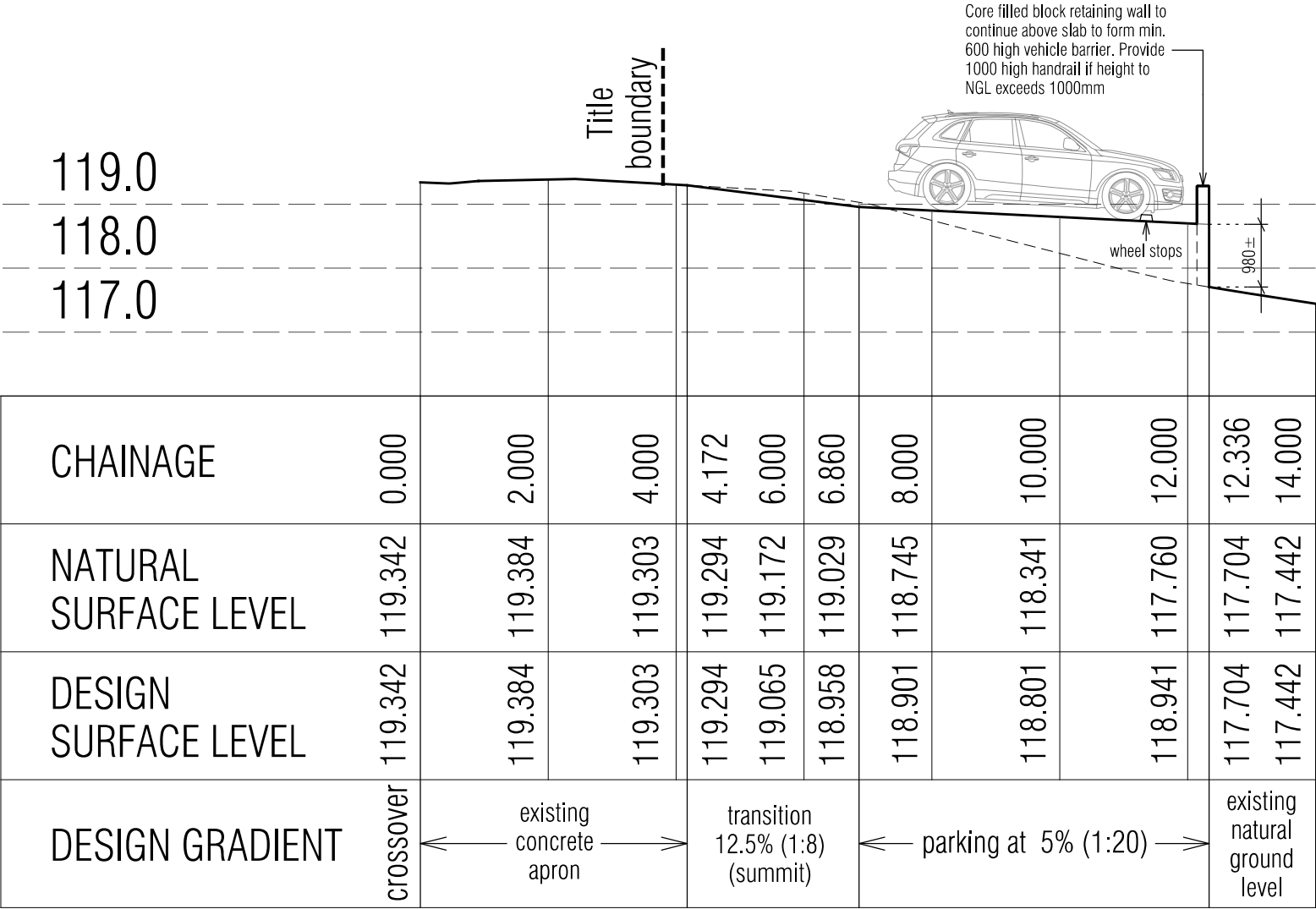
DATE:

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055

Ph. (03) 62 833 273      www.tassiehomes.com.au



Scale 1:100

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

| REVISION | DATE         | DESCRIPTION                         |
|----------|--------------|-------------------------------------|
| B        | 28 July 2026 | Changes as described on Cover Sheet |
|          |              |                                     |
|          |              |                                     |
|          |              |                                     |

BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: 30/07/26  
DATE: H1397 DA 051225.dgn  
FILE NAME: PC  
DRAWN BY:

DRIVEWAY CHAINAGE

DWG No:

01a

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:



Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au

- BANK TOP

BANK BOTTOM

BITUMEN EDGE

KERB INVERT

KERB BACK

KERB TOP

FOOTPATH

LOT BOUNDARY

FENCE

TITLE PEG

NAIL

○P

MANHOLE HYDRO

⊕

CABLE HYDRO UNDERGROUND

⊕

CABLE COMMS UNDERGROUND

□

SEWER MANHOLE

✕

SEWER HOUSE CONNECTION

✕

STOP VALVE

⊙H

FIRE HYDRANT

✕

METER WATER

✕

STORMWATER IO & MANHOLE COVER
- 
- All materials and construction to comply with AS/NZS3500, 2015 and to be inspected and approved by a qualified engineer.
- DRAINAGE LEGEND
- 1

WC

2

HANDBASIN

3

SHOWER

4

BATH

5

LAUNDRY TROUGH

6

KITCHEN SINK

7

VENT

8

TAP CHARGED ORG min. 150mm below FFL

9

DOWNPIPE

10

TAP

11

INSPECTION OPENING TO GROUND LEVEL

f/w

FLOOR WASTE

100 dia

40 dia

50 dia

40 dia

50 dia

50 dia

50 dia

50 dia

50 dia

90 dia
- 
- Scale 1:200
- PLUMBING NOTES FOR H-1 CLASS SOIL
1.

COMBINATION SWIVEL AND EXPANDER JOINTS TO BE WITHIN 800mm OF PIPEWORK EXITING THE SLAB;

2.

A CLAY PLUG, PLASTIC BARRIER OR CONCRETE IS REQUIRED WHERE PIPE EXITS SLAB PERIMETER;

3.

EXPANDER JOINTS ARE REQUIRED ON ALL VERTICAL RISERS;

4.

EXPANDER JOINTS ARE REQUIRED ON ALL GRADED RISERS OR CHANGES IN DIRECTION;

5.

EXPANDER JOINTS AND FLEXI-COUPERS ARE REQUIRED ON ALL DOWNPIPES.

●

COMBINATION SWIVEL.

●

EXPANDER JOINT.
- 
- DRIVEWAY INFORMATION  
Downslope from crossover to end of driveway. Provide grated drain and pit to roadside end of driveway. Provide spoon drain to side of driveway. Connect spoon drain into grated pit. Connect pit into stormwater. Driveway and path to be concrete, by builder.
- NOTE:  
Due to Class H-1 soil, paths are to be provided to upslope perimeter of dwelling. To be min. 1000 wide and to fall away from dwelling at min. 5% where unsealed and min. 1% where sealed.
- PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH
- | REVISION | DATE             | DESCRIPTION                         |
|----------|------------------|-------------------------------------|
| A        | 12 February 2026 | Changes as described on Cover Sheet |
| C        | 30 July 2026     | Changes as described on Cover Sheet |
| D        | 6 August 2026    | Changes as described on Cover Sheet |
- BAL-12.5
- See sheet 13 for  
Bushfire Attack Level  
construction requirements
- © This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y
- DRAWING: DRAINAGE PLAN  
DATE: 06/08/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC
- DWG No:
- 02

THIS PLAN IS ACCEPTED BY:

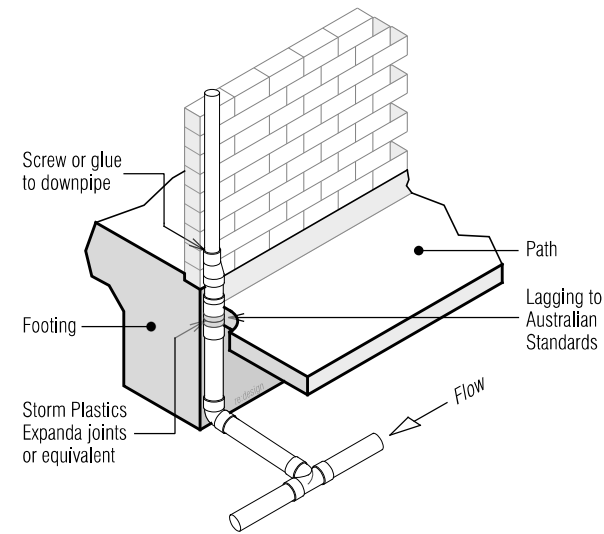
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:



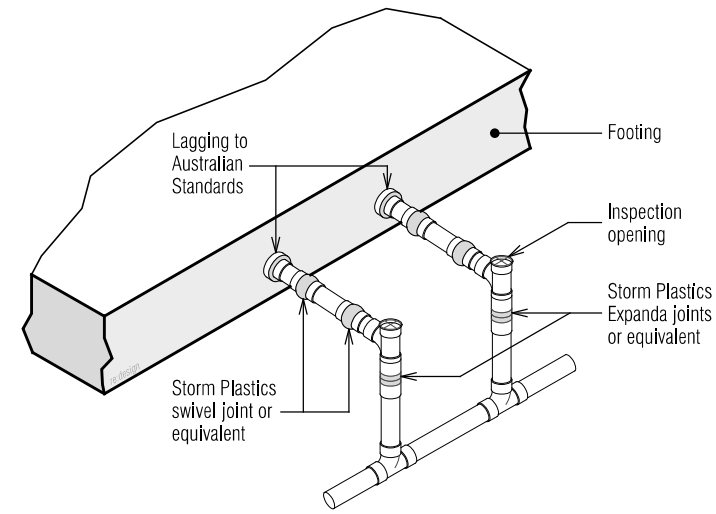
TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au



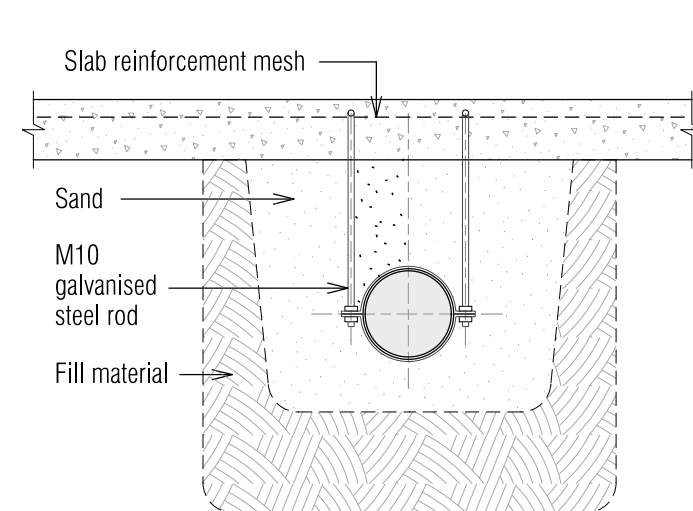
TYPICAL PIPE ARTICULATION

NOT TO SCALE

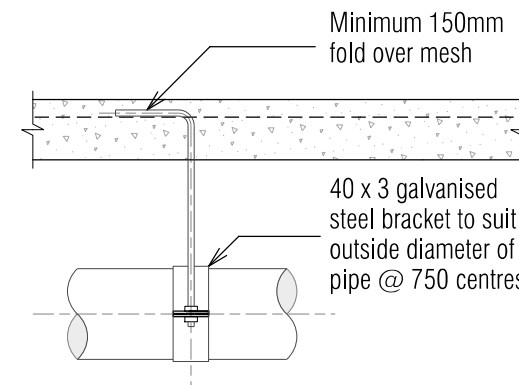


TYPICAL PIPE ARTICULATION

NOT TO SCALE



CROSS SECTION



ELEVATION

## BRACKET FOR PVC DRAIN SUSPENDED IN UNSAFE FILL TO A MAX. DEPTH OF 1.0 METER

NOT TO SCALE

## BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: H-1 DRAINAGE NOTES Sheet 1 of 2  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

02a



THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

PLUMBING AND DRAINAGE INSTALLATION REQUIREMENTS PER SOIL CLASSIFICATION

| Soil Class | Soil Type                 | Differential Movement | Where Pipework Exits the Slab /Footing                                                                                             | Vertical Risers Under the Slab                                                      | Stormwater                                                                                | Graded Risers and Changes of Direction                                                            |
|------------|---------------------------|-----------------------|------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| A          | Most sand and rock sites  | 0-10mm                | Not Required                                                                                                                       | Not Required                                                                        | Not Required                                                                              | Not Required                                                                                      |
| S          | Slightly Reactive Soil    | 10-20mm               |                                                                                                                                    |                                                                                     |                                                                                           |                                                                                                   |
| M          | Moderate Reactive Soil    | 20-40mm               | Not Required                                                                                                                       | Not Required                                                                        | Expander Joints on Downpipes Recommended                                                  | Not Required                                                                                      |
| H1         | Highly Reactive Soil      | 40-60mm               | Combination Swivel (x2) and Expansion Joint, within 800mm of slab<br>Installation of either Clay Plug, Plastic or Concrete barrier | Expander Joints on all vertical risers                                              | Expander Joints on Downpipes                                                              | Expander Joints on all graded risers                                                              |
| H2         | Very Highly Reactive Soil | 60-75mm               | Combination Swivel (x2) and Expansion Joint, within 800mm of slab<br>Installation of either Clay Plug, Plastic or Concrete barrier | Expander Joints on all vertical risers                                              | Expander Joints on Downpipes                                                              | Expander Joints on all graded risers                                                              |
| E          | Extremely Reactive Soil   | 75mm plus             | Combination Swivel (x2) and Expansion Joint, within 800mm of slab<br>Installation of either Clay Plug, Plastic or Concrete barrier | Expander Joints on all vertical risers<br>Flexitec Couplings on all vertical risers | Expander Joints on Downpipes<br>Flexitec Couplings or Swivel Joint on change of direction | Expander Joints on all graded risers<br>Flexitec Couplings or Swivel Joint on change of direction |
| Detail     |                           |                       | Detail (1)<br>Detail (5)                                                                                                           | Detail 2(a)<br>Detail 2(b)                                                          | Detail 3(a)<br>Detail 3(b)                                                                | Detail 4(a)<br>Detail 4(b)                                                                        |



Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au

**Pipework Exiting the Slab Detail 1**

Combination Joint x 2  
Dia 100mm MxF ID - 18634  
Dia 100mm MxM ID - 18635  
Dia 100mm FxF ID - 18739

Expansion  
Dia 100mm +/- 50 (100mm)  
Joints should be set in the mid position of their range

800mm

Fully Articulated Combination Joint

Must be the first fitting when pipework exits from under the slab or through the footing

PLASTEC

**Vertical Risers Under the Slab Detail 2(a)**

Expander Joint  
Dia 100mm FxF ID - 20638  
Dia 100mm FxF ID - 20640  
Dia 100mm MxF ID - 20642

Expansion  
+/- 50 (100mm)

Expander Elbow  
100 x 90°  
Dia 100mm ID - 17317  
Expansion +/- 75 (150mm)

Expander Elbow  
100 x 45°  
Dia 100mm ID - 17319  
Expansion +/- 75 (150mm)

Expander Joints should be set in the mid position of their range

PLASTEC

**Vertical Risers Under the Slab Detail 2(b)**

Expander Joint  
Dia 100mm FxF ID - 20638  
Dia 100mm FxF ID - 20640  
Dia 100mm MxF ID - 20642

Expansion  
+/- 50 (100mm)

Expander Elbow  
100 x 90°  
Dia 100mm ID - 17317  
Expansion +/- 75 (150mm)

Expander Elbow  
100 x 45°  
Dia 100mm ID - 17319  
Expansion +/- 75 (150mm)

Flexitec Coupling  
100mm ID - 17728

Angular deflection 15°+

Expander Joints should be set in the mid position of their range

PLASTEC

**Stormwater Downpipe Detail 3(a)**

Expander Joint  
Dia 90mm ID - 15131  
Dia 100mm ID - 15130  
Dia 150mm ID - 15642

Expansion  
Dia 90mm +/- 50 (100mm)  
Dia 100mm +/- 75 (150mm)  
Dia 150mm +/- 100 (200mm)

Expander Joints should be set in the mid position of their range

PLASTEC

**Stormwater Downpipe Detail 3(b)**

Expander Joint  
Dia 90mm ID - 15131  
Dia 100mm ID - 15130  
Dia 150mm ID - 15642

Expansion  
90mm +/- 50 (100mm)  
100mm +/- 75 (150mm)  
150mm +/- 100 (200mm)

Expander Joints should be set in the mid position of their range

Flexitec Coupling  
100mm ID - 17728  
150mm ID - 18732

Angular deflection 15°+

PLASTEC

**Graded Riser Detail 4(a)**

Expander Joint  
Dia 100mm FxF ID - 20638  
Dia 100mm FxF ID - 20640  
Dia 100mm MxF ID - 20642

Expansion +/- 50 (100mm)

Expander Joints should be set in the mid position of their range

PLASTEC

**Change of Direction Detail 4(b)**

Expander Joint  
Dia 100mm FxF ID - 20638  
Dia 100mm FxF ID - 20640  
Dia 100mm MxF ID - 20642

Expansion +/- 50 (100mm)

Expander Joints should be set in the mid position of their range

Flexitec Coupling  
100mm ID - 17728  
Angular deflection 15°+

Install immediately downstream of any junction or bend

Flexitec for E class

PLASTEC

**Clay Plug Detail 5**

Slab

Bentonite Clay Plug

Combination Swivel & Expansion Joints

Bedding

Clay Plug 25kg Bag  
ID - 19698  
Two 25kg Bags fill a cardboard biscuit

Clay Cardboard Biscuit  
ID - 19696  
750H x 400W x 150mm

PLASTEC

SOIL CLASSIFICATION AND PLUMBING AND DRAINAGE REQUIREMENTS AS PER AS2870 AND APPENDIX G AS3500

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

BAL-12.5  
See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design Accreditation - CC5652Y

DRAWING: H-1 DRAINAGE NOTES Sheet 2 of 2  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

02b

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

**IMPORTANT NOTE:**

## LIVEABLE HOUSING DESIGN (H8)

\* PART 3: Ensure CSD is installed flush when open to allow for clear opening width of 820mm

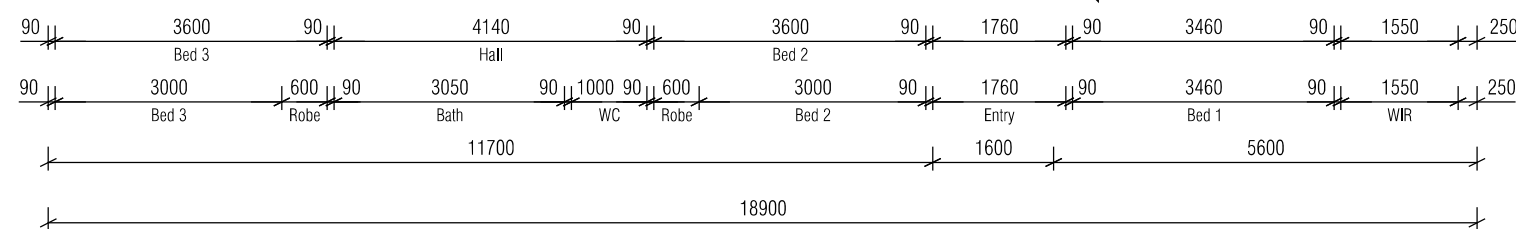
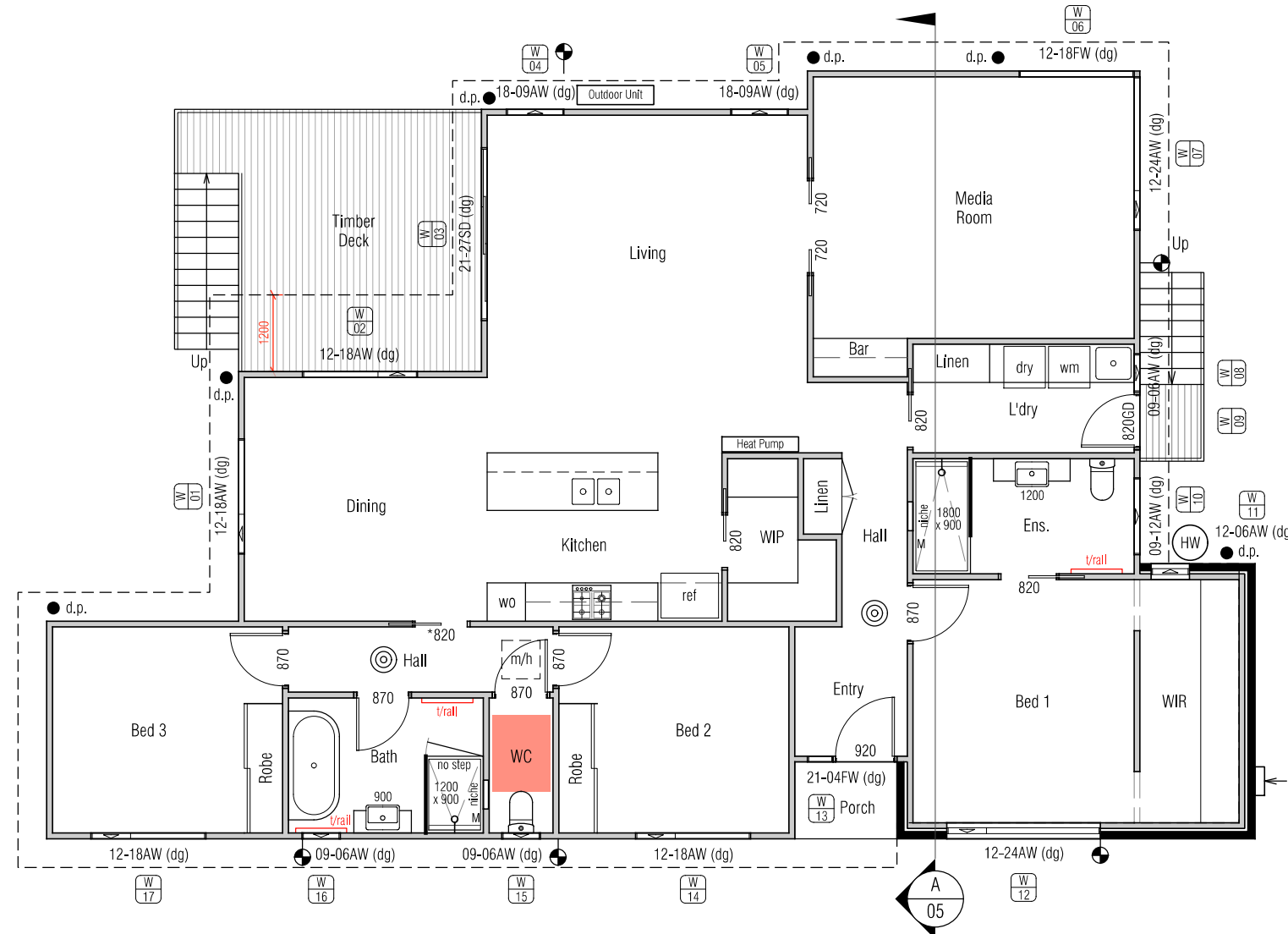
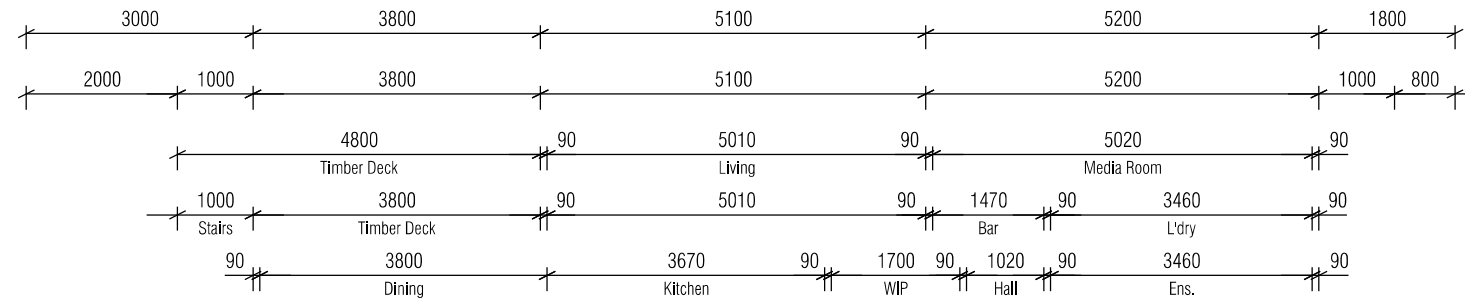
\* PART 4: 900 x 1200 circulation space

A diagram showing a rectangular area with a height of 900 and a width of 1200. A small star symbol is located to the right of the rectangle.

