



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062728

PROPOSAL: Dwelling

LOCATION: 12 Ploughman Road, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 14/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 14/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 14/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Two Storey Residence

Location: 12 Ploughman Road, Howrah TAS 7018

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

NA

Current use of site: **VACANT - RESIDENTIAL ZONE**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☐

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 187824	FOLIO 15
EDITION 1	DATE OF ISSUE 15-Nov-2024

SEARCH DATE : 24-Apr-2026

SEARCH TIME : 09.02 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 15 on Sealed Plan [187824](#)

Derivation : Part of 730 Acres Gtd. to Francis Butler & Justin

McCarthy Browne

Prior CT [176944/2](#)SCHEDULE 1[B775024](#) TRANSFER to TRANMERE POINT PTY LTDSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP187824](#) EASEMENTS in Schedule of Easements[SP187824](#) FENCING PROVISION in Schedule of EasementsUNREGISTERED DEALINGS AND NOTATIONSN158048 PRIORITY NOTICE reserving priority for 90 days
TRANSFER TRANMERE POINT PTY LTD to JAGPREET SINGH and
MANDEEP KAURMORTGAGE JAGPREET SINGH and MANDEEP KAUR to
COMMONWEALTH BANK OF AUSTRALIA Lodged by TIERNEY LAW
- HUON on 05-Mar-2026 BP: N158048E456260 MORTGAGE to Commonwealth Bank of Australia Lodged
by DYE & DURHAM (HOB) on 15-Apr-2026 BP: N157993N157993 TRANSFER to JAGPREET SINGH and MANDEEP KAUR Lodged
by DYE & DURHAM (HOB) on 15-Apr-2026 BP: N157993

OWNER: TRANMERE POINT PTY LTD FOLIO REFERENCE: CT.176944-2 GRANTEE: PART OF 730 ACRES GRANTED TO FRANCIS BUTLER & JUSTIN MCCARTHY BROWNE	PLAN OF SURVEY BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966 CITY OF CLARENCE SCALE 1:1000 LENGTHS IN METRES	REGISTERED NUMBER SP187824 APPROVED EFFECTIVE FROM 15 NOV 2024 <i>Reena</i> Recorder of Titles
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN PRIORITY FINAL PLAN		
<i>Timothy Leigh Gowlland</i> Registered Land Surveyor 4-10-24 Date	<i>Reena</i> Council Delegate 29.10.2024 Date	

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 187824

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 15 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 16 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REF: 176944/2 SOLICITOR & REFERENCE: GCYG 2203595	PLAN SEALED BY: COUNCIL SEALING PLAN DATE: 29th October 2024 SD-2018/43 REF NO. CLARENCE CITY COUNCIL Council Delegate Clare Shea
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP 187824
SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2	

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 17 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 18 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 19 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Pipeline & Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 187824
SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2	

Lot 20 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan

Lot 21 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE on the Plan.

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

Lot 22 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan

FENCING PROVISION

In respect to each lot shown on the Plan the Vendor (Tranmere Point Pty Ltd ACN 055 471 675) shall not be required to fence.

DEFINITIONS

“Easement Land” means the land which is subject to an easement in favour of TasWater.

“Infrastructure” means-

Infrastructure owned or for which TasWater is responsible and includes but is not limited to-

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP 187824
SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2	

- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"Owner" means the registered proprietors of the lot in the folio of the Register from time to time.

"Pipeline and Services Easement" means-

FIRSTLY, THE FULL RIGHT AND LIBERTY for the TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and



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CA

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 187824
SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

"TasWater" means the Tasmanian Water and Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors & assigns.

"Electricity Infrastructure Easement" means –

FIRSTLY all the full and free right and liberty for Aurora Energy Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called "Aurora") at all times hereafter:

- (1) **TO** maintain, lay, and install underground cables, in connection with the distribution of electricity (hereinafter called "electricity infrastructure") of such materials and type as Aurora may determine under the land respectively marked "Electricity Infrastructure" on Plan 129646 (hereinafter called the "servient land").
- (2) **TO** enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby.
- (3) **TO** erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of Aurora these are necessary for reasons of safety.
- (4) **TO** cause or permit electrical energy to flow or be transmitted or distributed through the electricity infrastructure.



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 187824
SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2	

- (5) **TO** enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary and in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land.
- (6) **NOTHING** herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land **PROVIDED THAT** such use does not derogate from this grant or, in the reasonable opinion of Aurora compromise the safe operation of Aurora electricity infrastructure located on, above or under the servient land.

SECONDLY the benefit of a covenant for Aurora and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of Aurora to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

"Vendor" means Tranmere Point Pty Ltd ACN 055 471 675.



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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 187824
SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675 FOLIO REFERENCE: 176944/2	

Signed by **TRANMERE POINT PTY LTD ACN 005 471 675** by their Attorney **ANGELO PAVLIDES** under Power of Attorney PA38210 (and the said Angelo Pavlides declares that he has received no notice of revocation of the said Power of Attorney) as registered proprietor of the land comprised in Certificate of Title Volume 176944 Folio 2 in the presence of:



WITNESS: _____
 FULL NAME: **Gina Goh Chia Yii**
 ADDRESS: **10 Victoria Street**
Hobart Tas 7000
 OCCUPATION: **lawyer**

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SEARCH OF TORRENS TITLE

VOLUME 187824	FOLIO 15
EDITION 2	DATE OF ISSUE 08-July-2026

SEARCH DATE : 28-July-2026

SEARCH TIME : 12.56 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 15 on Sealed Plan [187824](#)

Derivation : Part of 730 Acres Gtd. to Francis Butler & Justin

McCarthy Browne

Prior CT [176944/2](#)SCHEDULE 1

[N157993](#) TRANSFER to JAGPREET SINGH and MANDEEP KAUR
Registered 08-July-2026 at noon