Figure 10: Sectional elevation of the house. The diagram shows a cross-section of a house with a total height of 12000. The elevation is divided into several levels: a 90-unit high section at the bottom, followed by a 90-unit high section containing 'Bath' and 'WC' rooms. Above these is a 90-unit high section with 'Hall' and 'Dining' areas. The next level is 90 units high and contains 'Bed 3'. Above this is a 90-unit high section with 'Stairs' and a 'Landing'. The top section is 90 units high and contains a 'Timber Deck'. The total height is 12000 units.

Scale 1:100

Floor Area = 164.3m<sup>2</sup>  
Porch Area = 1.9m<sup>2</sup>  
Deck & Steps Area = 19.8m<sup>2</sup>  
Landing & Steps Area = 3.0m<sup>2</sup>



PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055  
Ph. (03) 62 833 273      [www.tassiehomes.com.au](http://www.tassiehomes.com.au)

BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design Accreditation - CC5652Y

DRAWING: FLOOR PLAN  
DATE: 10/08/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

| REVISION | DATE             | DESCRIPTION                         |
|----------|------------------|-------------------------------------|
| A        | 12 February 2026 | Changes as described on Cover Sheet |
| C        | 30 July 2026     | Changes as described on Cover Sheet |
| D        | 6 August 2026    | Changes as described on Cover Sheet |
|          |                  |                                     |

THIS PLAN IS ACCEPTED BY:

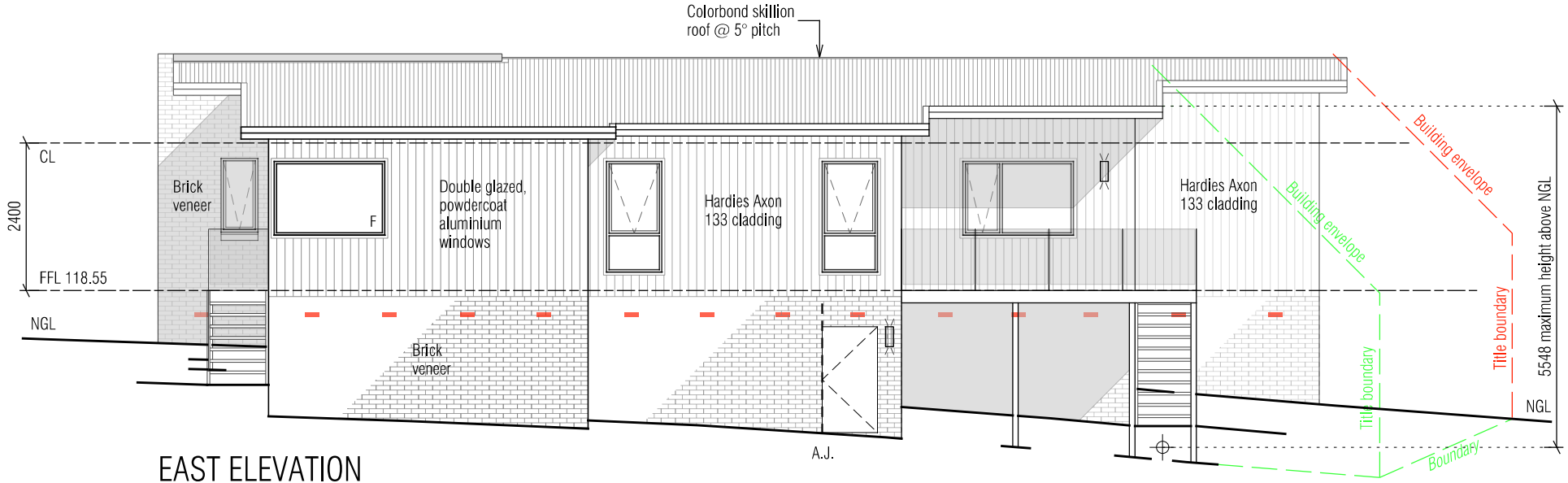
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

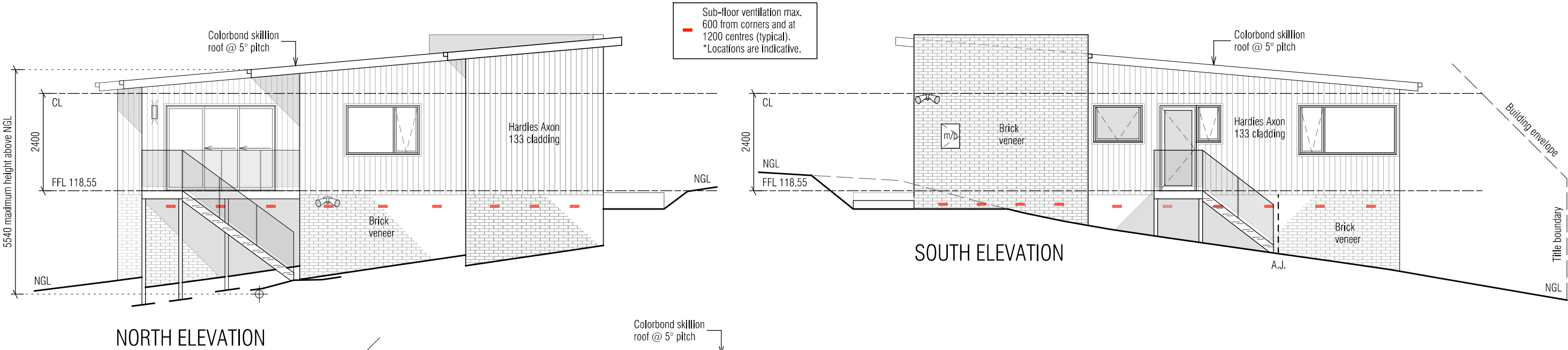
IMPORTANT NOTE:  
Cladding to be installed over min. 10mm battens to provide airflow between cladding and vapour permeable membrane.



Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273    www.tassiehomes.com.au

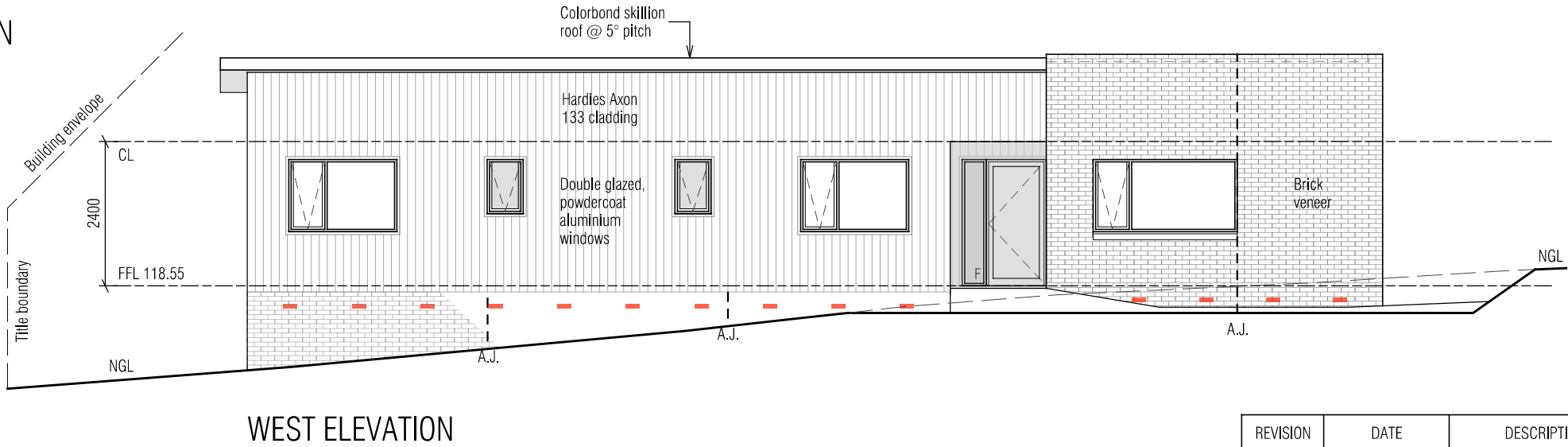


EAST ELEVATION



NORTH ELEVATION

SOUTH ELEVATION



WEST ELEVATION

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

Scale 1:100

BAL-12.5  
See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design    Accreditation - CC5652Y

DRAWING: ELEVATIONS  
DATE: 06/08/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

| REVISION | DATE             | DESCRIPTION                         |
|----------|------------------|-------------------------------------|
| A        | 12 February 2026 | Changes as described on Cover Sheet |
| C        | 30 July 2026     | Changes as described on Cover Sheet |
| D        | 6 August 2026    | Changes as described on Cover Sheet |
|          |                  |                                     |

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

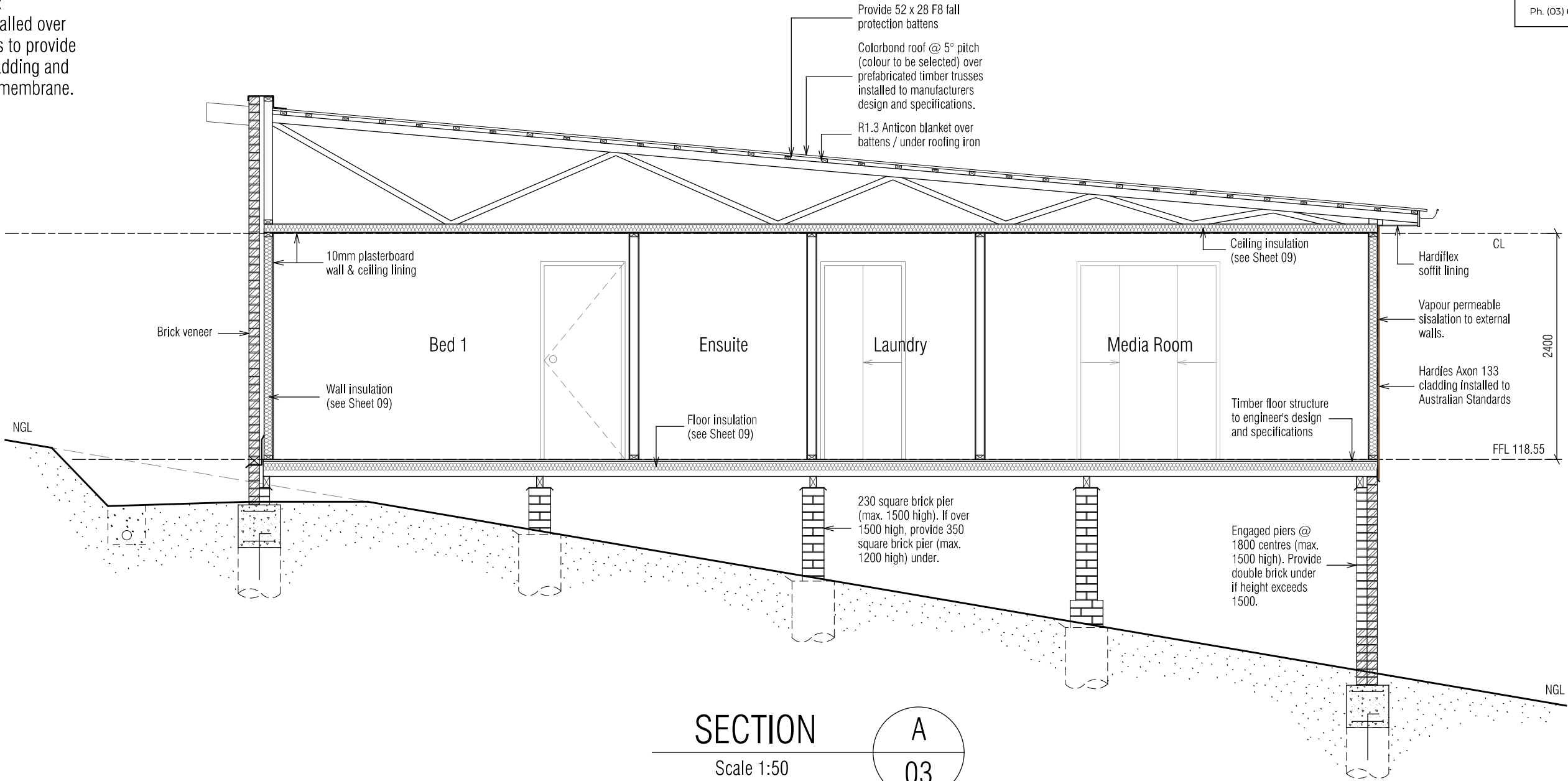
DATE:



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au

IMPORTANT NOTE:  
Cladding to be installed over min. 10mm battens to provide airflow between cladding and vapour permeable membrane.



SECTION

Scale 1:50

A

03

Scale 1:50

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

| REVISION | DATE          | DESCRIPTION                         |
|----------|---------------|-------------------------------------|
| D        | 6 August 2026 | Changes as described on Cover Sheet |
|          |               |                                     |
|          |               |                                     |
|          |               |                                     |

DRAWING:      SECTION  
DATE:      06/08/26  
FILE NAME:      H1397 DA 051225.dgn  
DRAWN BY:      PC

DWG No:

05



THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

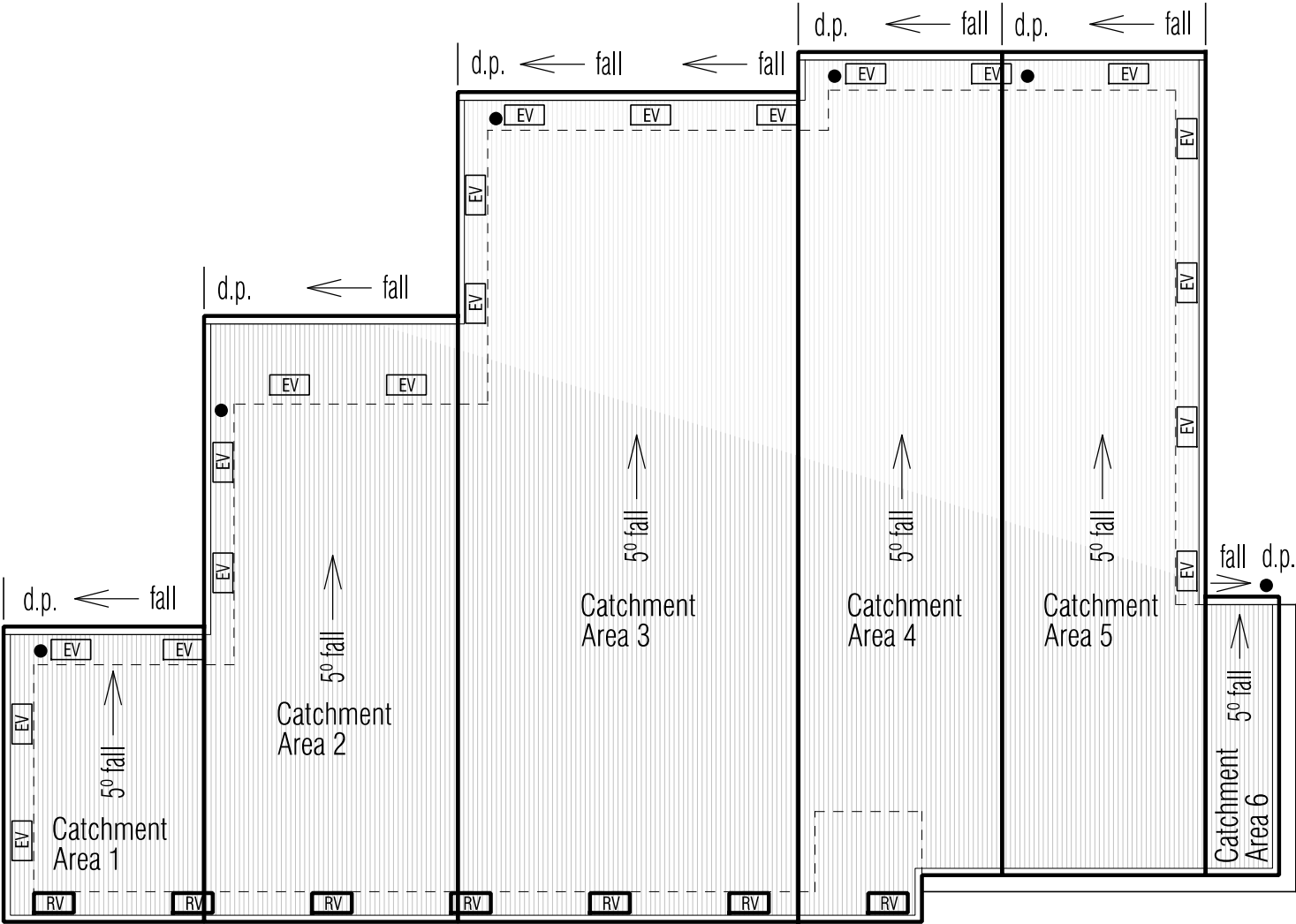
EAVES GUTTER INFORMATION:

Eaves guttering to be slotted quad gutter with minimum slot opening area of 1200mm<sup>2</sup> per meter of gutter. The lower edge of the slots are to be installed a minimum of 25mm below the top of the fascia.

Scale 1:100

ROOF VENTILATION CALCULATIONS  
(5° skillion roof)

200 x 400 eaves vents (0.08m<sup>2</sup>)  
Ceiling area = 156.2m<sup>2</sup> / 150 = 1.041m<sup>2</sup>  
25% of 1.041m<sup>2</sup> = 0.260m<sup>2</sup>  
0.260m<sup>2</sup> / 0.08m<sup>2</sup> = 3.3 (x 2) = 7 ridge vents  
75% of 1.041m<sup>2</sup> = 0.781m<sup>2</sup>  
0.781m<sup>2</sup> / 0.08m<sup>2</sup> = 9.8 (x 2) = 20 eaves vents  
RV 200 x 400 ridge vent (50% opening)  
EV 200 x 400 eaves vent (50% opening)



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273 www.tassiehomes.com.au

CATCHMENT AREA NOTES:

Colorbond roof @ 5° pitch  
CATCHMENT AREA 1 = 13.8m<sup>2</sup>  
CATCHMENT AREA 2 = 35.9m<sup>2</sup>  
CATCHMENT AREA 3 = 65.8m<sup>2</sup>  
CATCHMENT AREA 4 = 40.5m<sup>2</sup>  
CATCHMENT AREA 5 = 39.1m<sup>2</sup>  
CATCHMENT AREA 6 = 4.8m<sup>2</sup>

- denotes roof area
- d.p. denotes downpipe
- denotes direction of fall
- RV denotes 200 x 400 ridge vent
- EV denotes 200 x 400 eaves vent

IMPORTANT NOTES:

The position and quantity of downpipes are not to be altered without consulting with designer. Areas shown are surface / catchment areas NOT plan areas. All roof areas shown are indicative only and not to be used for any other purpose. Roof space must be vented. Eave vents must be fitted to the soffit with BAL compliant, non-combustible ember mesh installed. Vents must be in accordance with the NCC, BCA 2022, Volume 2, Part 10.8.3 'Ventilation of Roof Spaces' and AS 3959.

| DOWNPIPE & ROOF CATCHMENT AREA CALCULATIONS (as per NCC Part 3.5.2) |       |                                                                                    |
|---------------------------------------------------------------------|-------|------------------------------------------------------------------------------------|
| Ah                                                                  | 192.1 | Area of roof (including 115mm Quad Gutter) (m <sup>2</sup> )                       |
| Ac                                                                  | ??    | Ah x slope factor (determined from Table 3.2 from AS/NZS 3500.3) (m <sup>2</sup> ) |
| Gutter type                                                         | 199.8 | Cross sectional area 6500mm <sup>2</sup> (determined from NCC Table 3.5.2.2)       |
| DRI                                                                 | 85    | Design Rainfall Intensity Hobart (determined from NCC Table 3.5.2.1)               |
| Acdp                                                                | 70    | Catchment area per 90mm downpipe (determined from NCC Table 3.5.2.2)               |
| Downpipes Required                                                  | 3     | $\frac{Ac}{Acdp}$                                                                  |
| Downpipes Provided                                                  | 6     |                                                                                    |

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

DRAWING: ROOF PLAN  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

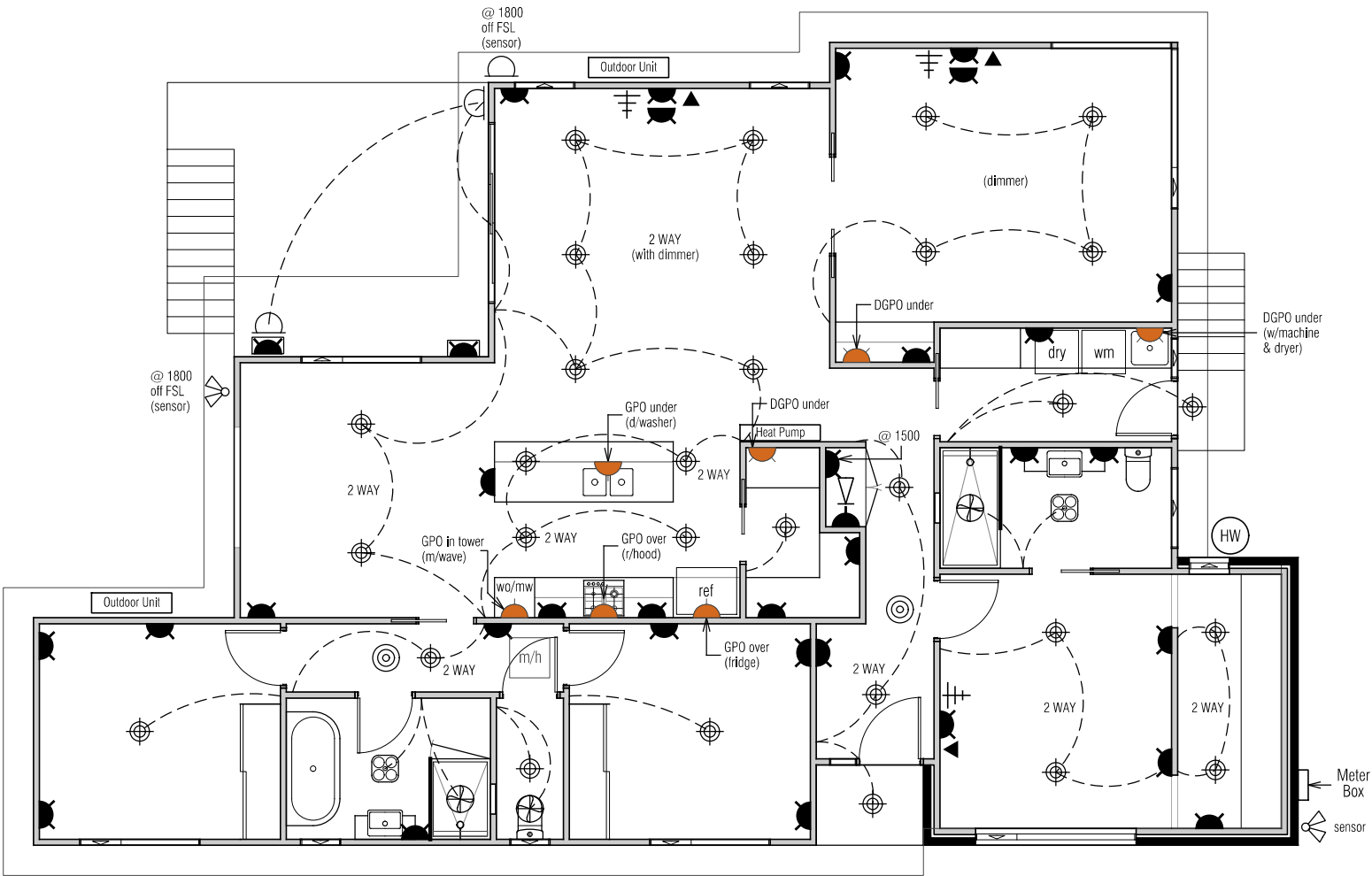
THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:



Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au



- Wall light (28W)
- Ducted exhaust fan
- LED spotlight (sensor)
- 4-light Tastic (10W centre light only)
- Pendant light (28W)
- LED downlight (12W)
- Single GPO
- Double GPO
- Double GPO (exterior)
- Smoke alarm
- Phone / NBN point
- TV point
- Data point

IMPORTANT NOTES:  
Smoke alarms are to be installed in accordance with the NCC 9.5. Smoke alarms are to be interconnected where more than one alarm is installed.  
Toilet & bathroom fans to be min. 25L/s and to be ducted directly to outside where possible.  
Kitchen & laundry fans to be min. 40L/s and to be ducted directly to outside where possible.  
All downlights are to be sealed and IC-F rated.

Scale 1:100

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

| REVISION | DATE             | DESCRIPTION                         |
|----------|------------------|-------------------------------------|
| A        | 12 February 2026 | Changes as described on Cover Sheet |
| C        | 30 July 2026     | Changes as described on Cover Sheet |
| D        | 6 August 2026    | Changes as described on Cover Sheet |
|          |                  |                                     |

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: ELECTRICAL PLAN  
DATE: 07/08/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055

Ph. (03) 62 833 273      www.tassiehomes.com.au



FLOORING LEGEND

Floating Flooring

Carpet

Tiles

Scale 1:100

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

| REVISION | DATE          | DESCRIPTION                         |
|----------|---------------|-------------------------------------|
| C        | 30 July 2026  | Changes as described on Cover Sheet |
| D        | 6 August 2026 | Changes as described on Cover Sheet |
|          |               |                                     |
|          |               |                                     |

BAL-12.5  
See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: 06/08/26

DATE: H1397 DA 051225.dgn

FILE NAME: PC

DRAWN BY:

FLOORING LAYOUT PLAN

DWG No:

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au

# LIGHTING CALCULATIONS

ABCBCalculator

Lighting  
Class 1 & 10a buildings

Building name/description  
Lot 16, Roybridge Way, HOWRAH

Classification  
Class 1

Number of rows preferred in table below  
13

(as currently displayed)

| ID | Description              | Type of space | Floor area of the space | Design lamp or illumination power load | Location         | Adjustment factor  |                |                         | SATISFIES PART 13.7.6            |                                    |                                               |
|----|--------------------------|---------------|-------------------------|----------------------------------------|------------------|--------------------|----------------|-------------------------|----------------------------------|------------------------------------|-----------------------------------------------|
|    |                          |               |                         |                                        |                  | Adjustment factors | Dimming % area | Dimming % of full power | Design lumen depreciation factor | Lamp or illumination power density | System share of % of aggregate allowance used |
|    |                          |               |                         |                                        |                  |                    |                |                         | System allowance                 | System design                      |                                               |
| 1  | Dining, Kitchen & Living | Living Room   | 50.6 m²                 | 144 W                                  | Class 1 building |                    |                |                         | 5.0 W/m²                         | 2.8 W/m²                           | 9% of 48%                                     |
| 2  | Media Room               | Living Room   | 21.6 m²                 | 48 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 2.2 W/m²                           | 7% of 48%                                     |
| 3  | L'dry                    | Laundry       | 5.9 m²                  | 12 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 2.0 W/m²                           | 6% of 48%                                     |
| 4  | Ens.                     | Bathroom      | 6.2 m²                  | 10 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 1.6 W/m²                           | 5% of 48%                                     |
| 5  | Bed 1                    | Bedroom       | 13.0 m²                 | 24 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 1.8 W/m²                           | 6% of 48%                                     |
| 6  | WIR                      | Other         | 5.9 m²                  | 24 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 4.1 W/m²                           | 13% of 48%                                    |
| 7  | Entry & Hall             | Corridor      | 8.8 m²                  | 24 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 2.7 W/m²                           | 8% of 48%                                     |
| 8  | Bed 2                    | Bedroom       | 11.6 m²                 | 12 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 1.0 W/m²                           | 3% of 48%                                     |
| 9  | WC                       | Toilet        | 2.1 m²                  | 12 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 5.7 W/m²                           | 17% of 48%                                    |
| 10 | Bath                     | Bathroom      | 6.4 m²                  | 10 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 1.6 W/m²                           | 5% of 48%                                     |
| 11 | Bed 3                    | Bedroom       | 11.5 m²                 | 12 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 1.0 W/m²                           | 3% of 48%                                     |
| 12 | Hall                     | Corridor      | 4.2 m²                  | 12 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 2.9 W/m²                           | 9% of 48%                                     |
| 13 | WIP                      | Other         | 3.6 m²                  | 12 W                                   | Class 1 building |                    |                |                         | 5.0 W/m²                         | 3.3 W/m²                           | 10% of 48%                                    |

151.4 m²

356 W

Class 1 building

5.0 W/m²

2.4 W/m²

if inputs are valid

✓

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THIS LIGHTING CALCULATOR

By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website (abcb.gov.au). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.

CCBY

© Commonwealth of Australia and the States and Territories of Australia 2023, published by the Australian Building Codes Board. The material in this publication is licensed under a Creative Commons Attribution—4.0 International licence, with the exception of third party materials and any trade marks. It is provided for general information only and without warranties of any kind. More information on this CC BY licence is

# WINDOW SCHEDULE

| WINDOW MANUFACTURER: GLASS SUPPLIES                                                                                                                                                                                       |      |            |       |        |      |      |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|------------|-------|--------|------|------|
| Window Number                                                                                                                                                                                                             | Type | ID         | Size  | Glass  | Uw   | SHGC |
| W01                                                                                                                                                                                                                       | AW   | AWS-008-01 | 12-18 | Grey   | 4.30 | 0.55 |
| W02                                                                                                                                                                                                                       | AW   | AWS-008-01 | 12-18 | Grey   | 4.30 | 0.55 |
| W03                                                                                                                                                                                                                       | SD   | AWS-013-01 | 21-27 | Grey   | 4.00 | 0.61 |
| W04                                                                                                                                                                                                                       | AW   | AWS-008-01 | 18-09 | Grey   | 4.30 | 0.55 |
| W05                                                                                                                                                                                                                       | AW   | AWS-008-01 | 18-09 | Grey   | 4.30 | 0.55 |
| W06                                                                                                                                                                                                                       | FW   | AWS-067-08 | 12-18 | Grey   | 3.20 | 0.68 |
| W07                                                                                                                                                                                                                       | AW   | AWS-008-01 | 12-24 | Grey   | 4.30 | 0.55 |
| W08                                                                                                                                                                                                                       | AW   | AWS-008-01 | 09-06 | Grey   | 4.30 | 0.55 |
| W09                                                                                                                                                                                                                       | FD   | AWS-019-01 | 21-09 | Opaque | 4.10 | 0.50 |
| W10                                                                                                                                                                                                                       | AW   | AWS-008-01 | 09-12 | Opaque | 4.30 | 0.55 |
| W11                                                                                                                                                                                                                       | AW   | AWS-008-01 | 12-06 | Grey   | 4.30 | 0.55 |
| W12                                                                                                                                                                                                                       | AW   | AWS-008-01 | 12-24 | Grey   | 4.30 | 0.55 |
| W13                                                                                                                                                                                                                       | FW   | AWS-067-08 | 21-04 | Opaque | 3.20 | 0.68 |
| W14                                                                                                                                                                                                                       | AW   | AWS-008-01 | 12-18 | Grey   | 4.30 | 0.55 |
| W15                                                                                                                                                                                                                       | AW   | AWS-008-01 | 09-06 | Opaque | 4.30 | 0.55 |
| W16                                                                                                                                                                                                                       | AW   | AWS-008-01 | 09-06 | Opaque | 4.30 | 0.55 |
| W17                                                                                                                                                                                                                       | AW   | AWS-008-01 | 12-18 | Grey   | 4.30 | 0.55 |
| LEGEND:<br>SW = Sliding window, AW = Awning window, FW = Fixed window, SD = Sliding door, Bf = Bi-fold Door or Window, FD = French door, TW = Transom Window                                                              |      |            |       |        |      |      |
| NOTE:<br>Windows supplied MUST HAVE Uw, SHGC & Air infiltration performance values EQUAL TO or BETTER THAN those specified above.<br>* Glass specification may change to comply with BAL requirements (Refer to sheet 13) |      |            |       |        |      |      |

IMPORTANT NOTE:  
GLAZING TO BE LOW-REFLECTANCE GLASS

# INSULATION

| INSULATION SCHEDULE                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| AREA                                                                                                                                                                                                                                                                                                                                                                   | INSULATION DETAILS                                                                                              |
| Roof                                                                                                                                                                                                                                                                                                                                                                   | R1.3 anticon blanket under iron / over battens.                                                                 |
| Ceiling                                                                                                                                                                                                                                                                                                                                                                | R4.0 bulk insulation (or equivalent).                                                                           |
| Walls (external)                                                                                                                                                                                                                                                                                                                                                       | R2.0 bulk insulation (or equivalent) with 1 layer of vapour permeable sisalation.                               |
| Walls (internal)                                                                                                                                                                                                                                                                                                                                                       | R2.0 bulk insulation (or equivalent) to all internal walls adjoining unconditioned spaces.                      |
| Floors                                                                                                                                                                                                                                                                                                                                                                 | R2.5 bulk insulation (or equivalent) to all timber floors above sub-floor and other unconditioned spaces below. |
| NOTE:<br>Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly:<br>220mm for R4.1 bulk insulation;<br>240mm for R5.0 bulk insulation;<br>260mm for R6.0 bulk insulation;<br>290mm for R7.0 bulk insulation.<br>These dimensions are nominal and may vary depending on the type of insulation to be installed. |                                                                                                                 |

# BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design Accreditation - CC5652Y  
DRAWING: LIGHTING CALCULATIONS, INSULATION & WINDOW SCHEDULE  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

09

NOTES:

3.12.5.5 - ARTIFICIAL LIGHTING

\* Lamp power density or illumination power density of artificial lighting, excluding heaters that emit light, must not exceed the allowance of:

- (i) 5W per m² in Class 1 building;
- (ii) 4W per m² on a verandah, balcony or the like attached to a Class 1 building (not including eave perimeter lights);

(iii) 3W per m² in a Class 10a building associated with a Class 1 building.

\* The illumination power density allowance must be increased by dividing it by the illumination power density adjustment factor for a control device as per BCA 2014 Table 3.12.5.3.

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH



NCC VOLUME 2, CLASS 1 & 1a COMPLIANCE NOTES

SITE PREPARATION  
Excavation and filling of site to be in accordance with NCC Part 3.1 and AS 2870.  
Drainage works to be in accordance with NCC Part 3.1 & AS 3500.3.2.  
Surface drainage - finished ground to fall away from building 50mm in 1000mm.  
Finished slab level to be;  
Minimum 150 above finished ground;  
Minimum 50 above paved surfaces;  
Prevent ponding of water under suspended floors.  
All embankments that are left exposed must be stabilised with vegetation or similar to prevent erosion.  
Embankments cannot exceed 2.0m in height without the aid of retaining walls or other approved types of soil retaining methods.  
All unprotected embankments must comply with the slope ratios for soil type in NCC Table 3.2.1.

| SOIL TYPE / CLASSIFICATION | EMBANKMENT SLOPE |                |
|----------------------------|------------------|----------------|
|                            | Cut              | Compacted Fill |
| STABLE ROCK (A)            | 8:1              | 2:3            |
| SAND (A)                   | 1:2              | 1:2            |
| FIRM CLAY (M-E)            | 1:1              | 1:2            |
| SOFT CLAY (M-E)            | 2:3              | Not Suitable   |

FOOTINGS AND SLABS  
Generally to be in accordance with NCC Part 4.2 (H1D4) and AS 2870.  
Preparation for placement of concrete and reinforcement to be to AS 2870.  
Concrete & steel reinforcement to be in accordance with AS 2870 & AS/NZS 3500.  
The site classification to be in accordance with AS 2879.  
Alternatively, footings & slabs to be in accordance with structural engineers design & specifications.

MASONRY  
Generally masonry walls to be constructed in accordance with NCC Part 5 & AS 3700.  
Un-reinforced masonry to NCC 5.2 & 5.3;  
Reinforced masonry to NCC 5.4;  
Masonry accessories to NCC 5.6;  
Vertical articulation joints to NCC 5.6.8;  
Weatherproofing of to NCC 5.7.

FRAMING  
Timber framing to be in accordance with AS 1684.  
Manufactured timber members to be in accordance with prescribed framing manual.  
Sub-floor ventilation in accordance with NCC 6.2.  
Sub-floor area to be clear of organic materials & rubbish.  
Provide vent openings in substructure walls at a rate of not less than 6000mm²per meter of wall length, with vents not more than 600mm from corners.  
150mm clearance required to underside of floor framing members unless specified otherwise by flooring material specification.  
Tie down and bracing of frame to be in accordance with AS 1684 & AS 4055.  
Structural steel framing to be in accordance with NCC 6.3, AS 1250, AS 4100 & structural engineers design & specifications.

ROOF AND WALL CLADDING  
Generally to be in accordance with NCC 3.5.  
Roof cladding to be in accordance with NCC 3.5.1 and;  
Roof tiles to AS 2049 & AS 2050;  
Metal sheet roofing to AS 1562.1;  
Plastic sheet roofing to AS 4256.1, .2, .3 & .5 and AS 1562.3;  
Gutters and downpipes, generally to be in accordance with NCC 7.4 & AS 3500.3.2 and The Tasmanian Plumbing Code.  
Eaves, internal and valley guttering to have cross sectional area of 6500mm².  
Roof space must be vented. Eave vents must be fitted to the soffit with BAL compliant, non-combustible ember mesh installed. Vents must be in accordance with the NCC 10.8.3 'Ventilation of Roof Spaces' and AS 3959.  
Wall cladding to be installed in accordance with NCC 7.5 and manufacturer's specification. Flashings and cappings to NCC 7.2.7.

GLAZING  
Generally glazing to be in accordance with NCC Part 8 and AS 1288.  
Refer to window legend for sizes and type.  
Windows to comply with NCC 8.4 'Protection of Openable Windows'.  
Glazing to comply with NCC (H1D8) 8.2, 8.3 & 8.4.  
BAL REQUIREMENTS:  
Glazing to comply with AS 3959 - 2009 Section 3.9 'Construction of Buildings in Bushfire-prone Areas' where applicable. Window weatherproofing to AS 2047.

FIRE SAFETY  
Generally to be in accordance with NCC Part 9.  
Fire separation to be in accordance with NCC 9.2. External walls and gable ends constructed within 900 of boundary are to extend to underside of non-combustible roofing / eaves and are to be constructed of a masonry skin 90 thick with FRL of 60/60/60.  
Sarking to have a flammability index less than 5.  
Roof lights not to be placed closer than 900 from boundary.  
Smoke alarm installations to be in accordance with NCC 9.5. Locations indicated on the floor plan.  
Smoke alarms are to be interconnected where more than 1 smoke alarm is installed.  
Installation locations;  
CEILINGS - 300 away from wall junction;  
CATHEDRAL CEILINGS - 500 down from apex;  
WALLS - 300 down from ceiling junction.  
Heating appliances generally to NCC 12.4 and to be in compliance with AS 2918. Also refer to manufacturer's details and specifications for setbacks to adjacent combustible surfaces, flue installation and required hearth dimensions.  
Construction in Bush Fire Area to be in accordance with AS 3959.

HEALTH AND AMENITY  
Generally wet area waterproofing to be in accordance with NCC 10.2 and AS 3740.  
Ceiling heights to be in accordance with NCC 10.3.  
Construction of sanitary compartments to NCC 10.4.2.  
Required facilities to NCC 10.4.1.  
Provision of natural light to be in accordance with NCC 10.5.1. Windows / roof lights to provide light transmission area equal to 10% of the floor area of the room  
Artificial lighting to NCC 10.5.2.  
Ventilation generally to NCC Part 10.6. Exhaust fan from kitchen, laundry, bathroom & WC to be vented to outside for steel roof and to roof space for tile roof.Natural ventilation to be provided at a rate of 5% of room floor area, in accordance with NCC 10.6.2.  
Mechanical ventilation to be in accordance with NCC 10.6.3 (b) & 10.8.2 or AS 1668.2  
Sound insulation requirements generally to NCC Part 10.7.

SAFE MOVEMENT AND ACCESS  
Stair and ramp construction to be in accordance with NCC 11.2.  
Maximum of 18 risers to each flight;Riser opening to be less than 125;  
Treads to have non-slip surface or nosing;  
RISERS - min. 115, max. 190;  
TREADS min. 240, max. 355.  
Balustrade is generally in accordance with NCC 11.3.  
Balustrade is required where area is not bounded by a wall or where level exceeds 1000 above floor level or ground level. 865 high on stairs, measured from line of stair nosing.1000 high above floor or landing. Openings between balusters / infill members to be constructed so as not to allow 125 sphere to pass between members. Where floor level exceeds 4000 above lower level, infill members between 150 and 760 above floor level, to be constructed so as to restrict climbing.  
Protection from openable windows for rooms other than bedrooms to NCC 11.3.8.

ANCILLARY PROVISIONS  
Generally in accordance with NCC Part 12.  
Heating appliances, fireplaces, chimneys and flues to NCC Part 12.4.  
OPEN FIREPLACE CONSTRUCTION to NCC 12.4.2;  
CHIMNEY CONSTRUCTION to NCC 12.4.3;  
INSERT FIREPLACES AND FLUES to NCC 12.4.4;  
FREESTANDING HEATING APPLICANCES to NCC 12.4.5

ENERGY EFFICIENCY  
Generally in accordance with BCA 2019 Part 3.12  
Climate Zone 7 applicable to Tasmania (Zone 8 applicable to Alpine areas)  
BUILDING FABRIC INSULATION-  
Insulation to be fitted to form continuous barrier to roof / ceiling, walls and floors.  
REFLECTIVE BUILDING MEMBRANE-  
To be 'vapour permeable' with a minimum value of 4ug/Ns, installed to form 20mm airspace between reflective faces and external lining/ cladding, fitted closely up to penetrations/ openings, adequately supported and joints to be lapped minimum 150.  
BULK INSULATION-  
To maintain thickness and position after installation.Continuous cover without voids except around services/fittings.  
ROOF INSULATION-  
Roof construction to achieve minimum additional R Value of R4.0 unless noted otherwise.Roof lights to comply with 3.12.1.3.  
EXTERNAL WALLS-  
External wall construction to achieve minimum additional R Value of R2.5 unless noted otherwise.Wall surface density minimum - 220kg/m²  
FLOORS-  
Generally in accordance with 3.12.1.5.Suspended floor with an unenclosed perimeter required to achieve a minimum Total R Value of R2.0.Concrete slab on ground with an in slab heating system to be insulated to R1.0 around vertical edge of slab perlmeter.  
ATTACHED CLASS 10a BUILDING-  
External wall or separating wall between Class 1 building is required to achieve minimum Total R-Value of R1.9.  
All hot water plumbing to be insulated in accordance with AS/NZS 3500:  
Plumbing and Drainage, Part 4 Heated Water Services.  
Thermal insulation for central heating piping to NCC 13.7.2 and 13.7.3.  
Heating and cooling ductwork to NCC 13.7.4  
Chimneys or flues to be fitted with sealing damper or flap.Roof lights to habitable rooms to be fitted with operable or permanent seal to minimise air leakage.External windows & doors to habitable rooms / conditioned spaces to be fitted with air seal to restrict air infiltrations.Exhaust fans to habitable rooms / conditioned spaces to be fitted with self-closing damper or filter.Building envelope to be constructed to minimise air leakage. Construction joints and junctions or adjoining surfaces to be tight fitting and sealed by caulking, skirting, architraves and cornices.Windows and external door weatherproofing to AS 2047.

TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055

Ph. (03) 62 833 273      www.tassiehomes.com.au

THIS PLAN IS ACCEPTED BY:

.....

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).

SIGNATURE:

.....

DATE:

.....