SCHEDULE 2

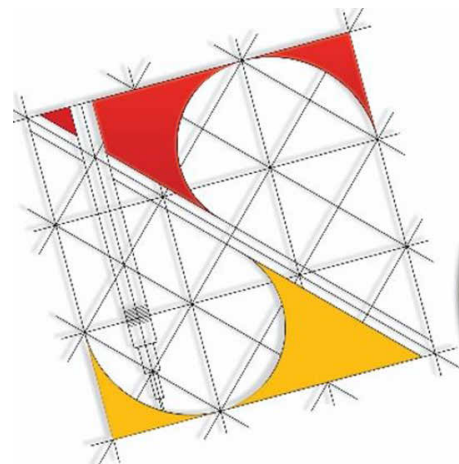
Reservations and conditions in the Crown Grant if any

SP[187824](#) EASEMENTS in Schedule of EasementsSP[187824](#) FENCING PROVISION in Schedule of Easements[E456260](#) MORTGAGE to Commonwealth Bank of Australia

Registered 08-July-2026 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Urban Space Designers

Building Design and Drafting

SINGLE DWELLING

AT

LOT 15 PLOUGHMAN ROAD, HOWRAH, TAS - 7018

SHEET	REVISION	SHEET NAME
A00	6	COVER SHEET
A01	6	KEY PLAN
A02	6	SURVEY PLAN
A03	6	SITE PLAN
A04	6	FLOOR PLANS
A05	6	ELEVATIONS
A06	6	ROOF PLAN
A07	6	ELECTRICAL LAYOUT
A16	6	LANDSCAPE PLAN
A18	6	3D VIEWS
A19	6	SHADOWS @ 21st June

 Urban Space Designers Building Design and Drafting	Phone: 0402438170	The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings. USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically. IF IN DOUBT ASK. The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.	Client:  Project: SINGLE DWELLING (2 STOREY)	<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>1</td><td>FFL revised from 86.250 to 86.100 to satisfy the Building Envelope req.</td><td>01/06/2026</td></tr><tr><td>2</td><td>Front setback increased. FFL revised to comply with Building Envelope clause.</td><td>04/06/2026</td></tr><tr><td>3</td><td>Driveway Section DD shown on A03</td><td>22/06/2026</td></tr><tr><td>4</td><td>FFL revised to 86.170</td><td>06/07/2026</td></tr><tr><td>5</td><td>Drawings revised wrt RFI dt. 05/08/2026</td><td>10/08/2026</td></tr><tr><td>6</td><td>Car park dimension shown in Garage. Garage door dimension shown.</td><td>18/08/2026</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Issue	Description	Date	1	FFL revised from 86.250 to 86.100 to satisfy the Building Envelope req.	01/06/2026	2	Front setback increased. FFL revised to comply with Building Envelope clause.	04/06/2026	3	Driveway Section DD shown on A03	22/06/2026	4	FFL revised to 86.170	06/07/2026	5	Drawings revised wrt RFI dt. 05/08/2026	10/08/2026	6	Car park dimension shown in Garage. Garage door dimension shown.	18/08/2026										<table><tr><th colspan="2">ARCHITECTURE DRAWINGS</th></tr><tr><td colspan="2">CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.</td></tr><tr><td colspan="2">ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.</td></tr></table>	ARCHITECTURE DRAWINGS		CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.		ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.		<table><tr><td colspan="2">Sheet:</td></tr><tr><td colspan="2">COVER SHEET</td></tr><tr><td colspan="2">Drawn: GK</td></tr><tr><td>Scale:</td><td>Date: 01/04/2026</td></tr><tr><td>Size: A3</td><td></td></tr></table>	Sheet:		COVER SHEET		Drawn: GK		Scale:	Date: 01/04/2026	Size: A3	
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Email: info@urbanspacedesigners.com.au	Website: www.urbanspacedesigners.com.au	Address: 12 PLOUGHMAN RD, HOWRAH, TAS - 7018 (LOT 15)	<table><tr><td>Project:</td><td>Sheet:</td><td>Rev:</td></tr><tr><td>12PRH/ARCH/TAS-A-2026</td><td>A00</td><td>6</td></tr></table>			Project:	Sheet:	Rev:	12PRH/ARCH/TAS-A-2026	A00	6																																									
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Accreditation: TAS - 381246362 VIC - DP-AD 72846																																																				

Lot 15, PLOUGHMAN RD,
HOWRAH, TAS - 7018

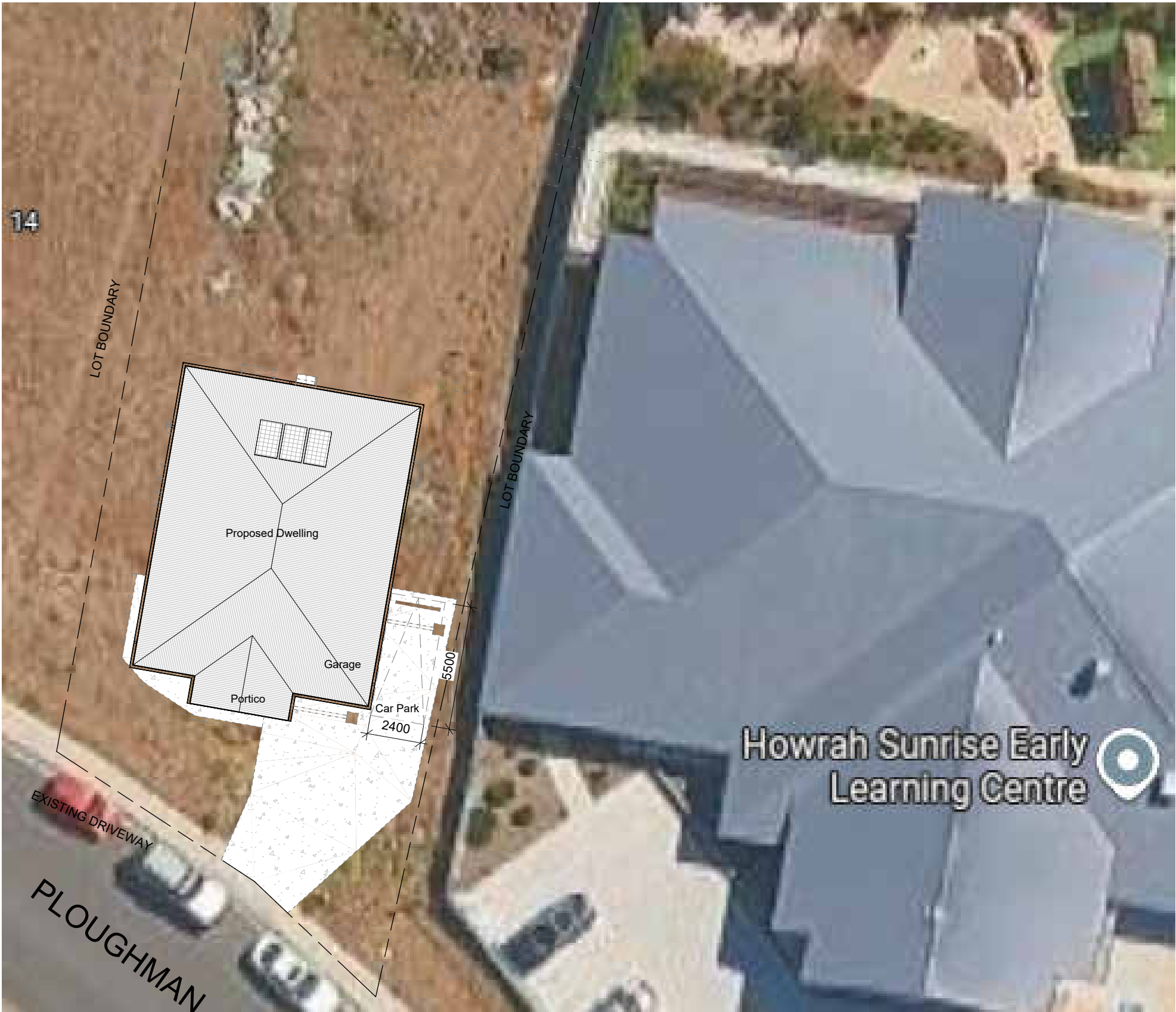
LOT AREA 768.00 sqm

NOTES:

Site plan at a scale of 1:200. The site plan showing all buildings, boundaries, easements, driveways, boundary setbacks.

KEY PROJECT STATISTICS & DATA

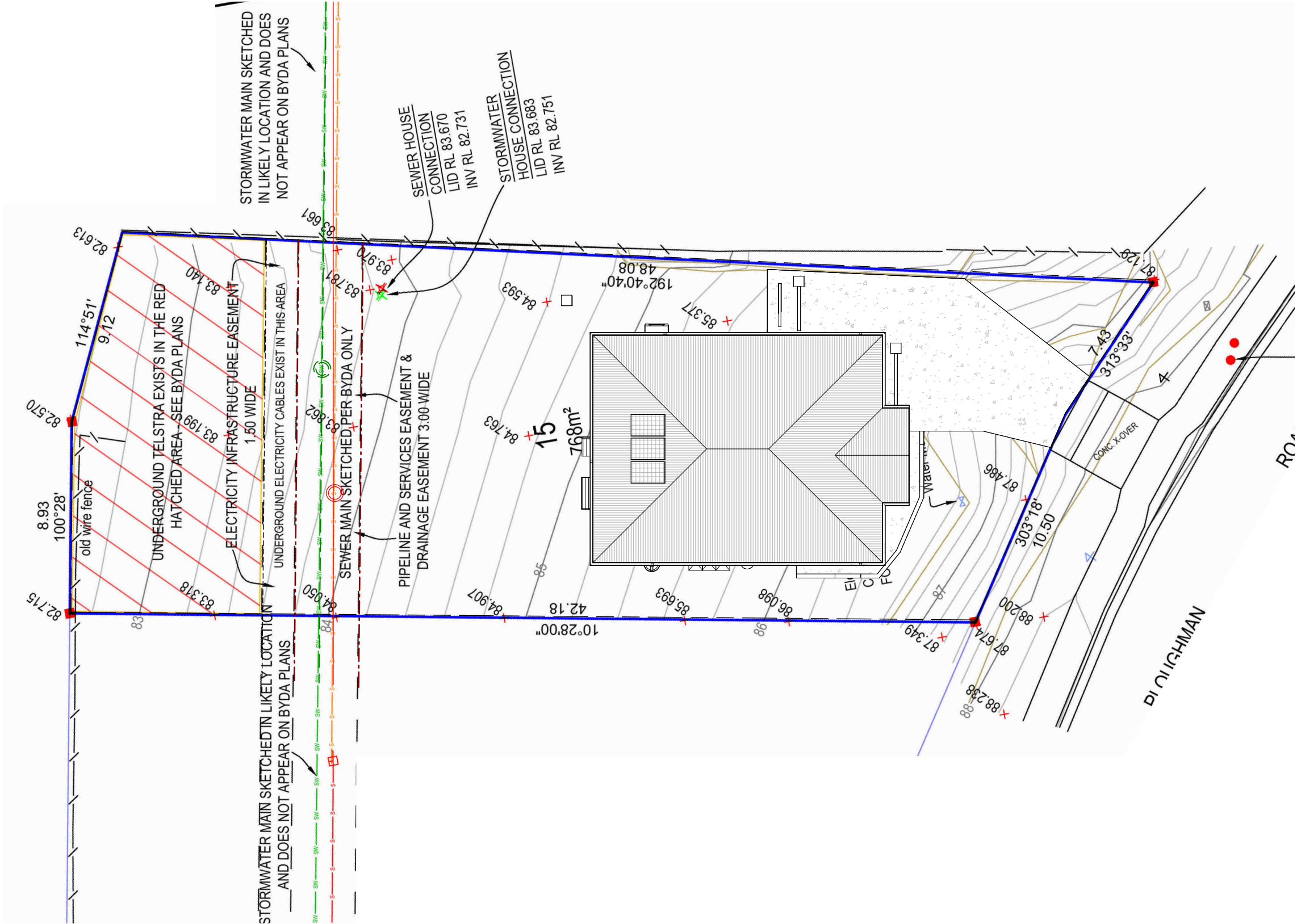
DEVELOPMENT SUMMARY			
Sno.	Description	AREA SQM.	%
1	SITE AREA	768	100%
2	GREEN AREA	539.60	70.26%
4	BLDG BUILT UP AREA		
a	GROUND FLOOR (INC. GARAGE)	114.40	
b	FIRST FLOOR	117.00	
c	PORCH	6.50	
d	DECK GROUND FLOOR	9.50	
e	DECK FIRST FLOOR	9.50	
	TOTAL AREA	256.90	33.45%
5	CONCRETE AREA (DRIVEWAY + PARKING)	98.00	12.76%
6	IMPERVIOUS SURFACE		
	BUILDING GRD COVER	130.40	
	CONCRETE/DRIVEWAY	98.00	
	TOTAL IMPERVIOUS SURFACE	228.40	29.74%
7	PERVIOUS SURFACE		
	GREEN AREA	539.60	70.26%
	TOTAL PERVIOUS SURFACE	539.60	70.26%