BAL-12.5

See sheet 13 for Bushfire Attack Level construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: COMPLIANCE NOTES  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

STEP-FREE ACCESS PATH

A continuous path to a dwelling entrance door must be provided from -

- (1) The pedestrian entry at the allotment boundary from the ground level of the adjoining land; or
  - (a) an appurtenant Class 10a garage or carport; or
  - (b) a car parking space within the allotment that is provided for the exclusive use of the occupants of the dwelling.
- (c) Access for the purposes of (1) must be -
- (2) via a pathway that -
  - (a) has no steps; and
    - (i) except for a step ramp provided under (5), has a maximum gradient of 1:14 in the direction of travel; and
    - (ii) if crossfall is provided, has a crossfall not more than 1:40; and
    - (iii) has a minimum width of 1000mm; and
    - (iv) if it incorporates a section suspended above finished ground level, is able to take loading forces in accordance with AS/NZS 1170.1; and
    - (vi) connects to a dwelling entrance door that complies with Section 2; or
    - (vi) provided directly from an attached Class 10a garage or carport, via a door complying with the requirements of Section 2, other than Clause 2.3.
- (3) For the purposes of (2), the following applies:
  - (a) Any gates along the access path must have a minimum clear opening width of 820mm, measured as if the gate were an entrance door.
  - (b) A deck or boardwalk-style path constructed in accordance with AS 1684 or NASH Standard – Residential and Low-rise Steel Framing would satisfy the requirements of (2)(a)(v).
- (4) Where one or more ramps are used, the following applies:
  - (a) The aggregate length of ramping (excluding landings) must not be more than—
    - (i) 9 m for a 1:14 gradient; or
    - (ii) 15 m for a 1:20 gradient; or
    - (iii) a length determined by linear interpolation for ramps with a gradient between 1:14 and 1:20.
  - (b) The minimum width of the ramp must be maintained at 1000mm between any handrails and/or kerbs (if provided) at each side of the ramp.
  - (c) At each end of a ramp there must be a landing that is -
    - (i) not less than 1200mm long; and
    - (ii) at least as wide as the ramp to which it connects; and
    - (iii) level, or has a gradient not more than 1:40 if a gradient is necessary for drainage.
  - (d) A landing area required by Clause 2.3 may also be counted as a landing for the purposes of (c).
- (5) The access path may incorporate one step ramp having a -
  - (a) height of not more than 190mm; and
  - (b) gradient not more than 1:10; and
  - (c) width of at least 1000mm or equivalent to that of the access path, whichever is the greater; and
  - (d) maximum length of 1900mm.

THRESHOLD NOTES:

The threshold of an entrance door must -

- (a) be level; or
- (b) have a sill height of not more than 5mm if the lip is rounded or bevelled; or
- (c) have a ramped threshold that -
  - (i) does not extend beyond the depth of the door jamb; and
  - (ii) has a gradient not steeper than 1:8; and
  - (iii) is at least as wide as the minimum clear opening width of the entrance door; and
  - (iv) does not intrude into the minimum dimensions of the required landing area; or
- (d) where the requirements of (a), (b) or (c) cannot meet the weatherproofing requirements of the NCC for external entrance doors containing a raised door sill -
  - (i) have no lip or upstand greater than 15mm within the sill profile; and
  - (ii) have no more than 5mm height difference between the edge of the top surface of the sill and the adjoining finished surface.

LANDING AREA NOTES:

An entrance door must have a space of at least 1200mm x 1200mm on the external (arrival) side of the door that is -

- (a) unobstructed (other than by a gate or a screen door); and
- (b) level, or has a gradient of not more than 1:40 if a gradient is necessary to allow for drainage.

WEATHERPROOFING FOR EXTERNAL STEP-FREE ENTRANCE

Weatherproofing for an external step-free entrance must be provided in accordance with one or a combination of the following:

- (a) where the external surface is concrete or another impermeable surface, a channel drain that meets the requirements of Volume Two H2D2 is to be provided for within the entrance.
- (b) Where the external trafficable surface is decking or another raised permeable surface, a drainage surface below the trafficable surface is provided that meets the requirements of Volume T20 H2D2, and drainage gaps in the trafficable surface, such as those between decking boards, are no greater than -
  - (i) 8mm; or
  - (ii) in a 'designated bushfire prone area' that is permitted by AS 3959.
- (c) A roof covering an area no smaller than 1200mm by 1200mm, where the area is provided with a fall away from the building not greater than 1:40.

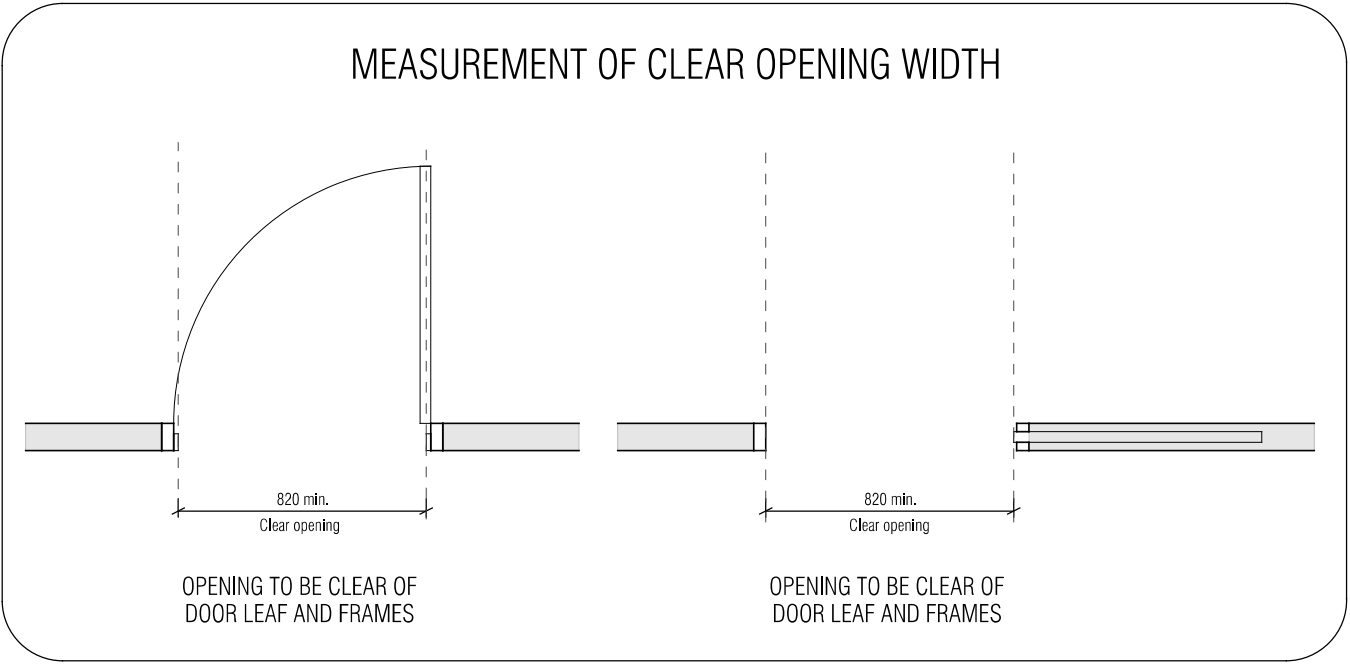
LIVEABLE HOUSING NOTES

Internal doorways must provide a minimum clear opening width of 820mm,

At least one shower must have a hobless and step-free entry. A lip not more than 5mm in height may be provided for water retention purposes.

Internal corridors, hallways, passageways or the like, if connected to a door that is subject to Clause 3.1, must have a minimum clear width of 1000mm, measured between the finished surfaces of opposing walls.

MEASUREMENT OF CLEAR OPENING WIDTH



TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au

BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING:      LIVEABLE HOUSING NOTES 1 of 3  
DATE:      30/07/26  
FILE NAME:      H1397 DA 051225.dgn  
DRAWN BY:      PC

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

10a

THIS PLAN IS ACCEPTED BY:

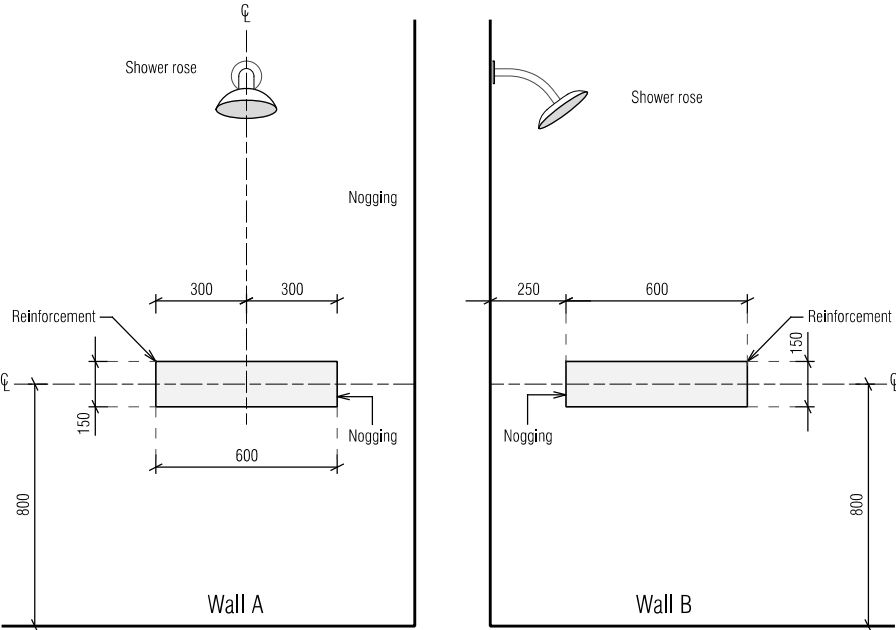
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

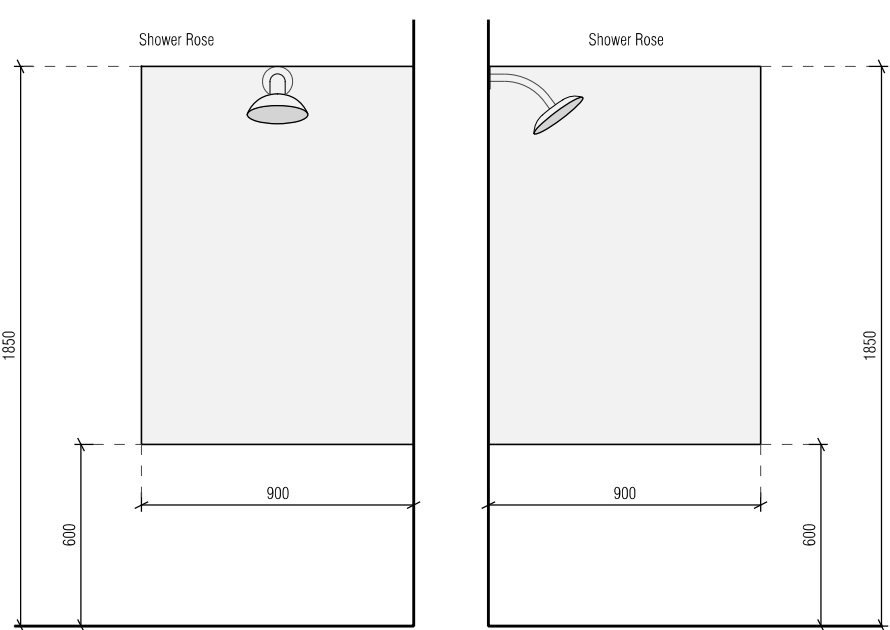


TASSIE HOMES

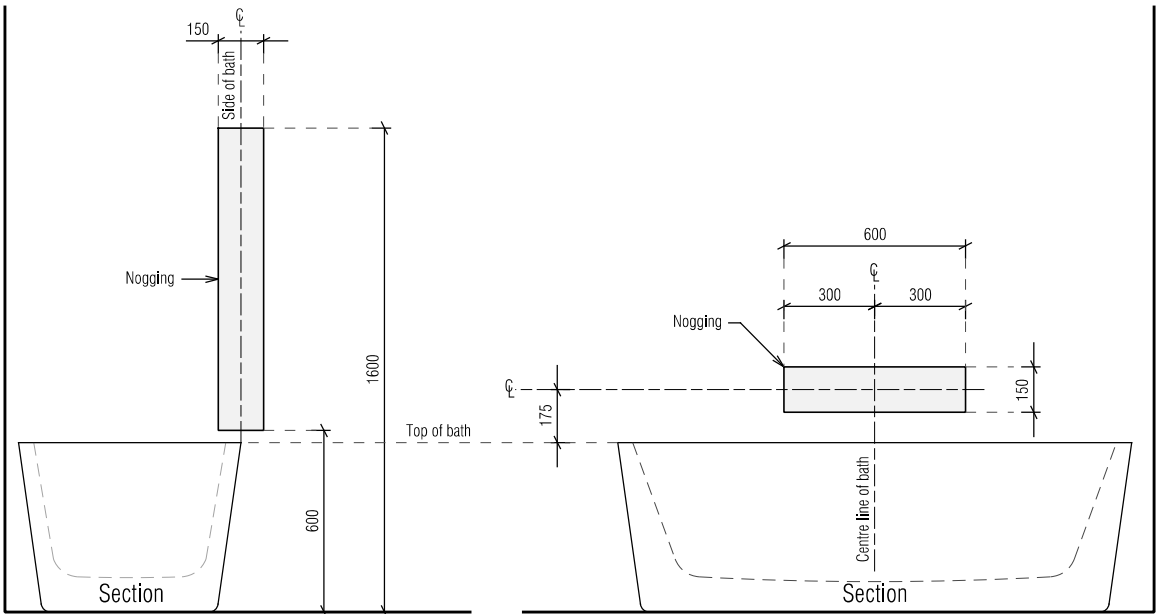
Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au



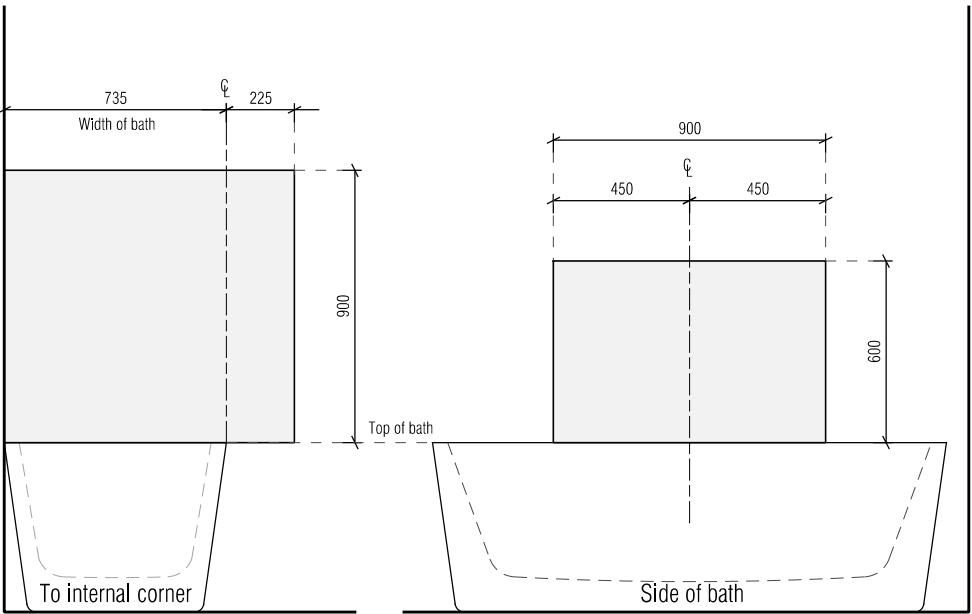
LOCATION OF NOGGINGS FOR SHOWER WALLS



LOCATION OF SHEETING FOR SHOWER WALLS



LOCATION OF NOGGINGS FOR WALLS SURROUNDING A BATH



LOCATION OF SHEETING FOR WALLS SURROUNDING A BATH

## BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: LIVEABLE HOUSING NOTES 2 of 3  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

10b

THIS PLAN IS ACCEPTED BY:

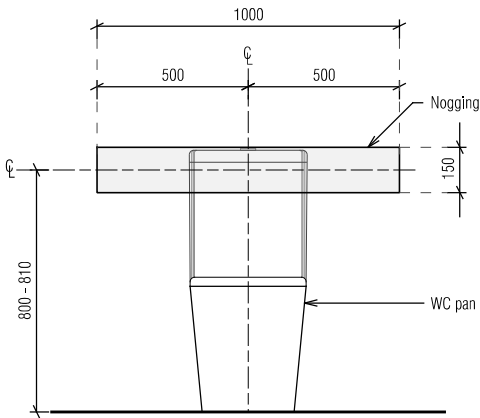
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

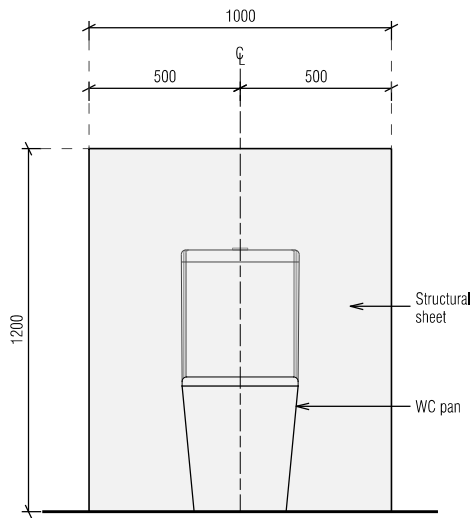


TASSIE HOMES

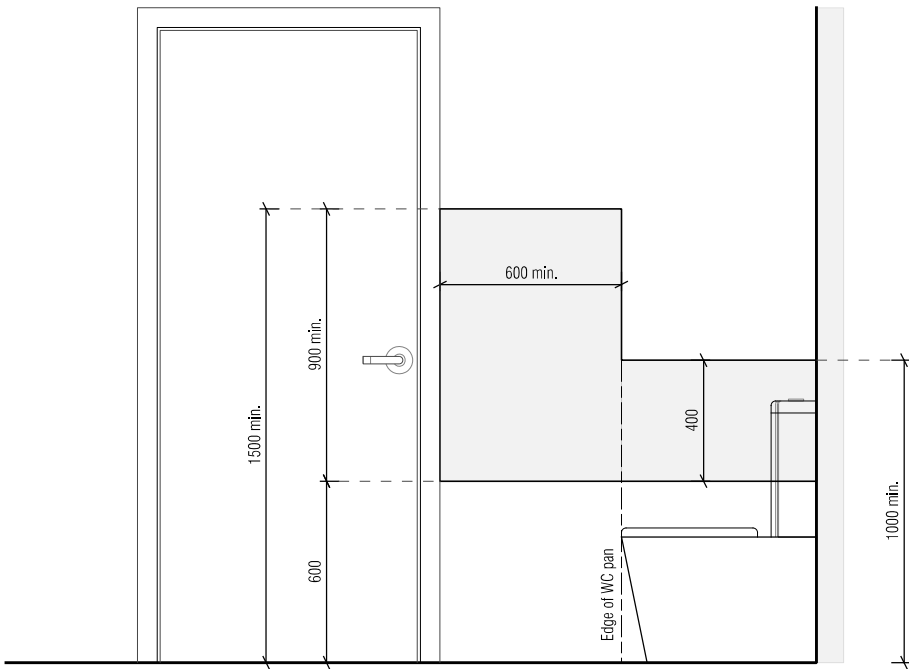
Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au



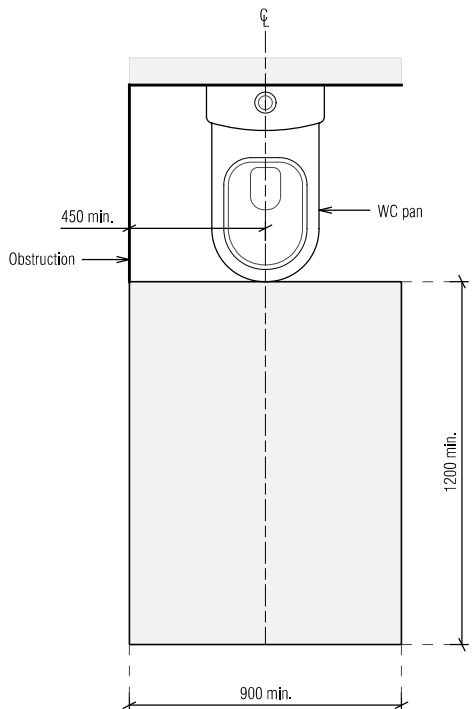
LOCATION OF NOGGINGS FOR  
A WALL BEHIND TOILET PAN



LOCATION OF SHEETING  
BEHIND TOILET PAN



MINIMUM EXTENT OF SHEETING FOR  
A WALL ADJACENT TO A TOILET PAN



CIRCULATION SPACE  
FOR A TOILET PAN

## BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: LIVEABLE HOUSING NOTES 3 of 3  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

10c



THIS PLAN IS ACCEPTED BY:

.....  
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

.....  
DATE:

.....



Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au

| Vessels or area where the fixture is installed                                                                             | Floors and horizontal surfaces                                   | Walls                                                                                                                                                                                                                                                                  | Wall junctions and joints                                                                                                                                                 | Penetrations                 |
|----------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|
| Enclosed shower with hob                                                                                                   | Waterproof entire enclosed shower area, including hob.           | Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level which ever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level. | Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction. | Waterproof all penetrations. |
| Enclosed shower without hob                                                                                                | Waterproof entire enclosed shower area, including waterstop.     | Waterproof to not less than 150mm above the shower floor substrate with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.                                                                                        | Waterproof internal and external corners and horizontal joints within height of 1800mm above the floor level with not less than 40mm width either side of the junction.   | Waterproof all penetrations. |
| Enclosed shower with step down                                                                                             | Waterproof entire enclosed shower area, including the step down. | Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level whichever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.  | Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction. | Waterproof all penetrations. |
| Enclosed shower with preformed shower base                                                                                 | N/A                                                              | Water resistant to a height of not less than 1800mm above finished floor level.                                                                                                                                                                                        | Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction. | Waterproof all penetrations. |
| Unenclosed showers                                                                                                         | Waterproof entire enclosed shower area.                          | Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level which ever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level. | Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction. | Waterproof all penetrations. |
| Areas outside the shower area for concrete and compressed fibre cement sheet flooring                                      | Water resistant to entire floor                                  | N/A                                                                                                                                                                                                                                                                    | Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.                                                            | N/A                          |
| Areas outside the shower area for timber floors including particleboard, plywood and other timber based flooring materials | Waterproof entire floor.                                         | N/A                                                                                                                                                                                                                                                                    | Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.                                                            | N/A                          |

| Vessels or area where the fixture is installed                                                                                              | Floors and horizontal surfaces                                                                                                                           | Walls                                                                                                                         | Wall junctions and joints                                                                                                                                                                                                        | Penetrations                                                                        |
|---------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| Areas adjacent to baths and spas for concrete and compressed fibre cement sheet flooring.                                                   | Water resistant to entire floor.                                                                                                                         | Water resistant to a height of not less than 150mm above the vessel and exposed surfaces below the vessel lip to floor level. | Waterproof edges of the vessel and junction of bath enclosure with floor. Where the lip of the bath is supported by a horizontal surface, this must be waterproof for showers over bath and water resistant for all other cases. | Waterproof all tap and spout penetrations where they occur in a horizontal surface. |
| Areas adjacent to baths and spas (see note 1) for timber floors including particleboard, plywood and other timber based flooring materials. | Waterproof entire floor.                                                                                                                                 | Water resistant to a height of not less than 150mm above the vessel and exposed surfaces below the vessel lip to floor level. | Waterproof edges of the vessel and junction of bath enclosure with floor. Where the lip of the bath is supported by a horizontal surface, this must be waterproof for showers over bath and water resistant for all other cases. | Waterproof all tap and spout penetrations where they occur in a horizontal surface. |
| Inserted baths                                                                                                                              | N/A for floor under bath. Waterproof entire shelf area, incorporating waterstop under the bath lip and project not less than 5mm above the tile surface. | N/A for wall under bath. Waterproof to not less than 150mm above the lip of the bath.                                         | N/A for wall under bath.                                                                                                                                                                                                         | Waterproof all tap and spout penetrations where they occur in a horizontal surface. |
| Walls adjoining other vessels (eg. sinks, laundry tubs and basins)                                                                          | N/A                                                                                                                                                      | Water resistant to a height of not less than 150mm above the vessel if the vessel is within 75mm of the wall.                 | Where the vessel is fixed to a wall, waterproof edges for extent of vessel.                                                                                                                                                      | Waterproof all tap and spout penetrations where they occur in a horizontal surface. |
| Laundries and WCs                                                                                                                           | Water resistant to entire floor.                                                                                                                         | Waterproof all wall / floor junctions to not less than 25mm above the finished floor level, sealed to floor.                  | Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.                                                                                                                   | N/A                                                                                 |

IMPORTANT NOTES:

1. If a shower is included above a bath, refer to the requirements for shower area walls and penetrations.
2. N/A means not applicable. Wet areas waterproofing by licensed and accredited installer (eg Wet Seal).
3. Certification to be provided to the Building Surveyor.
4. Contractor or builder to determine the appropriate waterproofing in accordance with NCC Volume 2, H4D2 & H4D3 and to notify the Building Surveyor for inspection arrangements during installation.
5. The above information is for general guidance and is indicative only. Waterproofing installers to comply with all current codes of legislation which takes precedence over this specification.