KEY PLAN

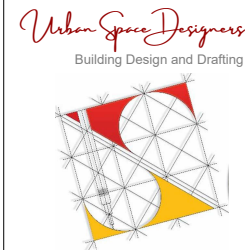
1 : 200

	Phone: 0402438170	The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings. USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically. IF IN DOUBT ASK. The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared by USD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.	Client:  Project: SINGLE DWELLING (2 STOREY) Address: 12 PLOUGHMAN RD, HOWRAH, TAS - 7018 (LOT 15)	<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>1</td><td>FFL revised from 86.250 to 86.100 to satisfy the Building Envelope req.</td><td>01/06/2026</td></tr><tr><td>2</td><td>Front setback increased. FFL revised to comply with Building Envelope clause.</td><td>04/06/2026</td></tr><tr><td>3</td><td>Driveway Section DD shown on A03</td><td>22/06/2026</td></tr><tr><td>4</td><td>FFL revised to 86.170</td><td>06/07/2026</td></tr><tr><td>5</td><td>Drawings revised wrt RFI dt. 05/08/2026</td><td>10/08/2026</td></tr><tr><td>6</td><td>Car park dimension shown in Garage. Garage door dimension shown.</td><td>18/08/2026</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Issue	Description	Date	1	FFL revised from 86.250 to 86.100 to satisfy the Building Envelope req.	01/06/2026	2	Front setback increased. FFL revised to comply with Building Envelope clause.	04/06/2026	3	Driveway Section DD shown on A03	22/06/2026	4	FFL revised to 86.170	06/07/2026	5	Drawings revised wrt RFI dt. 05/08/2026	10/08/2026	6	Car park dimension shown in Garage. Garage door dimension shown.	18/08/2026													<table><tr><th colspan="2">ARCHITECTURE DRAWINGS</th></tr><tr><td colspan="2">CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.</td></tr><tr><td colspan="2">ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.</td></tr></table>	ARCHITECTURE DRAWINGS		CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.		ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.			Sheet: KEY PLAN		
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SURVEY PLAN

1 : 200



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Project:
SINGLE DWELLING (2 STOREY)

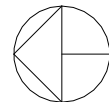
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Sheet: SURVEY PLAN			
Drawn: GK			
Scale: 1 : 200	Size: A3	Date: 01/04/2026	
Project: 12PRH/ARCH/TAS-A-2026	Sheet: A02	Rev: 6	

NOTES:
SOIL CLASSIFICATION
SOIL CLASSIFICATION TO BE CONFIRMED ON SITE.
SCRAPE SITE TO REMOVE SURFACE VEGETATION
AND PROVIDE LEVEL BUILDING PLATFORM.
SITE CLEARING
IT IS THE RESPONSIBILITY OF THE CLIENT TO UNDERTAKE REMOVAL OF ANY
SITE SPOIL/STOCK PILES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING.
VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION..
CONDENSATION MANAGEMENT PART 10.8 IS ACHIEVED.
THIS IS ONLY REQUIRED, IF ALL EXHAUST FANS (WC/KITCHEN
ETC.) DISCHARGE TO WITHIN ROOF SPACE. IF IT COMPLIES WITH
PART 10.8.2 (2) THEN NO NEED FOR 'WHIRLY BIRDS'.

NOTES:

STORMWATER

- ROOFING AS PER SPEC. FIX ROOFING IN
ACCORDANCE WITH MANU. SPEC. AND INSULATION
AS PER SPEC.

- PROVIDE ALL COLORBOND FLASHINGS AS
REQUIRED TO PROVIDE A WATERTIGHT
INSTALLATION.

- CONNECT ALL DOWNPIPES TO LEGAL POINT OF
DISCHARGE

- EAVES GUTTERS AS PER SPEC. MIN 1:200 FALL
TOWARDS DOWNPIPES

- ALL DOWNPIPES AS PER SPEC

- ALL MECHANICAL AND OTHER SERVICE
PENETRATIONS THROUGH ROOF SHALL BE FULLY
FLASHED AND MADE WATERTIGHT

Surface Water Drainage

Ground to fall away from building in all Directions in compliance with AS2870
& N.C.C 2022 3.3.3 .

Surface water must be diverted away from a Class 1 building as follows:
(a) Slab-on -ground - Finished ground level adjacent to a building: the external
finished surface surrounding the slab must be drained to move surface water
away from the building and graded to give a slope of not less than

(i) 25 mm over the first 1m from the building
(A) in low rainfall intensity areas for surfaces that are reasonably impermeable
(such as concrete or clay paving); or
(B) for any reasonably impermeable surface that forms part of an access path
or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB
Standard for Livable Housing Design; or

(ii) 50 mm over the first 1m from the building in any other case.
(b) Slab-on -ground - finished slab heights: the height of the slab-on -ground
above external finished surfaces must not be less than:
(i) 100 mm above the finished ground level in low rainfall intensity areas or
sandy, well drained areas; or
(ii) 50 mm above impermeable (paved or concrete) areas that slope away from
the building in accordance with(a); or

(iii) 150 mm in any other case.
(c) The ground beneath suspended floors must be graded so that the area
beneath the building is above the adjacent external finished ground level and
surface water is prevented from ponding under the building.

PLIABLE BUILDING MEMBRANE – PART 10.8.1: WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN
AN EXTERNAL WALL, COMPLY WITH AS/NZS 4200.1; AND BE INSTALLED IN ACCORDANCE WITH AS 4200.2;
AND BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6, 7 AND 8; AND BE LOCATED ON THE
EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL
ENVELOPE OF A BUILDING

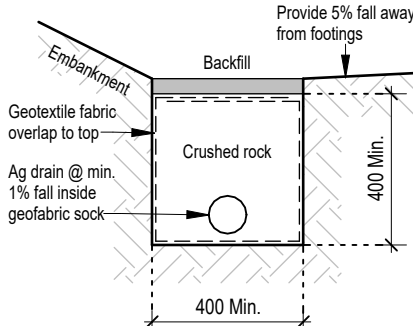
FLASHINGS TO WALL OPENINGS ARE ACCORDANCE WITH PART 7.5.6
ALL MASONRY VENEER WALLS TO COMPLY WITH PART 5.2
DESIGN OF ANTI-PONDING DEVICE/BOARD IN ACCORDANCE WITH 7.3.5
FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS – PART 10.8.2: AN EXHAUST SYSTEM INSTALLED IN
A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE
OF—
O 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
O 40 L/S FOR A KITCHEN OR LAUNDRY.

Subsoil Drainage

To comply with AS2870, AS3500 & N.C.C 2022
3.3.4 .

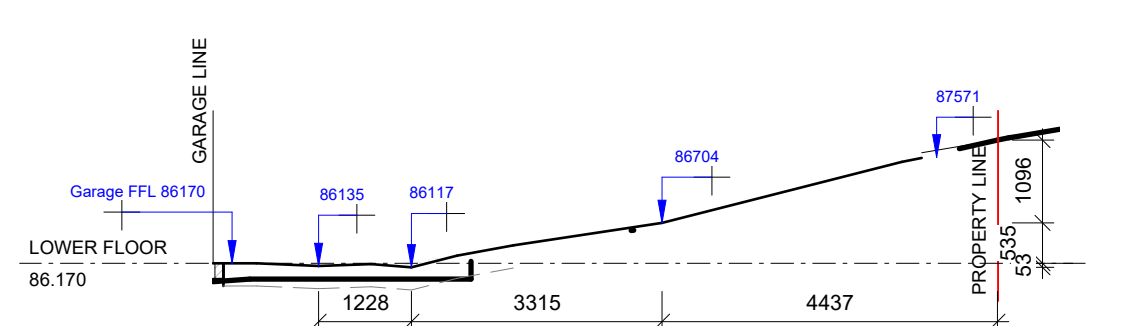
Where a subsoil drainage system is installed to
divert subsurface water away from the area
beneath a building, the subsoil drain must-

(a) be graded with a uniform fall of not less than
1:300 ; and
(b) discharge into an external silt pit or sump with-
(i) the level of discharge from the silt pit or sump
into an impervious drainage line not less than 50
mm below the invert level of the inlet; and
provision for cleaning and maintenance.



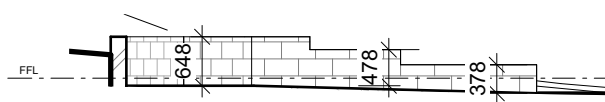
Ag Drain Detail TYP.