NOTES TO THE OCCUPANT

Due to potential problems with condensation in residential buildings which can lead to structural damage over time and which may also be detrimental to the health of the occupants, the following strategies are recommended:

1. Open windows every day for a few minutes especially when showering and cooking. Not every window needs to be opened, just those required to provide cross ventilation and extraction of moisture laden air;
2. Ensure extractor fans are used every time when bathing;
3. Ensure extractor fans are ducted to the outside; \*
4. Ensure non-condensing clothes dryers are ducted to the outside; \*\*
5. Install a rangehood or limit steam from cooking activities. i.e. by keeping lids on pots etc;
6. Avoid the use of unflued gas heaters;
7. Do not store large quantities of firewood inside the home in unventilated spaces;
8. Avoid plants and water features in unventilated spaces;
9. Ensure covers are kept on aquariums;
10. Dry clothes in rooms that are warm, have adequate ventilation and are separated from the main house;

\* these details are also noted on the plans for the builders.  
\*\* or install separate air extractor on ceiling. However, direct ducting is recommended.

BAL-12.5  
See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: WET AREA SPECIFICATIONS  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

| TIMBER DECKING SPECIFICATIONS  |                               |                                           |
|--------------------------------|-------------------------------|-------------------------------------------|
| TIMBER TYPE                    | THICKNESS (mm)                | RECOMMENDED<br>MAXIMUM JOIST SPACING (mm) |
| Kwila, jarrah, other hardwoods | 19                            | 500                                       |
| Treated pine                   | 22 dressed                    | 450                                       |
|                                | 19 sawn (25 actual thickness) | 500                                       |
| Cypress                        | 21                            | 400                                       |
|                                | 25                            | 500                                       |

| BOLTS FOR BEARER TO STUMP/POST CONNECTIONS |                                                                   |                            |                                                     |                            |
|--------------------------------------------|-------------------------------------------------------------------|----------------------------|-----------------------------------------------------|----------------------------|
| BOLT<br>TYPE                               | MAXIMUM ALLOWABLE DECK AREA SUPPORTED PER BOLT (m²) - REFER NOTES |                            |                                                     |                            |
|                                            | Seasoned Hardwood (F17)<br>Minimum timber thickness: 35mm         |                            | Treated Pine (F5)<br>Minimum timber thickness: 35mm |                            |
|                                            | Bearer to one<br>side only (fig. 18)                              | Spaced Bearer<br>(fig. 19) | Bearer to one<br>side only (fig. 18)                | Spaced Bearer<br>(fig. 19) |
|                                            |                                                                   |                            |                                                     |                            |
| M10                                        | 1.0                                                               | 1.7                        | 0.8                                                 | 1.3                        |
| M12                                        | 1.3                                                               | 2.0                        | 1.0                                                 | 1.5                        |
| M16                                        | 1.7                                                               | 2.7                        | 1.2                                                 | 2.0                        |
| M20                                        | 2.1                                                               | 3.4                        | 1.5                                                 | 2.5                        |

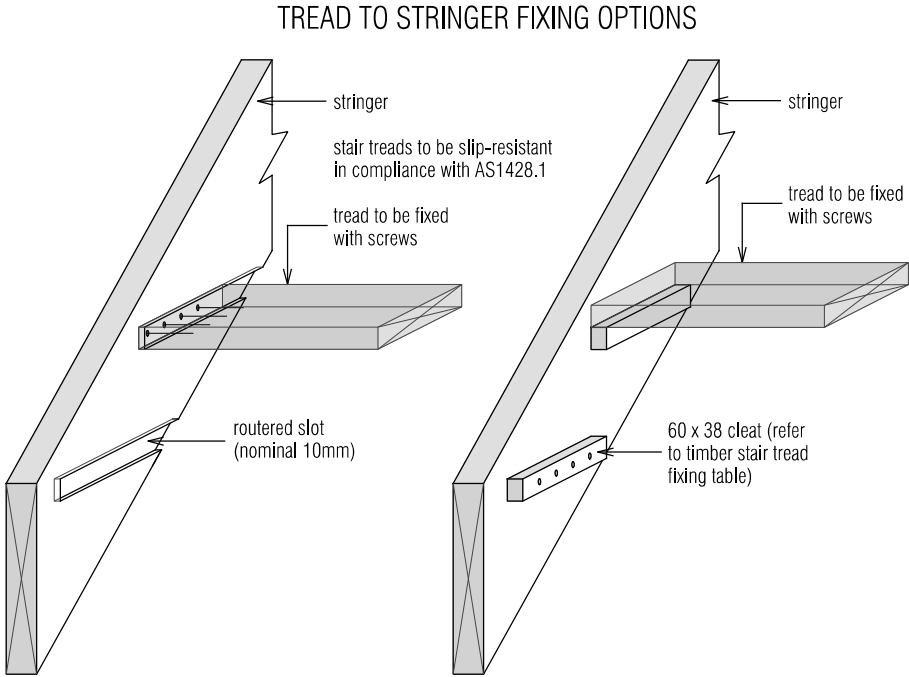
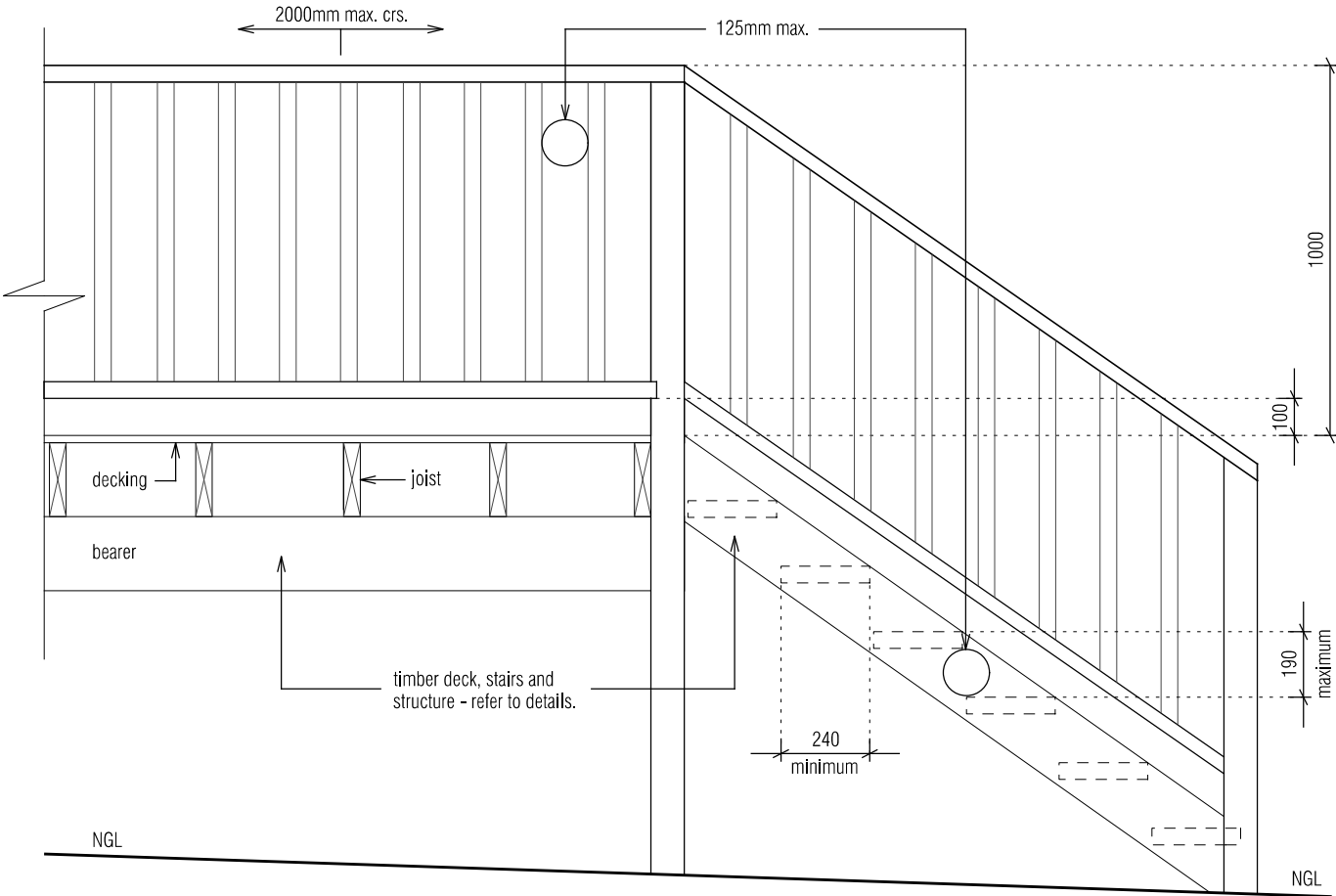
| TIMBER STAIR TREADS     |                                     |      |      |      |      |
|-------------------------|-------------------------------------|------|------|------|------|
| TIMBER TYPE             | STAIR WIDTH (mm)                    |      |      |      |      |
|                         | 750                                 | 1000 | 1200 | 1500 | 1800 |
|                         | RECOMMENDED THICKNESS OF TREAD (mm) |      |      |      |      |
| Treated Pine, Cypress   | 45                                  | 50   | 55   | 65   | 80   |
| Jarrah, other hardwoods | 45                                  | 45   | 45   | 55   | 60   |
|                         | SCREW TYPE / NUMBER                 |      |      |      |      |
|                         | 3#10                                | 3#10 | 3#10 | 3#12 | 3#12 |

| STRINGER TO WALL FIXING |                                                |
|-------------------------|------------------------------------------------|
| INTERNAL                | 14 gauge, 75mm bugle screws into wall studs    |
| EXTERNAL                | M10 masonry anchors into masonry @ 600 centres |

| 19mm THICK DECKING BOARD FIXING REQUIREMENTS |                               |                       |                    |                       |                    |
|----------------------------------------------|-------------------------------|-----------------------|--------------------|-----------------------|--------------------|
| DECKING SPECIES                              | JOIST SPECIES                 | NAILING               |                    |                       |                    |
|                                              |                               | Machine Driven        |                    | Hand Driven           |                    |
| Hardwood, Cypress                            | Hardwood, Cypress             | 50 x 2.5 Flat Head    |                    | 50 x 2.8 Flat Head    |                    |
|                                              | Seasoned Treaded Pine, Oregon | 50 x 2.5 DS Flat Head | 65 x 2.5 Flat Head | 50 x 2.8 DS Flat Head | 65 x 2.8 Flat Head |
| Seasoned Treated Pine                        | Hardwood, Cypress             | 50 x 2.5 Flat Head    |                    | 50 x 2.8 Flat Head    |                    |
|                                              | Seasoned Treaded Pine, Oregon | 50 x 2.5 DS Flat Head | 65 x 2.5 Flat Head | 50 x 2.8 DS Flat Head | 65 x 2.8 Flat Head |

NOTES:

- DS - Deformed shank
- Nails to be hot dipped galvanised or stainless steel (mechanical galvanised plated not recommended).
- In areas subjected to extreme wetting and drying conditions (e.g. around swimming pools), consideration should be given to increasing the nail diameter and/or length.
- Dome head nails may be used in lieu of flat head nails.





**TASSIE HOMES**

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055  
Ph. (03) 62 833 273    [www.tassiehomes.com.au](http://www.tassiehomes.com.au)

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

## BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design    Accreditation - CC5652Y

DRAWING: 30/07/26  
DATE: H1397 DA 051225.dgn  
FILE NAME: PC  
DRAWN BY:

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH

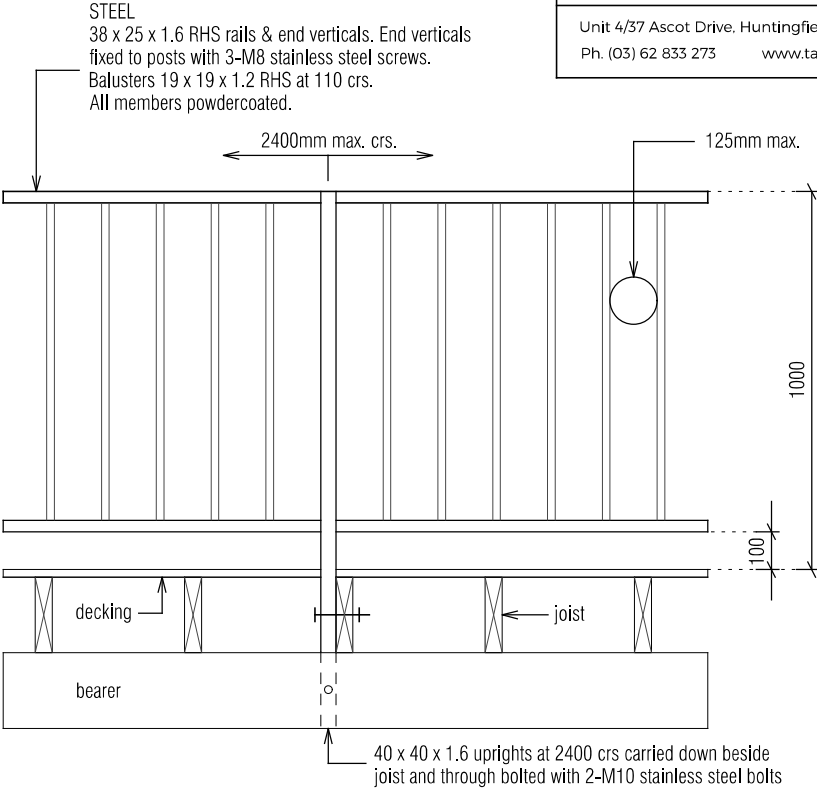
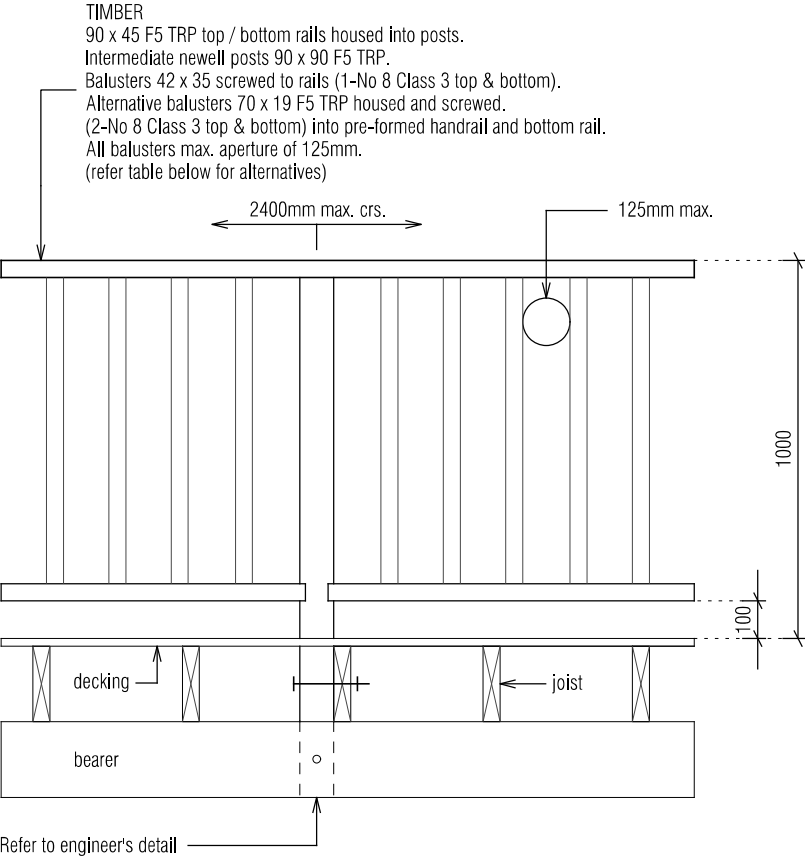
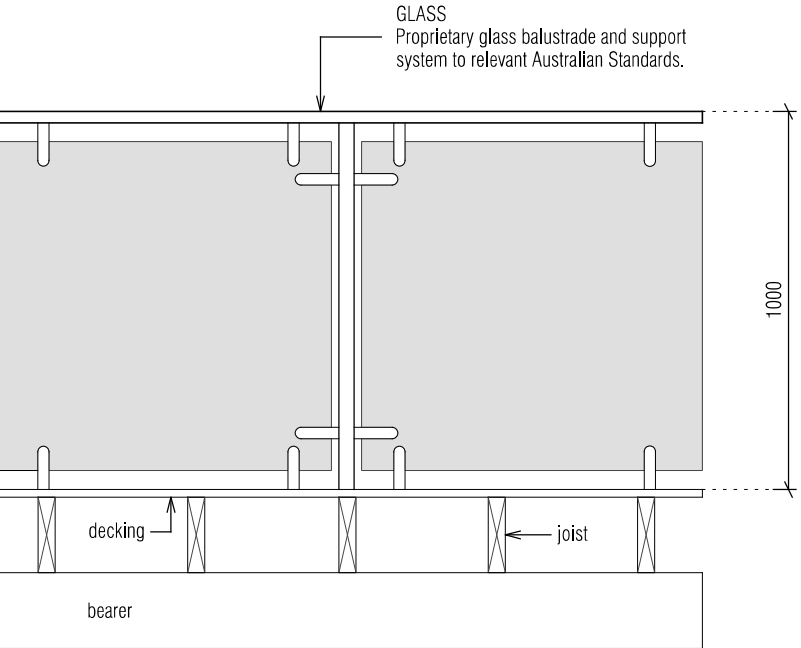
THIS PLAN IS ACCEPTED BY:

.....

PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).

SIGNATURE: .....

DATE: .....



TH

TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania. 7055  
Ph. (03) 62 833 273      [www.tassiehomes.com.au](http://www.tassiehomes.com.au)

| TIMBER STRINGERS                 |                     |                          |      |      |      |      |
|----------------------------------|---------------------|--------------------------|------|------|------|------|
| TIMBER TYPE                      | SECTION* SIZES (mm) | STAIR WIDTH (mm)         |      |      |      |      |
|                                  |                     | 750                      | 1000 | 1200 | 1500 | 1800 |
|                                  |                     | MAXIMUM NUMBER OF RISERS |      |      |      |      |
| Treated Pine, Cypress            | 190 x 35            | 10                       | 8    | 8    | 7    | 6    |
|                                  | 190 x 45            | 11                       | 10   | 9    | 8    | 7    |
|                                  | 240 x 35            | 12                       | 11   | 10   | 9    | 8    |
|                                  | 240 x 45            | 14                       | 12   | 11   | 10   | 9    |
|                                  | 290 x 35            | 15                       | 13   | 12   | 11   | 10   |
|                                  | 290 x 45            | 17                       | 15   | 14   | 12   | 11   |
| Jarrah, other hardwoods or Kwila | 190 x 35            | 13                       | 12   | 11   | 10   | 10   |
|                                  | 190 x 45            | 14                       | 13   | 12   | 11   | 11   |
|                                  | 240 x 35            | 16                       | 15   | 14   | 13   | 12   |
|                                  | 240 x 45            | 18                       | 16   | 15   | 14   | 13   |
|                                  | 290 x 35            | 18                       | 18   | 17   | 16   | 15   |
|                                  | 290 x 45            | 18                       | 18   | 8    | 17   | 16   |

\* Sizes stated are minimum sizes.

NOTE:  
The building regulations limit the number of risers in a single flight of stairs to a maximum of 18.

| SIZES OF HANDRAILS      |                                 |          |          |          |          |
|-------------------------|---------------------------------|----------|----------|----------|----------|
| HANDRAIL TIMBER         | SUPPORT SPACING (mm)            |          |          |          |          |
|                         | 900                             | 1200     | 1500     | 1800     | 2400     |
|                         | RECOMMENDED HANDRAIL SIZE* (mm) |          |          |          |          |
| Treated Pine, Cypress   | 70 x 35                         | 120 x 35 | 170 x 35 | 290 x 35 | 240 x 45 |
|                         | 70 x 45                         | 70 x 45  | 70 x 45  | 140 x 45 |          |
| Jarrah, other hardwoods | 70 x 35                         | 70 x 35  | 90 x 35  | 170 x 35 | 290 x 35 |
|                         | 70 x 45                         | 70 x 45  | 70 x 45  | 90 x 45  | 140 x 45 |
| Kwila                   | 70 x 35                         | 70 x 35  | 70 x 35  | 170 x 35 | 290 x 35 |
|                         | 70 x 45                         | 70 x 45  | 70 x 45  | 70 x 45  | 120 x 45 |

\*Section sizes can be used in either a vertical or horizontal position.

- NOTES:
- Handrails for 900, 1200 and 1500mm support spacings have been designed as continuous over two spans (continuous lengths of 1800, 2400 and 3000mm respectively).
  - The sizes shown are minimum allowable dressed sections sizes. Sections sizes shall not be less than those stated.