1 : 20



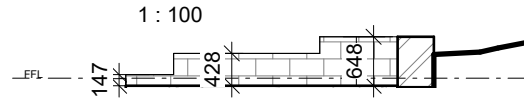
DRIVEWAY DETAIL - DD

1 : 100



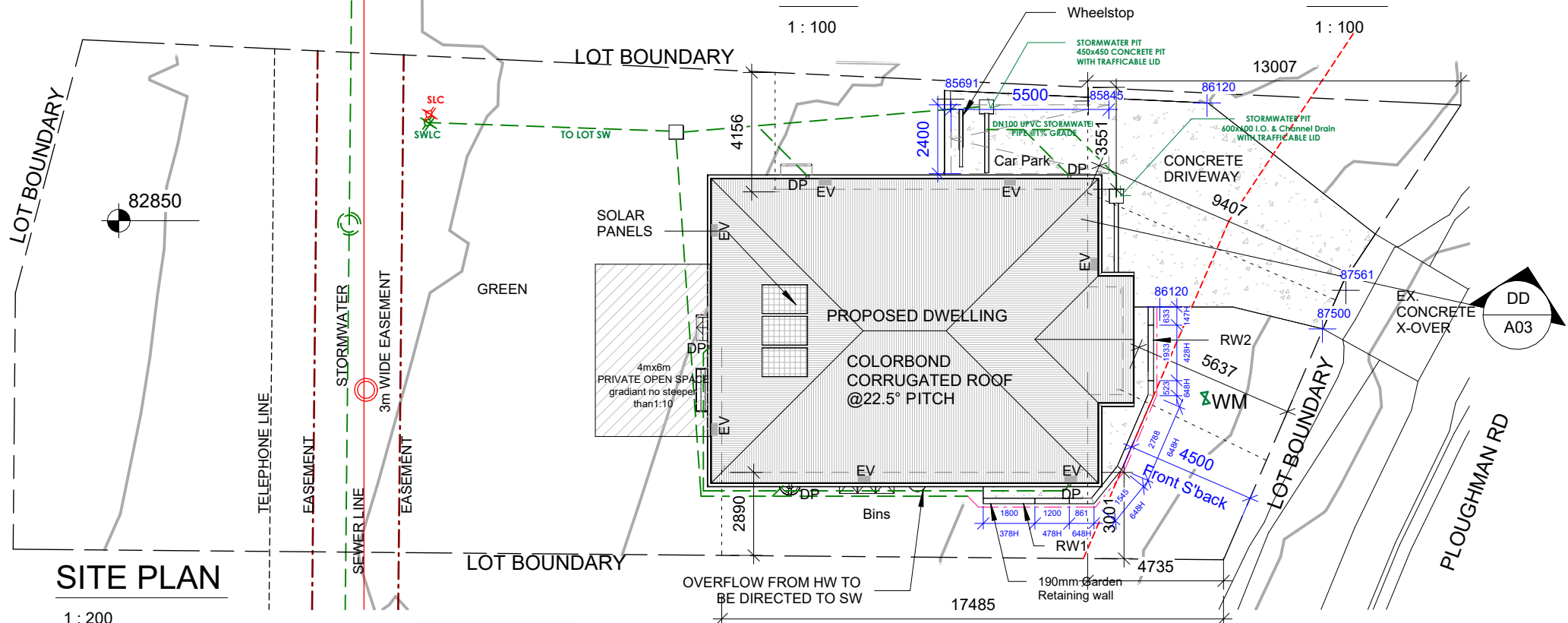
RW1

1 : 100



RW2

1 : 100



SITE PLAN

1 : 200



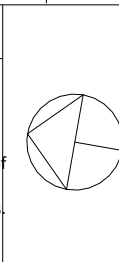
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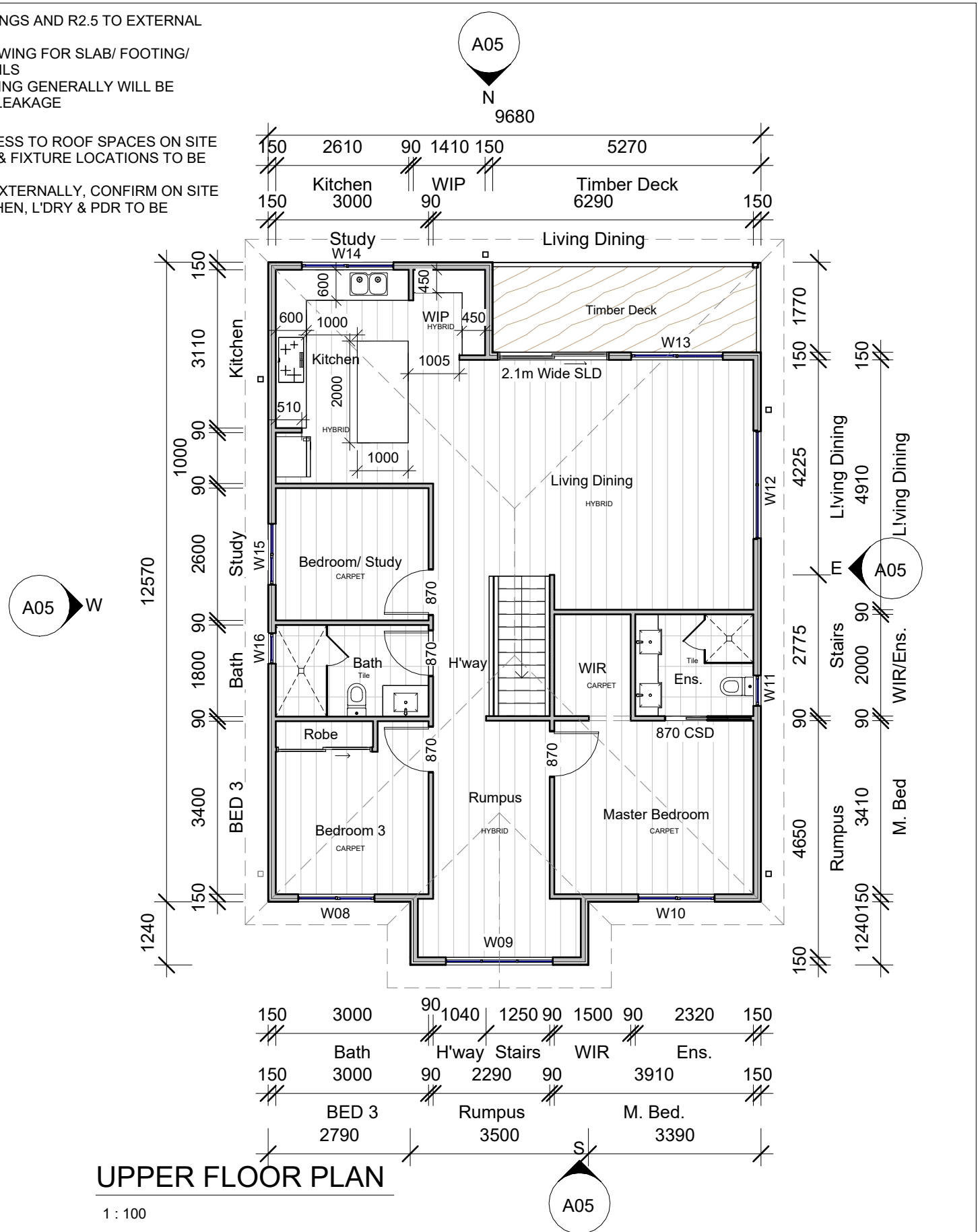
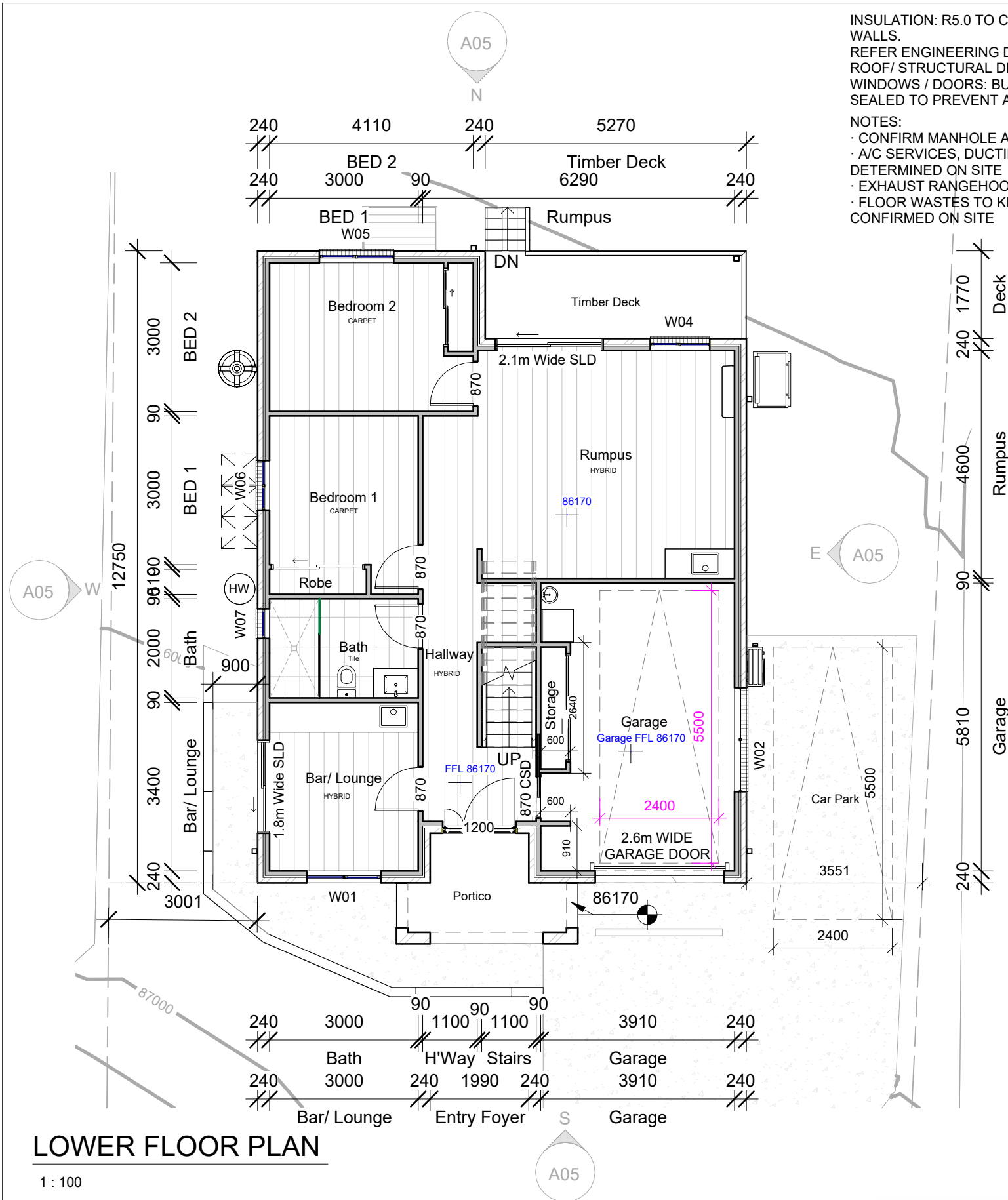
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TASSIE DREAMS
Project:
SINGLE DWELLING (2 STOREY)
Address:
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(LOT 15)

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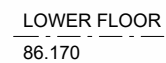