\* WIRE HANDRAILS AS PER NCC Part 11.3.6  
\* STAIR BALUSTRADES MIN 865mm ABOVE NOSE OF STAIR TREAD

TYPICAL SHRINKAGE VALUES FOR DECKING BOARDS

| TIMBER TYPE  | BOARD WIDTH (mm) | APPROXIMATE SHRINKAGE (mm) |
|--------------|------------------|----------------------------|
| Kwila        | 70               | 2 (unseasoned)             |
| Jarrah       | 65               | 0 (seasoned)               |
|              |                  | 5 (unseasoned)             |
| Treated Pine | 70               | 0 (seasoned)               |
| Cypress      | 70               | 2 (unseasoned)             |

EXAMPLE:  
For a 6mm final gap using 70mm Kwila decking boards, the required spacer thickness would be 6 - 2 = 4mm

BAL-12.5  
See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: BALUSTRADE NOTES  
DATE: 30/07/26  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH



THIS PLAN IS ACCEPTED BY:

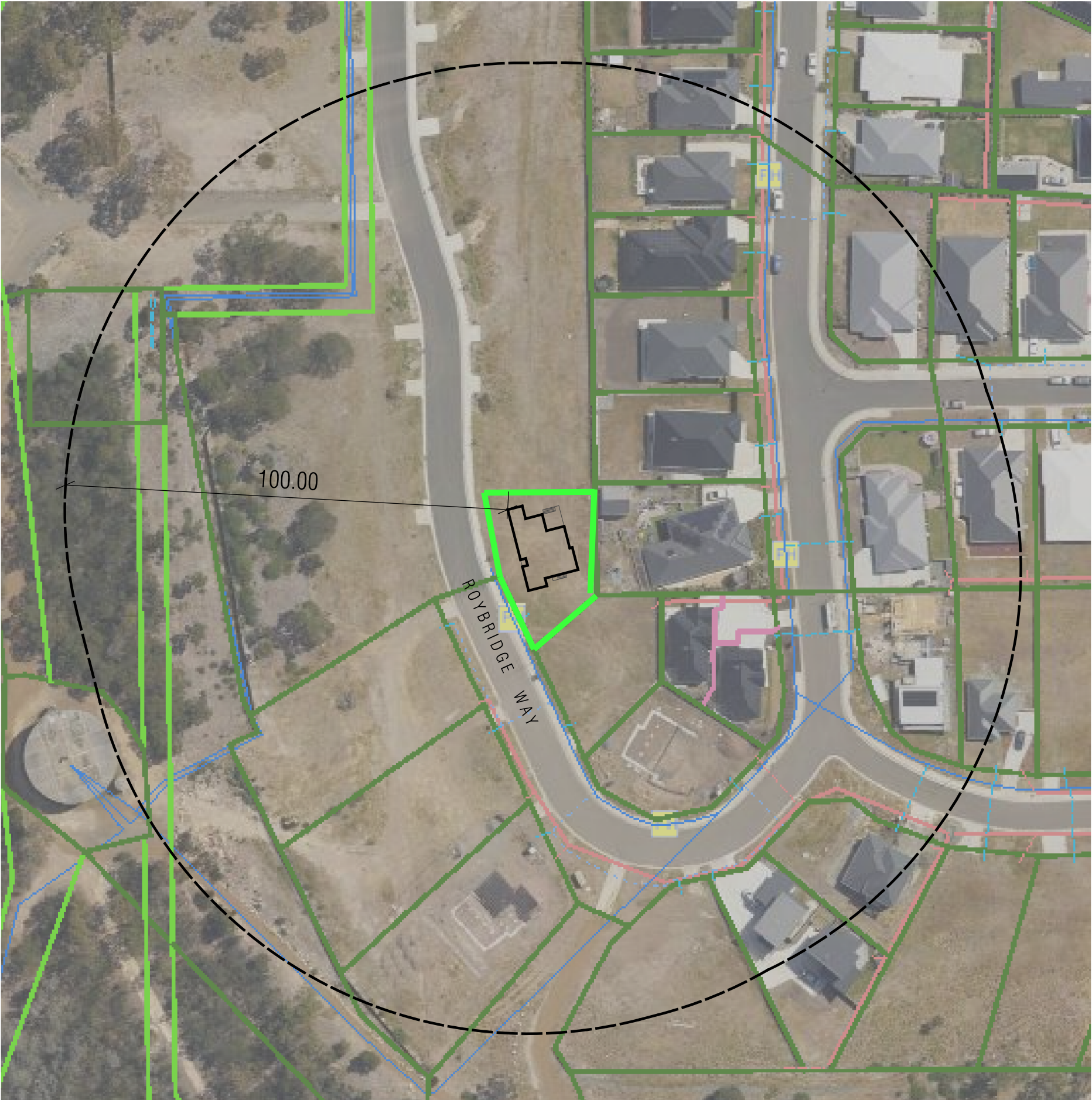
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

DATE:

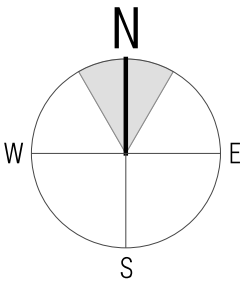


TASSIE HOMES

Unit 4/37 Ascot Drive, Huntingfield, Tasmania, 7055  
Ph. (03) 62 833 273      www.tassiehomes.com.au



PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH



Scale 1:1000

# BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING:      VEGETATION OVERLAY  
DATE:      30/07/26  
FILE NAME:      H1397 DA 051225.dgn  
DRAWN BY:      PC

DWG No:

## CONSTRUCTION SCHEDULE BAL-12.5

*Construction shall be in accordance with Bushfire Attack Level 12.5 (BAL-12.5) as specified in AS 3959-2018 Construction of Buildings in Bushfire Prone Areas, Sections 3 and 5.*

SUBFLOOR shall be either slab-on-ground or timber on isolated piers with brick perimeter. The standard does not provide construction requirements for either of these subfloor construction methods. Refer section 5.3.1 for detail.

EXTERNAL WALLS shall be timber framing, externally lined with sarking and clad with brick veneer or Weathertex cladding respectively. (Weathertex is stated as having a density of 990kg/m3. Any exposed timber shall bushfire resistant timber (AS 3959-2018 Appendix E1 or Appendix F compliant). Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density is 750 kg/m3 or greater. Refer section 5.4.1 for detail.

JOINTS IN EXTERNAL WALLS are to be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Refer section 5.4.2 for detail.

VENTS, WEEPHOLES AND GAPS IN EXTERNAL WALLS greater than 3mm are to be fitted with 2mm minimum aperture, corrosion resistant steel, bronze or aluminium mesh. Refer section 5.4.3 for detail.

BUSHFIRE SHUTTERS when used, shall protect the whole window/door assembly and shall be fixed to the building and be non-removable with gaps no greater than 3mm between the shutter and the wall, sill or head. They must be manually openable from either inside or outside. They shall be made of non-combustible material or bushfire resistant timber (AS 3959-2018 Appendix F compliant). Perforations must have an area no greater than 20% of the shutter and be uniformly distributed with gaps no greater than 3mm (or no greater than 2mm when the openable portion of the window is not screened).

SCREENS shall be fitted internally or externally to openable portions of windows. Screens shall be aluminium framed with 2mm minimum aperture, corrosion resistant steel, bronze or aluminium mesh. No gaps between the perimeter of the screen assembly and the building are to be greater than 3mm. Refer section 5.5.1A for detail. Alternatively, compliant bushfire shutters may be installed.

WINDOWS AND GLAZED SLIDING DOORS and their frames, joinery and architraves can be aluminium framed but can also be PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m3 or greater.

Windows less than 400mm from the ground or less than 400mm above decks, carport roofs, veranda roofs and awnings which have an angle less than 18 degrees shall be a minimum of 4mm Grade A safety glass. When using double glazing this requirement applies to the external face only. Windows above 400mm (when specific glazing is not required by other relevant Standards) may use annealed glass. Sliding doors shall be glazed with a minimum of Grade A safety glass. Refer section 5.5.2 for detail. Alternatively, compliant bushfire shutters may be installed. Care should be taken to ensure that the energy assessor for this project is aware of the minimum glazing requirements for this BAL classification so as to avoid conflict with glazing specifications.

SIDE HUNG EXTERNAL DOORS can be either non-combustible or solid timber with a minimum thickness of 35mm, or hollow core with a non-combustible kick plate on the outside for the first 400mm above the threshold. Glazed doors including French doors and bi-fold must have glazing that complies with the glazing requirements for windows and the frame can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m3 or greater. Refer section 5.5.3 for detail.

DOOR JAMBS AND ARCHITRAVES can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650kg/m3 or greater. Doors must be tight-fitting to the door jamb (and to the abutting door where applicable). Weather strips or draught excluders shall be installed to all side-hung external doors.

GARAGE DOORS must be fully non-combustible or have the lower portion of the door which is within 400mm of the ground be non-combustible. Panel lift, tilt or side hung doors shall be fitted with weather strips, draught excluders or guide tracks as appropriate to the door type with gaps no greater than 3mm. Roller doors shall have guide tracks with gaps no greater than 3mm or fitted with a nylon brush that is in contact with the door. Refer section 5.5.5 for detail.

ROOF shall be timber framing, lined with sarking on the outside of the frame and clad with corrugated colorbond cladding. Any gaps under ribs or roof components such as roof eave, fascia and wall junctions are to be sealed with 2mm aperture corrosion resistant, steel, bronze or aluminium mesh, or filled with mineral wool to prevent openings greater than 3mm. Refer section 5.6.1, 5.6.2 & 5.6.3 for detail.

VERANDAH, CARPORT OR AWNING ROOFS forming part of the main roof shall meet the requirements of the main roof. Refer section 5.6.4 for detail.

ROOF PENETRATIONS such as skylights, vent pipes and aerials that penetrate the roof shall be sealed to prevent openings greater than 3mm. Openable and vented skylights or vent pipes shall be fitted with 2mm aperture corrosion resistant, steel, bronze or aluminium mesh ember guards. All overhead glazing shall be Grade A safety glass. PVC vent pipes are permitted. Refer section 5.6.5 for detail.

EAVES LINING, FASCIA AND GABLES shall be cement sheet or equivalent non-combustible material and sealed to prevent openings greater than 3mm. Refer section 5.6.6 for detail.

GUTTERS AND DOWNPIPE materials and requirements are not specified in the standard for BAL-12.5 with the exception of box gutters which shall be non-combustible. Gutter and valley leaf guards are not a requirement of the standard but they are strongly recommended. If installed, they must be non-combustible. Refer section 5.6.7 for detail.

VERANDAH AND DECK SUPPORTS AND FRAMING can be timber construction as there are no construction requirements in the standard for BAL-12.5. Decking may be spaced or un-spaced and the sub-floor either enclosed or unenclosed. If the decking is spaced it is assumed that the spacing shall be 3mm nominal spacing with an allowance of between 0-5mm due to seasonal changes. If the deck sub-floor is enclosed, then all materials less than 400mm from the ground shall be non-combustible. Refer section 5.7.1, 5.7.2 & 5.7.3 for detail.

VERANDAHS, DECKS, STEPS, LANDINGS AND RAMPS and their elements can be timber construction as there are no construction requirements for BAL-12.5 except for elements less than 300mm horizontally and 400mm vertically from glazed elements which must be bushfire resistant timber (AS 3959-2018 Appendix E1 or Appendix F compliant) or equivalent non-combustible material. Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density of 750kg/m3 or greater. An acceptable solution would be to line the area with cement sheet with ceramic tiles over. Refer section 5.7.2.4 for detail.

BALUSTRADES AND HANDRAILS can be timber construction as there are no construction requirements in the standard for BAL 12.5. Refer section 5.7.4 for detail.

WATER AND GAS SUPPLY PIPING where it is above ground and exposed shall be metal. Refer section 5.8 for detail.

## BAL-12.5

See sheet 13 for  
Bushfire Attack Level  
construction requirements

© This document is copyright and may not be reproduced without the written consent of Tassie Homes. Drafted by Phil Chamberlain, re:design      Accreditation - CC5652Y

DRAWING: BUSHFIRE ATTACK LEVEL  
DATE: 30/07/26 CONSTRUCTION REQUIREMENTS  
FILE NAME: H1397 DA 051225.dgn  
DRAWN BY: PC

DWG No:

THIS PLAN IS ACCEPTED BY:

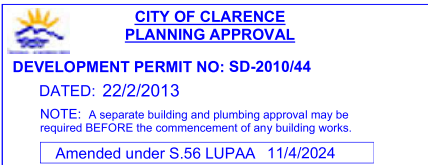
.....  
PLEASE NOTE: no variations will be permitted after plans are signed by the client (with exception of Council requirements / approvals).  
SIGNATURE:

.....  
DATE:

PROPOSED DWELLING FOR REID  
AT 30 ROYBRIDGE WAY, HOWRAH



BUSHFIRE HAZARD REPORT  
9 LOT SUBDIVISION  
473 ROKEBY ROAD, HOWRAH  
FOR  
MALWOOD PTY LTD



PREPARED BY L BRIGHTMAN (BFP-164)

CERTIFIED BY N M CREESE (BFP-118)

16<sup>th</sup> January 2024

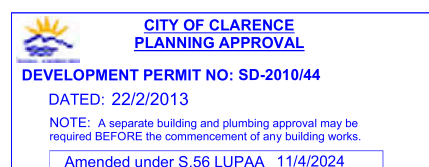
## Contents

|                                   |    |
|-----------------------------------|----|
| 1. SUMMARY:                       | 3  |
| 2. LOCATION:                      | 4  |
| 3. SITE DESCRIPTION:              | 5  |
| 4. PROPOSED DEVELOPMENT:          | 11 |
| 5. BUSHFIRE ATTACK LEVEL:         | 12 |
| 6. COMPLIANCE:                    | 20 |
| 7. CONCLUSIONS & RECOMMENDATIONS: | 28 |
| 8. REFERENCES:                    | 30 |
| 9. GLOSSARY                       | 31 |

ATTACHMENT 1 – Subdivision Plan

ATTACHMENT 2 - Bushfire Hazard Management Plan

ATTACHMENT 3 – Planning Certificate



### Disclaimer:

AS 3959:2018 cannot guarantee that a habitable building will survive a bushfire attack, however the implementation of the measures contained within AS 3959:2018, this report and accompanying plan will improve the likelihood of survival of the structure. This report and accompanying plan are based on the conditions prevailing at the time of assessment. No responsibility can be accepted to actions by the landowner, governmental or other agencies or other persons that compromise the effectiveness of this plan. The contents of this plan are based on the requirements of the legislation prevailing at the time of report.

LARK & CREESE

## 1. SUMMARY:

This Bushfire Hazard Report has been prepared to support the development of 9 lots (Stage 3) within an ongoing subdivision at 473 Rokeby Road, Howrah. The site is subject to a Bushfire Prone Area Overlay under the relevant planning scheme and has been deemed to have the potential to be bushfire prone due to its proximity to the areas of bushfire prone vegetation surrounding the site.

This report identifies the protective features and controls that must be incorporated into the design and construction works to ensure compliance with the standards. Fire management solutions are as defined in *AS 3959:2018 Construction of Buildings in Bushfire-Prone Areas and C13.0 Bushfire-Prone Areas Code, Tasmanian Planning Scheme - Clarence (Code)*.

All lots have been designed to achieve a bushfire attack level of BAL-19 (or lower) of *AS 3959:2018* in accordance with *C13.0 the Code*. New habitable buildings on these lots are to be constructed to this level, or greater, with the establishment and maintenance of the specified Hazard Management Areas to ensure ongoing protection from the risk from bushfire attack. A reduced bushfire attack level may be permitted where the separation distance between the bushfire prone vegetation and the building exceeds that required for BAL-19, subject to a revised assessment at the time of application for building approval.

Compliance with the following provisions of the *Code* will be required:

- *C13.6.1 Provision of hazard management areas*
- *C13.6.2 Public and fire fighting access*
- *C13.6.3 Provision of water supply for fire fighting purposes*

The effectiveness of the measures and recommendations detailed in this report and *AS 3959:2018* is dependent on their implementation and maintenance for the life of the development or until the site characteristics that this assessment has been measured from alter from those identified. No Liability can be accepted for actions by lot owner, Council or Government agencies which compromise the effectiveness of this report.

This report has been prepared by Liam Brightman and certified by Nick Creese, principal of Lark & Creese Surveyors. Liam is accredited by the Tasmania Fire Service to prepare Bushfire Hazard Management Plans. Nick is a registered surveyor in Tasmania and is accredited by the Tasmanian Fire Service to prepare Bushfire Hazard Management Plans.

Site survey carried out on the 5<sup>th</sup> December 2023.



## 2. LOCATION:

Property address: 473 Rokeby Road, Howrah  
 Title owner: Malwood Pty Ltd  
 Title reference: C.T. 183098/200  
 PID N°: 9737265  
 Title area: ±73 Ha  
 Municipal area: Clarence  
 Zoning: Low Density Residential

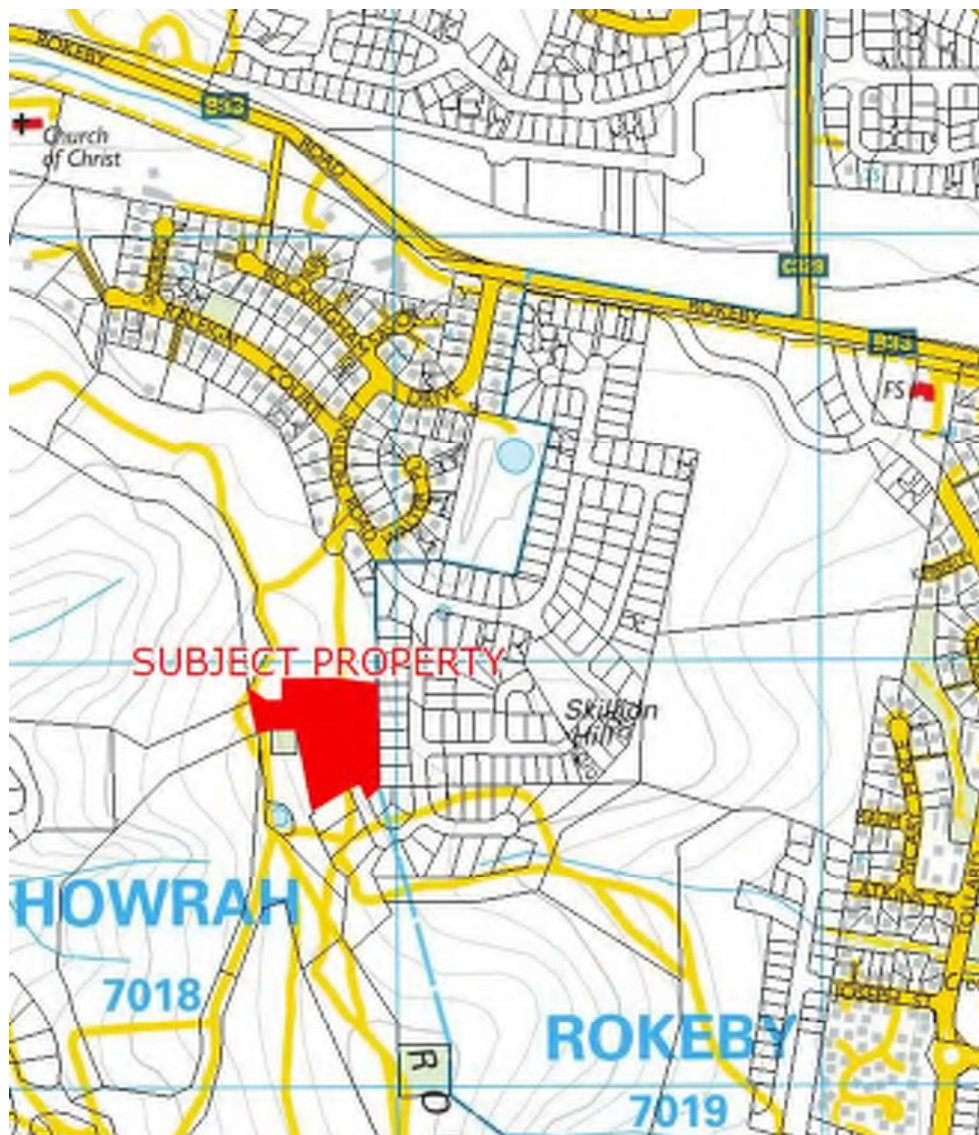


Image 1: Site location (Source *The LIST*)

### **3. SITE DESCRIPTION:**

The site is located within an existing residential area on Roybridge Way, approximately 200 metres south of the intersection of Skillion Road and Roybridge Way, Howrah. The site is located at an elevation of approximately 120 metres with grades falling to the east in the order of 5-10°.

At the time of assessment, the properties were vacant with new concrete accesses from the road edge to the property boundary. New road and services infrastructure also appeared to have been installed. The vegetation within these sites had been mostly removed during the development process with scattered trees along the western boundary.

To the north was a future stage of the development. These allotments were vacant, had concrete accesses from the road edge to the property boundaries and had the bulk of the vegetation removed.

Adjacent to the east was Roybridge Way which included grassed nature strips, concrete footpath, and a bitumen carriageway. Beyond Roybridge way was an extensive area of undeveloped and well-established residential allotments. The undeveloped allotments were vegetated by grass. The remaining allotments included dwellings, sheds, accesses, and gardens.

To the south was a previous stage of the subdivision which included a mix of developing and undeveloped residential allotments. The developing allotments included buildings undergoing construction. The undeveloped allotments were vegetated by grass. Beyond these allotments was an extensive area of native trees and shrubs.

Adjacent to the western boundaries was a gravel track, an area of ground covered by cut up branches, presumably from trees removed during the development of the lots, area of native trees and shrubs, a Tasmanian Water and Sewerage Corporation Pty Ltd water reservoir which included a large concrete water tank surrounded by gravel carriageways. Beyond this area was Rokeby Hills Reserve which was vegetated by an extensive area of native trees and shrubs.

Reticulated water supply is available to the site with domestic water supply requirements reliant TasWater mains supply.

Planning controls are administered by the Clarence Council under the *Tasmanian Planning Scheme - Clarence*. The site is zoned General Residential and Low Density Residential.



Image 2: Aerial image of site and surrounds (Source IThe LIST)





Image 3: Looking north towards development site.



Image 4: Looking southwest towards development site.

## Planning Controls:

Planning controls are administered by the Calrence Council under the *Tasmanian Planning Scheme - Clarence*. The site is subject to a *C7.0 Natural Assets Code*, *C13.0 Bushfire-prone Areas Code*, *C16.0 Safeguarding of Airport Code* and is zoned General Residential and Low Density Residential.



Image 5: Council zoning and overlays

|                        |                               |
|------------------------|-------------------------------|
| East of Roybridge Way  | General Residential           |
| West of Roybridge Way: | Low Density Residential       |
| Blue hatching:         | Natural Assets Code           |
| Whole site:            | Bushfire-prone Areas Code     |
| Whole site:            | Safeguarding of Airports Code |
| Yellow hatching:       | Utilities                     |

## Fire History:

From the Fire History overlay detailed within *The LIST* map imagery, bushfire events mapped within a 2 km range of the site are listed below.

| Date       | Name                     | Area affected | Cause      |
|------------|--------------------------|---------------|------------|
| 1967       | 1967 Fire                | ±200, 000 ha  | Unknown    |
| 11/01/2005 | Oceana                   | ±34 ha        | Unknown    |
| 15/04/2011 | Kuynah VMU 2             | ±1 ha         | Planned    |
| 25/11/2011 | Sunray Court             | ±3 ha         | Unknown    |
| 29/02/2012 | South Arm Road           | 4 ha          | Unknown    |
| 1/03/2013  | Glebe Hill VMU 11        | ±0.14 ha      | Planned    |
| 2/04/2012  | Vitesse Court            | ±11 ha        | Unknown    |
| 4/01/2013  | -                        | 3.15 ha       | Unknown    |
| 4/01/2013  | -                        | 2.79 ha       | Unknown    |
| 30/01/2013 | Duntroon Drive           | ±6 ha         | Unknown    |
| 15/04/2013 | Glebe Hill VMU 3         | ±0.3 ha       | Planned    |
| 15/02/2014 | Joseph Street            | ±16 ha        | Deliberate |
| 4/11/2015  | Glebe Hill Reserve VMU 5 | ±2.18 ha      | Planned    |
| 11/11/2015 | Glebe Hill Reserve VMU 5 | ±1 ha         | Planned    |
| -          | Kuynah VMU 5             | ±2 ha         | Planned    |
| 20/11/2017 | Holmfield Avenue         | ±13 ha        | Deliberate |



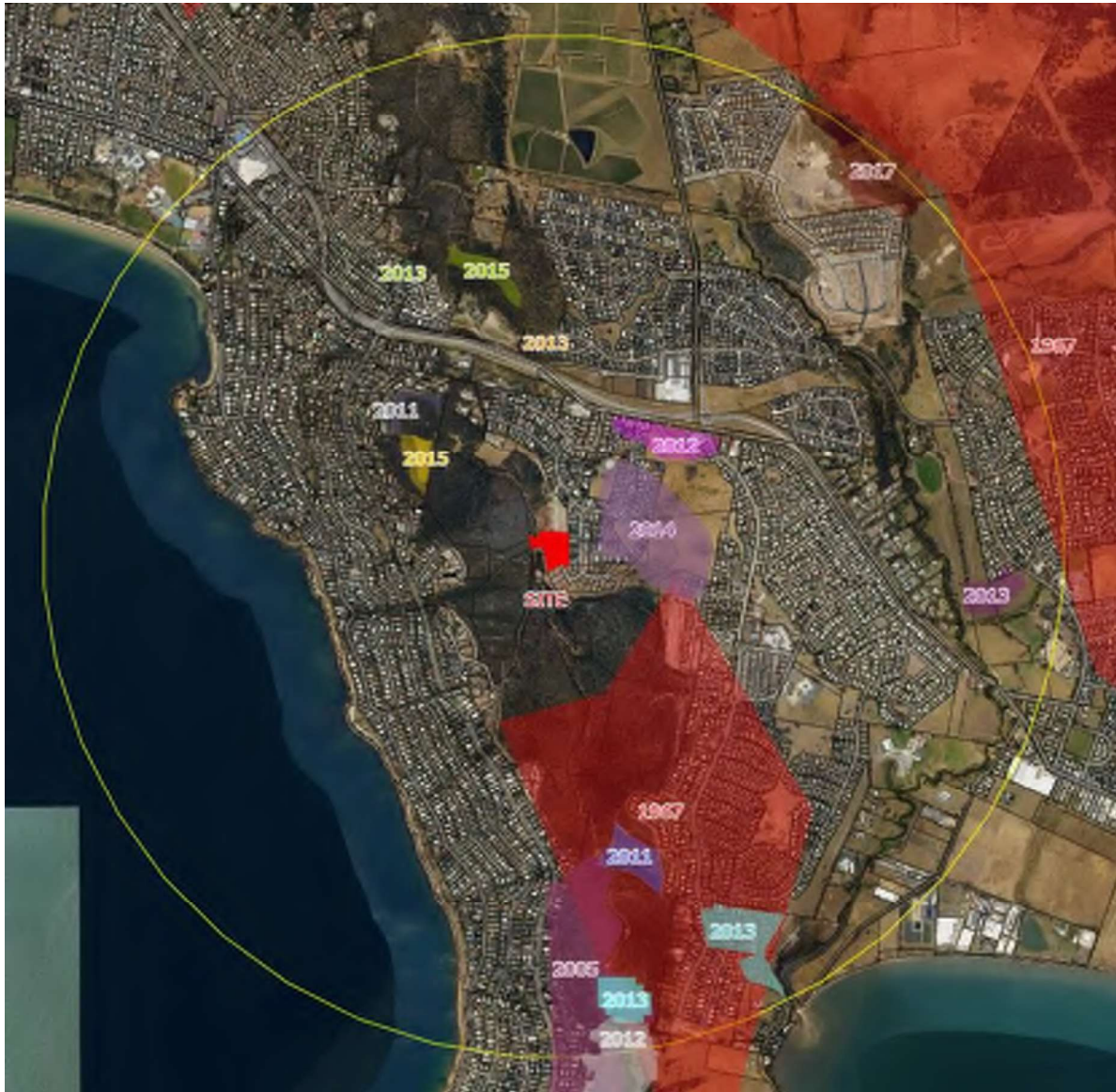
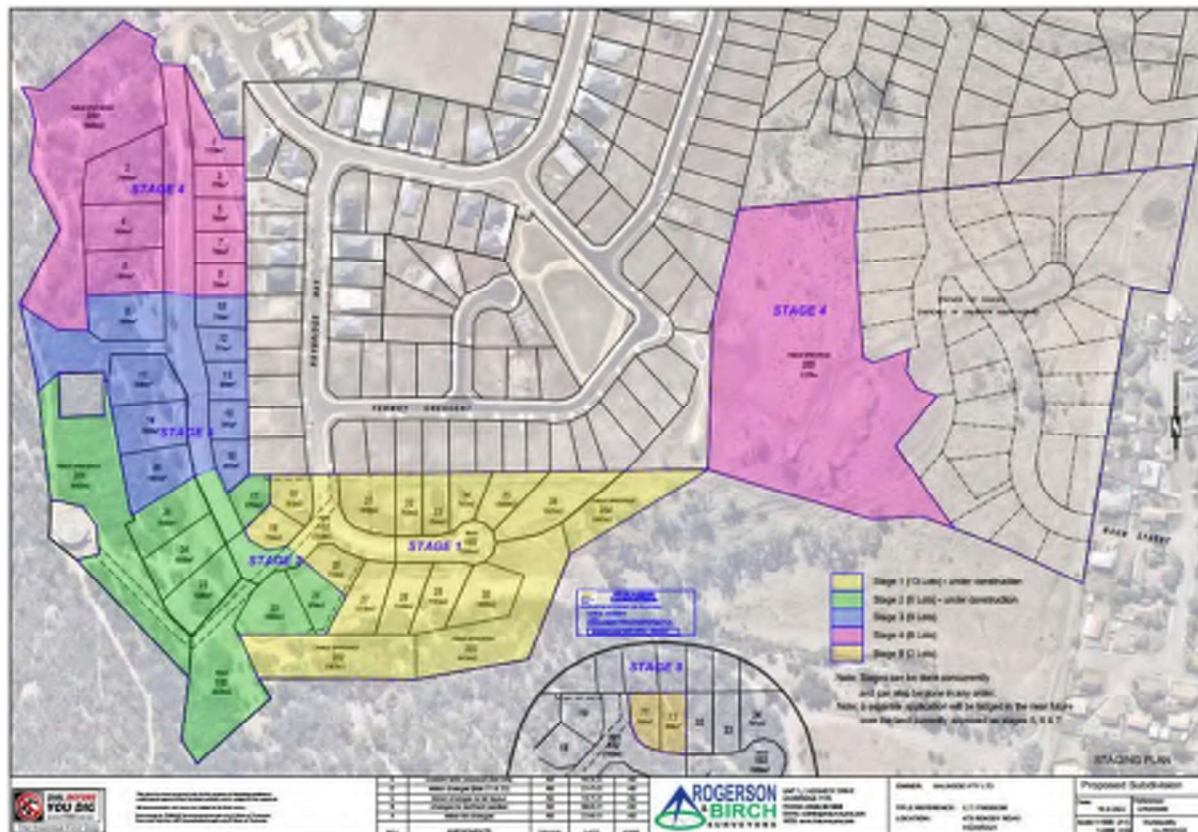


Image 6: Bushfire History (Source *The LIST*)



#### 4. PROPOSED DEVELOPMENT:

Stage 3 (blue shading) consists of 9 residential allotments ranging in area from 651 m<sup>2</sup> to 1580 m<sup>2</sup>. Stage 3 also incorporates an access to the public open space to the west of the subject allotments.



## 5. **BUSHFIRE ATTACK LEVEL:**

Fire Danger Index (FDI): The Fire Index Rating for Tasmania is adopted as 50.

### **Vegetation Assessment:**

Following assessment of the characteristics of the site, the vegetation types, separation distances from development site and slope under the vegetation have been identified as shown in Table 1 below:

| Direction: | Description:                                                                                                                                                             | Distance: | Slope:      |
|------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|-------------|
| North:     | Future stage of subdivision: <ul style="list-style-type: none"> <li>scattered eucalypts</li> <li>scattered areas of grass</li> <li>concrete accesses</li> </ul>          | 0-100     | 0-5° up     |
| East:      | Developed allotments: <ul style="list-style-type: none"> <li>dwelling, sheds, accesses, gardens</li> </ul>                                                               | 0-100     | 5-10° down  |
| Southeast: | Previous stage of subdivision: <ul style="list-style-type: none"> <li>undeveloped allotments <ul style="list-style-type: none"> <li>vacant, grass</li> </ul> </li> </ul> | 0-52      | 0-5° down   |
|            | Roybridge Way: <ul style="list-style-type: none"> <li>grassed nature strip, concrete footpath, bitumen carriageway</li> </ul>                                            | 52-68     | Level       |
|            | developing allotments building undergoing construction                                                                                                                   | 68-100    | 0-5° down   |
| South:     | Previous stage of subdivision: <ul style="list-style-type: none"> <li>Undeveloped <ul style="list-style-type: none"> <li>scattered areas of grass</li> </ul> </li> </ul> | 0-44      | 0-5° up     |
|            | Public Open Space: <ul style="list-style-type: none"> <li>native trees &amp; shrubs</li> </ul>                                                                           | 44-100    |             |
| West:      | Public Open Space:                                                                                                                                                       |           |             |
|            | gravel track                                                                                                                                                             | 0-5       | 5-10° up    |
|            | cutup branches                                                                                                                                                           | 5-15      |             |
|            | native trees & shrubs                                                                                                                                                    | 15-43     | Level       |
|            | water reservoir                                                                                                                                                          | 25-55     |             |
|            | Rokeby Hills Reserve                                                                                                                                                     | 55-100    | 10-15° down |

Table 1: Site assessment.

NOTE: The vegetation identified in Table 1 has been assessed in consideration of *Table 2.3 and figures 2.4(A)-(H) AS 3959:2018* as follows.

North of Stage 3 was a future stage of the current subdivision (Stage 4). The allotments appeared to have had the bulk of the vegetation removed during the development process. These sites were vegetated by scattered areas of grass which appeared to be well maintained in a minimal fuel condition. The vegetation within these allotments has been classified as **Low Threat Vegetation (LTV)** in accordance with *Part 2.2.3.2 (e) & (f), AS 3959:2018*.

To the east was an extensive area of undeveloped, developing, and well-established residential allotments. The undeveloped allotments were vacant and vegetated by grass which appeared to be well maintained in a minimal fuel condition. The developing allotments included dwellings undergoing construction. The well-established allotments included dwellings, sheds, accesses, and gardens. Also, to the east was Roybridge Way, Achaderry Court, and Fermoy Crescent which included grassed nature strips, concrete footpaths, and bitumen carriageways. The vegetation to the east has been classified as **Low Threat Vegetation** in accordance with *Part 2.2.3.2 (e) & (f), AS 3959:2018*.

To the south was a Stage 2 of the current subdivision, beyond which was the Public Open Space. The neighbouring residential allotments were vacant and vegetated by scattered areas of grass which appeared to be well maintained in a minimal fuel condition. The vegetation within these allotments has been classified as **Low Threat Vegetation** in accordance with *Part 2.2.3.2 (e) & (f), AS 3959:2018*. The Public Open Space was vegetated by eucalypts  $\pm 10$  metres in height with an understory of smaller trees and shrubs which has been assessed as having a foliage coverage of  $>30\%$ . This area of vegetation has been assessed in accordance with *Figure 2.4(B)* as *Open Forest A-03* resulting in a vegetation classification of **A: Forest**.

Immediately to the west was a gravel track beyond which was an area that had been covered by cut up branches and an extensive area of native vegetation. Also to the west was a concrete Water Reservoir with gravel tracks owned by the Tasmanian Water and Sewerage Corporation Pty Ltd. The gravel tracks and the Water Reservoir has been classified as **Non-vegetated Area (NVA)** in accordance with *Part 2.2.3.2 (e), AS 3959:2018*. The vegetation within Public Open Space lots 200 and 201 and Rokeby Hills Reserve included of eucalypts,  $\pm 10$  metres in height, with an understory of smaller trees and shrubs which has been assessed as having an assessed foliage coverage of  $>30\%$ . In accordance with Condition 15 of the Planning Permit issued for the original subdivision and the Bushfire Hazard Report prepared by Onto It Solutions, the vegetation with the Public Open Space is to be modified and maintained in a condition consistent with a woodland classification. As such, the vegetation within the Public Open Space has been classified as **B: Woodland**. The vegetation within Rokeby Hills Reserve has been assessed as in accordance with *Figure 2.4(B)* as *Open Forest A-03* resulting in a vegetation classification of **A: Forest**.

### **Vegetation Classification:**

In consideration of vegetation classifications under *Table 2.3* and *Figure 2.4*, AS 3959:2018 and as detailed above, the predominant vegetation, separation distances from development site and slope under the classified vegetation is assessed as shown in Table 2 below:

| Lot N° | Direction: | Vegetation Type:                       | Distance (m):                    | Effective slope:             | Exclusions:                                  |
|--------|------------|----------------------------------------|----------------------------------|------------------------------|----------------------------------------------|
| 8      | North:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | East:      | LTV                                    | 0-100                            | 5-10° down                   | 2.2.3.2 (e) & (f)                            |
|        | South:     | LTV<br>B: Woodland                     | 0-44<br>44-100                   | 0-5° up                      | 2.2.3.2 (e) & (f)<br>No                      |
|        | West:      | NVA<br>B: Woodland<br>NVA<br>A: Forest | 0-12<br>12-34<br>34-42<br>42-100 | 0-5° up<br><br>Level         | 2.2.3.2 (e) & (f)<br>No<br>2.2.3.2 (e)<br>No |
| 10     | North:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | East:      | LTV                                    | 0-100                            | 5-10° down                   | 2.2.3.2 (e) & (f)                            |
|        | South:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | West:      | LTV<br>NVA<br>B: Woodland              | 0-72<br>72-76<br>76-100          | 5-10° up<br>0-5° up          | 2.2.3.2 (e) & (f)<br><br>No                  |
| 11     | North:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | East:      | LTV                                    | 0-100                            | 5-10° down                   | 2.2.3.2 (e) & (f)                            |
|        | South:     | LTV<br>NVA                             | 0-48<br>48-100                   | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | West:      | NVA<br>B: Woodland<br>NVA<br>A: Forest | 0-15<br>15-40<br>40-48<br>48-100 | 5-10° up<br>0-5° up<br>Level | 2.2.3.2 (e)<br>No<br>2.2.3.2 (e)<br>No       |
| 12     | North:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | East:      | LTV                                    | 0-100                            | 5-10° down                   | 2.2.3.2 (e) & (f)                            |
|        | South:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | West:      | LTV<br>NVA<br>B: Woodland              | 0-70<br>70-74<br>74-100          | 5-10° up<br>0-5° up          | 2.2.3.2 (e) & (f)<br><br>No                  |
| 13     | North:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | East:      | LTV                                    | 0-100                            | 5-10° down                   | 2.2.3.2 (e) & (f)                            |
|        | South:     | LTV                                    | 0-100                            | 0-5° up                      | 2.2.3.2 (e) & (f)                            |
|        | West:      | LTV                                    | 0-62                             | 5-10° up                     | 2.2.3.2 (e) & (f)                            |

|    |        |                                        |                                  |                      |                                        |
|----|--------|----------------------------------------|----------------------------------|----------------------|----------------------------------------|
|    |        | NVA<br>B: Woodland                     | 62-66<br>66-100                  | 0-5° up              | No                                     |
| 14 | North: | LTV                                    | 0-100                            | 0-5° up              | 2.2.3.2 (e) & (f)                      |
|    | East:  | LTV                                    | 0-100                            | 5-10° down           | 2.2.3.2 (e) & (f)                      |
|    | South: | LTV<br>NVA                             | 0-55<br>55-100                   | 0-5° up              | 2.2.3.2 (e) & (f)                      |
|    | West:  | NVA<br>B: Woodland<br>NVA<br>A: Forest | 0-15<br>15-40<br>40-47<br>47-100 | 0-5° up<br><br>Level | 2.2.3.2 (e)<br>No<br>2.2.3.2 (e)<br>No |
| 15 | North: | LTV                                    | 0-100                            | 0-5° up              | 2.2.3.2 (e) & (f)                      |
|    | East:  | LTV                                    | 0-100                            | 5-10° down           | 2.2.3.2 (e) & (f)                      |
|    | South: | LTV                                    | 0-100                            | 0-5° up              | 2.2.3.2 (e) & (f)                      |
|    | West:  | LTV<br>NVA<br>B: Woodland              | 0-68<br>68-77<br>77-100          | 5-10° up<br>0-5° up  | 2.2.3.2 (e) & (f)<br><br>No            |
| 16 | North: | LTV                                    | 0-100                            | 0-5° up              | 2.2.3.2 (e) & (f)                      |
|    | East:  | LTV                                    | 0-100                            | 5-10° down           | 2.2.3.2 (e) & (f)                      |
|    | South: | LTV                                    | 0-100                            | 0-5° up              | 2.2.3.2 (e) & (f)                      |
|    | West:  | LTV<br>NVA<br>B: Woodland              | 0-60<br>60-75<br>75-100          | 5-10° up<br>0-5° up  | 2.2.3.2 (e) & (f)<br><br>No            |
| 26 | North: | LTV                                    | 0-100                            | 0-5° up              | 2.2.3.2 (e) & (f)                      |
|    | East:  | LTV                                    | 0-100                            | 5-10° down           | 2.2.3.2 (e) & (f)                      |
|    | South: | LTV<br>B: Woodland                     | 0-62<br>62-100                   | 0-5° up              | 2.2.3.2 (e) & (f)<br>No                |
|    | West:  | NVA<br>B: Woodland<br>NVA<br>A: Forest | 0-14<br>14-43<br>43-50<br>50-100 | 0-5° up<br><br>Level | 2.2.3.2 (e)<br>No<br>2.2.3.2 (e)<br>No |

Table 2: Assessed vegetation.



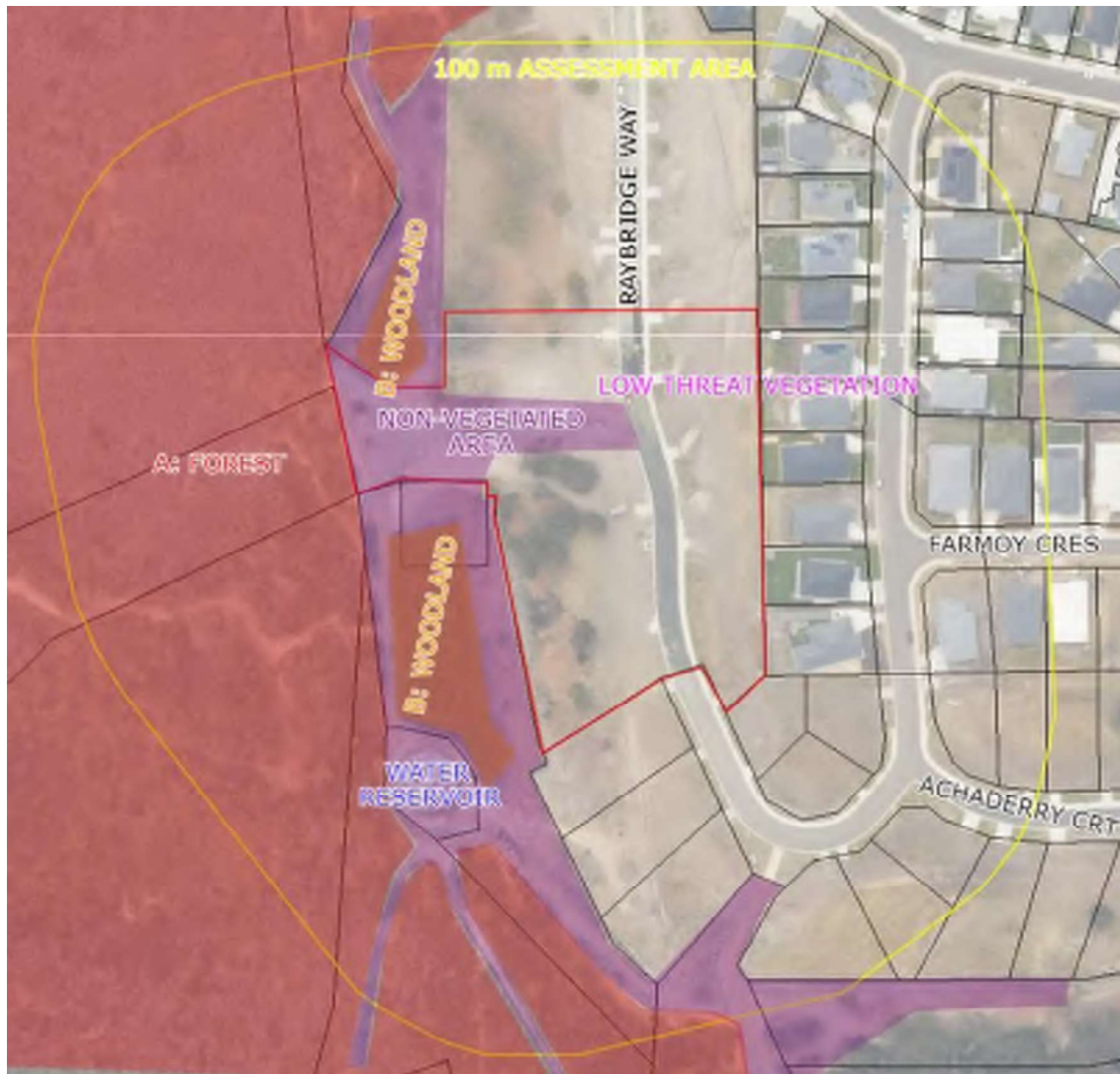


Image 8: Aerial image of assessed vegetation (Source *The LIST*).





Image 9: Predominant vegetation to the north of the site – LTV



Image 10: Predominant vegetation to the east of the site – LTV



Image 11: Predominant vegetation to the south of the site – LTV



Image 12: Predominant vegetation to the west of the site – B: Woodland

## **Bushfire Attack Level Assessment:**

In accordance with *C13.6 Development Standards for Subdivision (A1), The Code*, each lot is to be provided with building areas that have separation distances from the bushfire prone vegetation equal to, or greater than that required for BAL-19. Based on the predominant vegetation detailed above, and the separation distances available between the predominant vegetation and the development site, the minimum dimension of the Hazard Management Areas for a compliant building area within each lot has been determined from *Table 2.6, AS 3959:2018* as follows:

| LOT N° | BAL  | Direction | Distance to veg | HMA per Table 2.6 | Boundary Setback |
|--------|------|-----------|-----------------|-------------------|------------------|
| 8      | 19   | North     | 0 m             | N/A               | 0                |
|        |      | East      | 0 m             | N/A               | 0                |
|        |      | South     | 44 m            | 15-<22 m          | 0                |
|        |      | West      | 12 m            | 15-<22 m          | 3m               |
| 10     | 12.5 | North     | 0 m             | N/A               | 0                |
|        |      | East      | 0 m             | N/A               | 0                |
|        |      | South     | 0 m             | N/A               | 0                |
|        |      | West      | 76 m            | 22-<100 m         | 0                |
| 11     | 19   | North     | 0 m             | N/A               | 0                |
|        |      | East      | 0 m             | N/A               | 0                |
|        |      | South     | 0 m             | N/A               | 0                |
|        |      | West      | 15 m            | 15-<22 m          | 0                |
| 12     | 12.5 | North     | 0 m             | N/A               | 0                |
|        |      | East      | 0 m             | N/A               | 0                |
|        |      | South     | 0 m             | N/A               | 0                |
|        |      | West      | 74 m            | 22-<100 m         | 0                |
| 13     | 12.5 | North     | 0 m             | N/A               | 0                |
|        |      | East      | 0 m             | N/A               | 0                |
|        |      | South     | 0 m             | N/A               | 0                |
|        |      | West      | 66 m            | 22-<100 m         | 0                |
| 14     | 19   | North     | 0 m             | N/A               | 0                |
|        |      | East      | 0 m             | N/A               | 0                |
|        |      | South     | 0 m             | N/A               | 0                |
|        |      | West      | 15 m            | 15-<22 m          | 0                |
| 15     | 12.5 | North     | 0 m             | N/A               | 0                |
|        |      | East      | 0 m             | N/A               | 0                |
|        |      | South     | 0 m             | N/A               | 0                |
|        |      | West      | 77 m            | 22-<100 m         | 0                |
| 16     | 12.5 | North     | 0 m             | N/A               | 0                |

|    |    |       |      |           |   |
|----|----|-------|------|-----------|---|
|    |    | East  | 0 m  | N/A       | 0 |
|    |    | South | 0 m  | N/A       | 0 |
|    |    | West  | 75 m | 22-<100 m | 0 |
|    |    |       |      |           |   |
| 26 | 19 | North | 0 m  | N/A       | 0 |
|    |    | East  | 0 m  | N/A       | 0 |
|    |    | South | 62 m | 15-<22 m  | 0 |
|    |    | West  | 15 m | 15-<22 m  | 0 |

Table 3: Assessed Bushfire Attack Level for each lot

**NOTE:** Due to the distance between the development site and the vegetation assessed as A: Forest being greater than the minimum distance required for BAL-12.5, the vegetation classified as B: Woodland has been deemed to pose the most significant bushfire risk to the site.

Due to the classified vegetation to the west of Lot 8 being less than the HMA required, a boundary setback of 3m applies to that lot (See Bushfire Hazard Management Plan)



## 6. COMPLIANCE:

The site is subject to a Bushfire Prone Areas Overlay and compliance is assessed against the provisions of C13.0 *Bushfire-Prone Areas Code* in the following manner:

### **C13.6.1 Provision of hazard management areas**

*That subdivision provides for hazard management areas that;*

- (a) facilitate an integrated approach between subdivision and subsequent building on a lot;*
- (b) provide for sufficient separation of building areas from bushfire-prone vegetation to reduce the radiant heat levels, direct flame attack and ember attack at the building area; and*
- (c) provide protection for lots at any stage of a staged subdivision.*

| <b>A1</b> | <b>Acceptable Solutions</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
|-----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (a)       | <i>TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| (b)       | <i>The proposed plan of subdivision;</i> <ul style="list-style-type: none"> <li><i>(i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a staged subdivision;</i></li> <li><i>(ii) shows the building area for each lot;</i></li> <li><i>(iii) shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL-19 in Table 2.6 of Australian Standard AS 3959:2018 Construction of buildings in bushfire-prone areas; and</i></li> <li><i>(iv) is accompanied by a bushfire hazard management plan that addresses all the individual lots and that is certified by the TFS or accredited person, showing hazard management areas equal to, or greater than, the separation distances required for BAL-19 in Table 2.6 of Australian Standard AS 3959:2018 Construction of buildings in bushfire-prone areas; and</i></li> </ul> |
| (c)       | <i>If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of the land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |

The proposed subdivision has been assessed as being compliant with the Acceptable Solutions (b) as follows.

- (i) The plan of subdivision shows all lots that are within or partly within a bushfire-prone area.
- (ii) The plan of subdivision shows compliant building areas for all proposed allotments.
- (iii) Each lot can comply with the hazard management requirements of at least those required for BAL-19.

- (iv) The attached hazard management plan shows hazard management areas for each lot that are equal to or greater than the distances required for BAL-19.

Lots assessed as **BAL-12.5: LOTS 10, 12, 13, 15 & 16**

Lots assessed as **BAL-19: LOTS: 8, 11, 14 & 26**

Lot 8 will require a building area setback of 3m at its western boundary to ensure sufficient separation from the classified vegetation to comply with its assessed BAL.

Provided the management practices as described below are implemented, they will achieve the required Hazard Management areas, and the continuations of these practices are sufficient to comply with this assessment. Any alteration to the current management practices, or vegetation surrounding the site, within the prescribed management areas must comply with the following:

All lots are identified as containing building areas capable of compliance with the separation distances prescribed under *Table 2.6, AS 3959:2018*.

| Maintenance Requirements of the Hazard Management Area |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |           |           |
|--------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|-----------|-----------|
| Direction                                              | Northeast                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Southeast | Southwest | Northwest |
| All lots                                               | Boundary                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Boundary  | Boundary  | Boundary  |
| HMA establishment recommendations                      | <ul style="list-style-type: none"> <li>Establishing non-flammable areas around the dwelling such as paths, patios, driveway, lawns etc.</li> <li>Locating dams, orchards, vegetable garden, effluent disposal areas etc on the bushfire prone side of the building.</li> <li>Providing heat shields and ember trap on the bushfire prone side of the dwelling such as non-flammable fencing, hedges, separated garden shrubs and small trees,</li> <li>Store flammable materials such as wood piles, fuels and rubbish heaps are stored away from the dwelling.</li> <li>Replace highly flammable vegetation with low flammability species. See Tasmanian Fire Service web site (<a href="http://www.fire.tas.gov.au">www.fire.tas.gov.au</a>) publications - Fire resisting garden plants.</li> <li>Trim lower branches of retained trees to a minimum of 2 metres above ground level.</li> <li>Trees are not to overhang the dwelling so that vegetation falls onto the roof.</li> <li>Strips of vegetation less than 20 metres in width and not within 20 metres of the site or other areas of bushfire-prone vegetation may be beneficial as an ember trap, wind breaks etc.</li> <li>Removal of ground fuels such as leaves, bark, fallen branches etc.</li> </ul> |           |           |           |



|                              |                                                                                                                                                                                                                                                                                                              |
|------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Ongoing Management practices | <ul style="list-style-type: none"> <li>• Slash or mow grasses to less than 100 mm.</li> <li>• Remove dead and fallen vegetation including branches, bark and leaves regularly.</li> <li>• Trim any regrowth branches of retained trees within HMA that are less than 2 metres above ground level.</li> </ul> |
|------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

### **C13.6.2 Public and fire fighting access**

*The access roads to, and the layout of roads, tracks, and trails, in a subdivision:*

- (a) allow safe access and egress for residents, firefighting and emergency services personnel;*
- (b) provide access to the bushfire-prone vegetation that enables both property to be defended when under bushfire attack, and for hazard management works to be undertaken;*
- (c) are designed and constructed to allow for fire appliances to be manoeuvred;*
- (d) provide access to water supplies for fire appliances; and*
- (e) are designed to allow connectivity, and where needed, offering multiple evacuation points.*

| <b>A1</b> | <b>Acceptable solutions</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|-----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (a)       | <i>TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of fire fighting; or</i>                                                                                                                                                                                                                                                                                           |
| (b)       | <i>A proposed plan of subdivision showing the layout of roads, fire trails and the location of property access to building areas, is included in a bushfire hazard management plan that;</i> <ul style="list-style-type: none"> <li><i>(i) demonstrates proposed roads will comply with Table C13.1, proposed private accesses will comply with Table C13.2 and proposed fire trails will comply with Table C13.3; and</i></li> <li><i>(ii) is certified by the TFS of an accredited person.</i></li> </ul> |

The proposed subdivision has been assessed as being compliant with the Acceptable Solutions (b) as follows.

- (i) The attached plan of subdivision shows the layout of roads, fire trails and the location of the property accesses to the building areas in compliance with *Table C13.1, Table C13.2 and Table C13.3.*
- (ii) This bushfire hazard report and attached bushfire hazard management area plan has been prepared by L. Brightman, an accredited bushfire practitioner BFP-164, scope 1, 2, 3a, and 3b and certified by N.M. Creese, an accredited bushfire practitioner BFP-118, scope 1, 2, 3a, 3b and 3c.

At the time of assessment Roybridge Way appeared to have been constructed to the required standard and has been assessed as being compliant with the requirements of *Table C13.1: Standards for Roads.*

| <b>Table C13.1: Standards for roads</b> |       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|-----------------------------------------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Elements</b>                         |       | <b>Requirement</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| A                                       | Roads | <p>Unless the development standards in the zone require a higher standard, the following apply;</p> <ul style="list-style-type: none"> <li>(a) two-wheel drive, all-weather construction;</li> <li>(b) load capacity of at least 20t, including for bridges and culverts;</li> <li>(c) minimum carriageway width is 7m for a through road, or 5.5m for dead-end or cul-de-sac road;</li> <li>(d) minimum vertical clearance of 4m;</li> <li>(e) minimum horizontal clearance of 2m from the edge of the carriageway;</li> <li>(f) cross falls of less than 3 degrees (1:20 or 5%);</li> <li>(g) maximum gradient of 15 degree (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads;</li> <li>(h) curves have a minimum inner radius of 10m;</li> <li>(i) dead-end or cul-de-sac roads are not more than 200m in length unless the carriageway is 7m in width;</li> <li>(j) dead-end or cul-de-sac roads have a turning circle with a minimum 12m outer radius; and</li> <li>(k) carriageways less than 7m wide have 'No Parking' zones on one side, indicated by a road sign that complies with Australian Standard AS1743:2018 Road signs-Specifications.</li> </ul> |

During the site assessment, the access to each of the subject allotments were constructed of concrete and were measured as being less than 30m from the edge of the road formation to the individual property boundaries. These accesses have been assessed as being compliant with the requirements of *Element A, Table C13.2: Standard for Property Access*. No specific standards apply.

| <b>Table C13.2: Standards for property access</b> |                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|---------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Elements</b>                                   |                                                                                                                              | <b>Requirement</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| A                                                 | Property access length is less than 30m; or access is not required for a fire appliance to access a firefighting water point | There are no specified design and construction requirements.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| B                                                 | Property access length is 30m or greater; or access is required for a fire appliance to a fire fighting water point.         | <p>The following design and construction requirements apply to property access;</p> <ul style="list-style-type: none"> <li>(a) all-weather construction;</li> <li>(b) load capacity of at least 20t, including for bridges and culverts;</li> <li>(c) minimum carriageway width of 4m;</li> <li>(d) minimum vertical clearance of 4m;</li> <li>(e) minimum horizontal clearance of 0.5m from the edge of the carriageway;</li> <li>(f) cross falls of less than 3 degrees (1:20 or 5%);</li> <li>(g) dips less than 7 degrees (1:8 or 12.5%) entry and exit</li> </ul> |

|   |                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|---|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|   |                                                                                             | <p>angles;</p> <p>(h) curves with a minimum inner radius of 10m;</p> <p>(i) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and</p> <p>(j) terminate with a turning area for fire appliances provided by one of the following;</p> <p>(i) a tuning circle with a minimum outer radius of 10m; or</p> <p>(ii) a property access encircling the building; or</p> <p>(iii) a hammerhead 'T' or 'Y' turning head 4m wide and 8m long.</p> |
| C | Property access length is 200m or greater.                                                  | <p>The following design and construction requirements apply to property access:</p> <p>(a) the requirements of B above; and</p> <p>(b) passing bays of 2m additional carriageway width and 20m length provided every 200m.</p>                                                                                                                                                                                                                                                                          |
| D | Property access length is greater than 30m, and access is provided to 3 or more properties. | <p>The following design and constructions requirements apply to property access:</p> <p>(a) complies with requirement b above; and</p> <p>(b) passing bays of 2m additional carriageway width and 20m length must be provided every 100m.</p>                                                                                                                                                                                                                                                           |

Due to the proximity of the building areas within each proposed allotment, and the distances to the predominant vegetation, it has been deemed appropriate to not require fire trails to be constructed. As such *Table C13.3: Standard for Fire Trails* is not applicable.

### **C13.6.3 Provision of water supply for fire fighting purposes**

*That an adequate, accessible and reliable water supply for the purposes of fire fighting can be demonstrated at the subdivision stage and allow for the protection of life and property associated with the subsequent use and development of bushfire-prone areas.*

|                                                                          |                                                                                                                                                                                                                                                      |
|--------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>A1</b>                                                                | <b>Acceptable solutions</b>                                                                                                                                                                                                                          |
| <i>In areas serviced with reticulated water by the water corporation</i> |                                                                                                                                                                                                                                                      |
| (a)                                                                      | <i>TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</i>                                                                     |
| (b)                                                                      | <i>A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table C13.4; or</i>                     |
| (c)                                                                      | <i>A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</i> |

In accordance with *Acceptable Solution A1(b)*, all lots are assessed as being within a bushfire prone area and must be provided with a firefighting supply of water from a reticulated supply in compliance with the provisions of *Table 13.4: Reticulated Water Supply for Fire Fighting*, C13.6.3 the Code as follows:

| <b>Table C13.4 Reticulated water supply for fire fighting</b> |                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                  |
|---------------------------------------------------------------|-------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Element</b>                                                |                                                                         | <b>Requirement</b>                                                                                                                                                                                                                                                                                                                                                                               |
| <b>A</b>                                                      | <i>Distance between buildings area to be protected and water supply</i> | <i>The following requirements apply:<br/>(a) the building area to be protected must be located within 120m of a fire hydrant; and<br/>(b) the distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.</i>                                                                                                                     |
| <b>B</b>                                                      | <i>Design criteria for fire hydrants</i>                                | <i>The following requirements apply:<br/>(a) fire hydrant system must be designed and constructed in accordance with TasWater Supplements to Water Supplement to Water Supply Code of Australia WSA 03-2011-3.1 MRWA 2nd Editions; and<br/>(b) fire hydrants are not installed in parking areas.</i>                                                                                             |
| <b>C</b>                                                      | <i>Hardstand</i>                                                        | <i>A hardstand area for fire appliances must be:<br/>(a) no more the 3m from the hydrant, measured as a hoselay;<br/>(b) no closer than 6m from the building area to be protected;<br/>(c) with a minimum width of 3m, constructed to the same standard as the carriageway; and<br/>(d) connected to the property access by a carriageway equivalent to the standard of the property access.</i> |

At the time of assessment, fire hydrants were identified within a 120 metres hoselay of the furthest point of the buildable areas. As such no further works are required.

## 7. CONCLUSIONS & RECOMMENDATIONS:

This Bushfire Hazard Report and Bushfire Hazard Management Plan have been prepared to support the application for planning approval for subdivision at 473 Rokeby Road, Howrah. The report has reviewed the bushfire risks associated with the site and determined the fire management strategies that must be carried out to ensure the development on the site is at a reduced risk from bushfire attack.

Provided the elements detailed in this report are implemented, the development on the site is capable of compliance with AS 3959:2018 and any potential bushfire risk to the site is reduced.

The proposed lots have been assessed as compliant with bushfire attack levels (BAL) detailed in Table 2. The Council approval issued for the development should contain conditions requiring that the protective elements defined in this report and *C13.6 Development Standards for Subdivision* be implemented during the construction phase. Any new building required to comply with this assessment must be constructed to the bushfire attack level described in Table 2, within the prescribed building areas noted on the Bushfire Hazard Management Plan. Should the extent or classification of the bushfire prone vegetation surrounding the site alters from that assessed by this report, building on the lots affected by this variation may be constructed to a lower level subject to the preparation of a revised assessment.

| Lot No.             | Compliant BAL |
|---------------------|---------------|
| 10, 12, 13, 15 & 16 | BAL-12.5      |
| 8, 11, 14 & 26      | BAL-19        |

- *C13.6.1 Subdivision: Provision of hazard management areas.*
  - Each lot has been assessed as being able to contain a HMA equal to, or greater than, those required for BAL-19.
- *C13.6.2 Subdivision: Public and fire fighting access.*
  - Each lot is to be provided with an access compliant with *Table C13.2: Standards for property access.*
- *C13.6.3 Subdivision: Provision of water supply for fire fighting purposes.*
  - A fire hydrant was located within a 120-metre hoselay from the furthest point of the indicative building area in compliance with *Table C13.4: Reticulated water supply for firefighting.*

Any works required by this report are to be completed prior to the Council sealing the final Plan of Survey. See section 6 of this report for further details.



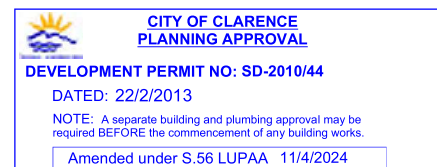
Although not mandatory, any increase in the construction standards above the assessed Bushfire Attack Level will afford improved protection from bushfire and this should be considered by the owner, designer and/or the builder prior to construction commencing. Hazard Management Areas must be established and maintained in a minimal fuel condition in accordance with this plan and the TFS guidelines. It is the owner's responsibility to ensure the long-term maintenance of the Hazard Management Areas in accordance with the requirements of this report.

This Report does not recommend or endorse the removal of any vegetation within or adjoining the site for the purposes of bushfire protection without the explicit approval of the local authority.

L Brightman  
Bushfire Hazard Practitioner BFP-164  
Scope 1, 2, 3a and 3b

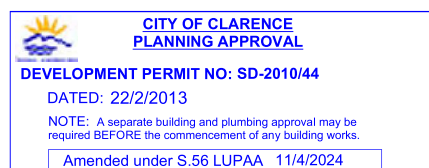


N M Creese  
Bushfire Hazard Practitioner BFP-118  
Scope 1, 2, 3a, 3b and 3c



**8. REFERENCES:**

- *AS 3959:2018 - Construction of Building in Bushfire-Prone Areas.*
- *Tasmanian Planning Scheme - Clarence.*
- *The LIST - Department of Primary Industry Parks Water & Environment.*



## 9. GLOSSARY

|                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|-------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| AS 3959:2018                                                            | Australian Standards AS 3959:2018 <i>Construction of buildings in bushfire-prone areas.</i>                                                                                                                                                                                                                                                                                                                                                                                                   |
| BAL (Bushfire Attack Level)                                             | A means of measuring the severity of a building's potential exposure to ember attack, radiant heat, and direct flame contact, using increments of radiant heat expressed in kilowatts per metre squared, and the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire. The following BAL levels, based on heat flux exposure threshold are used within AS3959:2018; BAL-LOW, BAL-12.5, BAL-19, BAL-29, BAL-40, BAL-FZ. |
| Bushfire                                                                | An unplanned fire burning vegetation.                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| Bushfire Hazard Management Plan                                         | A plan showing means of protection from bushfire in a form approved in writing by the Chief Officer.                                                                                                                                                                                                                                                                                                                                                                                          |
| Bushfire-Prone Area                                                     | An area that is subject to, or likely to be subject to, bushfire attack. Land that has been designated under legislation; or<br>Has been identified under environmental planning instrument, development control plan or while processing and determining a development application.                                                                                                                                                                                                          |
| Carriageway (also vehicular access)                                     | The section of the road formation, which is used by traffic, and includes all the area of the traffic lane pavement together with the formed shoulder.                                                                                                                                                                                                                                                                                                                                        |
| Class 1a, 1b, 2, 3, 4, 5, 6, 7, 8, 9a, 9b, 9c, 10a, 10b & 10c buildings | A system of classifying buildings of similar uses and functions to facilitate a referencing system within the National Construction Code.                                                                                                                                                                                                                                                                                                                                                     |
| Classified vegetation                                                   | Vegetation that has been classified in accordance with Clause 2.2.3 of AS3959:2018.                                                                                                                                                                                                                                                                                                                                                                                                           |
| Distance to                                                             | The distance between the building or building area to the classified vegetation.                                                                                                                                                                                                                                                                                                                                                                                                              |
| FDI (Fire Danger Index)                                                 | The chance of a fire starting, its rate of spread, its intensity, and the difficulty of its suppression, according to various combinations of air temperature, relative humidity, wind speed and both long- and short-term drought effects.                                                                                                                                                                                                                                                   |
| Firefighting water point                                                | The point where a fire appliance can connect to a water supply for firefighting purposes. This includes a coupling in the case of a fire hydrant, offtake or outlet, or the minimum water level in the case of a static water body (including a dam, lake, or pool).                                                                                                                                                                                                                          |
| Hazard Management Area                                                  | The area between a habitable building or building area and bushfire-prone vegetation, which provides access to a fire front for fire fighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire.                                                                                                                                                                               |
| Hose lay                                                                | The distance between two points established by a fire hose laid out on the ground, inclusive of obstructions.                                                                                                                                                                                                                                                                                                                                                                                 |
| Predominant vegetation                                                  | The vegetation that poses the greatest bushfire threat to the development site.                                                                                                                                                                                                                                                                                                                                                                                                               |
| Slope<br>Effective slope                                                | The slope of the ground under the classified vegetation.<br>The calculated slope under the classified vegetation considering variations in the topography.                                                                                                                                                                                                                                                                                                                                    |
| Water supply - Reticulated (Fire hydrant)                               | An assembly installed on a branch from a water pipeline, which provides a valved outlet to permit a supply of water to be taken from the pipeline for fire fighting.                                                                                                                                                                                                                                                                                                                          |
| Water supply - Static                                                   | Water stored on a tank, swimming pool, dam, or lake, that is always available for firefighting purposes.                                                                                                                                                                                                                                                                                                                                                                                      |