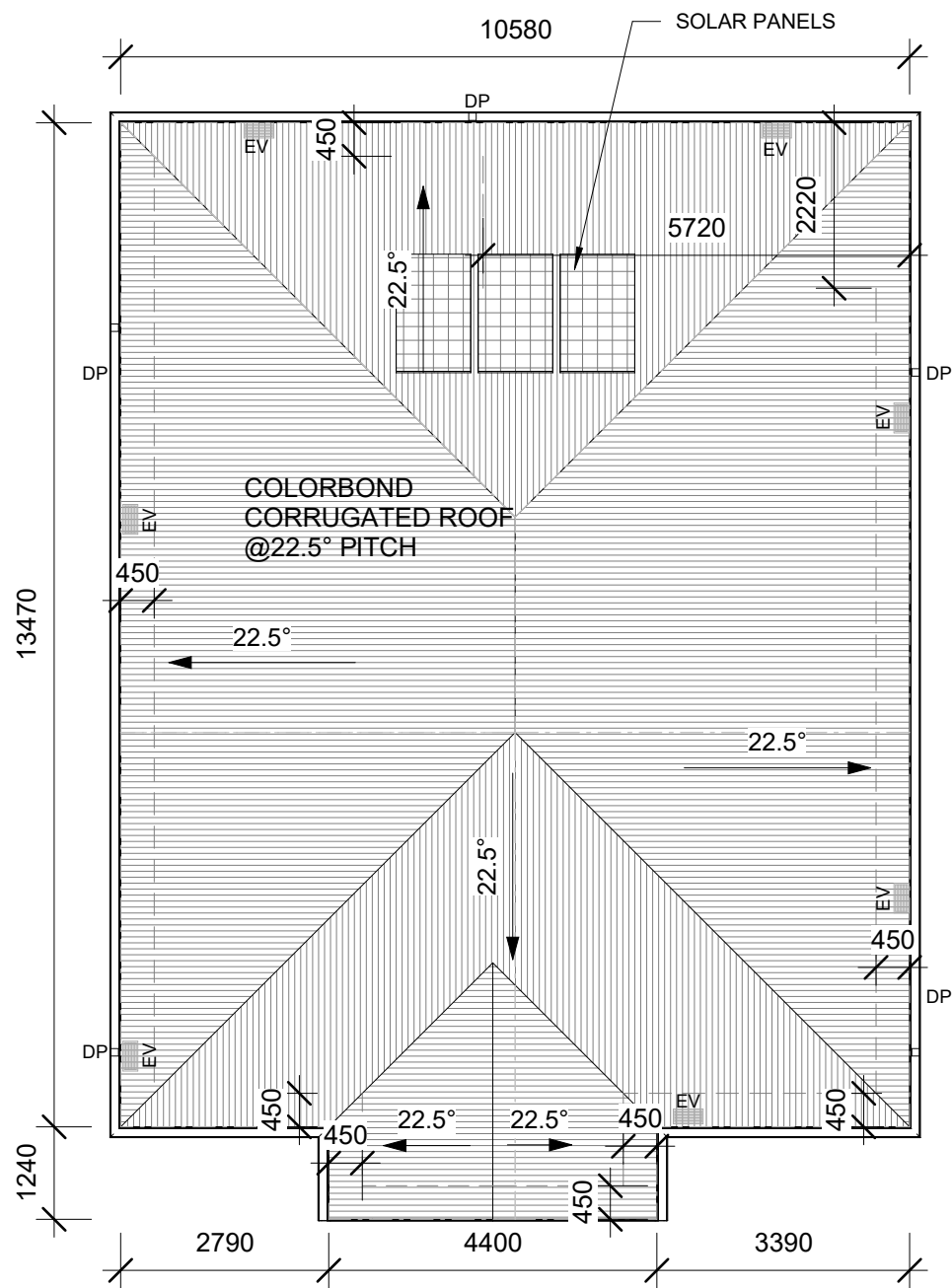
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Number	Width	Height	Sill Height	Head Height
W01	1500	1200	900	2100
W02	2100	600	1500	2100
W04	1200	1200	900	2100
W05	1500	1200	900	2100
W06	1000	1200	900	2100
W07	600	900	1200	2100
W08	1500	1800	300	2100
W09	2100	1800	300	2100
W10	1500	1800	300	2100
W11	600	900	1200	2100
W12	2100	1200	900	2100

Number	Width	Height	Sill Height	Head Height
W13	1800	1200	900	2100
W14	1800	900	1200	2100
W15	1200	900	1200	2100
W16	600	900	1200	2100





ROOF PLAN

1 : 100

Gutter and Down Pipes - NCC 2022 Part 7.4

- Colorbond metal fascias and gutters.
- Eaves gutters installed with a fall of 1:500 (normally).
- Box gutters fall of 1:100.
- Spacing between downpipes maximum 12m.
- Downpipes to be located 1.2m from a valley or provisions made for overflow.
- Gutters and downpipes to be selected in accordance with NCC Vol 2 Part 7.4.3 and table 7.4.3b and 7.4.3c.
- Zincalume color (B.M.T) 0.500 protected steel sheet to Australian Standard AS139\ Fascia clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

Ventilation of Roof Spaces NCC 2022 Part 10.8.3

A roof must have a roof space that-

(a) is located-

(i) immediately above the primary insulation layer;or

(ii) immediately above sarking with a vapour permeance of not less than 1.14 µĒg/N.s, which is immediately above the primary insulation layer; or

(iii) immediately above ceiling insulation; and

(b) has a height of not less than 20 mm; and

(c) is either-

(i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or

(ii) located immediately underneath the roof tiles or an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

F8D3 External wall construction

2 (b) for climate zone 6,7,& 8, 1.14 µg/N.s

Class 4 vapour control membranes meet the vapour permeance requirements of F8D3(2)(b).

Urban Space Designers Building Design and Drafting 	Phone: 0402438170 Email: info@urbanspacedesigners.com.au Website: www.urbanspacedesigners.com.au Accreditation: TAS - 381246362 VIC - DP-AD 72846	The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies toUrban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. Do not scale from drawings. USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically. IF IN DOUBT ASK. The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunctions with drawings prepared byUSD. Refer any discrepancies with the architect before proceeding with any building works. The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform USD if there are any gaps in dimensions.	Client:  TASSIE DREAMS Your Dream Building Team Project: SINGLE DWELLING (2 STOREY) Address: 12 PLOUGHMAN RD, HOWRAH, TAS - 7018 (LOT 15)	<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>1</td><td>FFL revised from 86.250 to 86.100 to satisfy the Building Envelope req.</td><td>01/06/2026</td></tr><tr><td>2</td><td>Front setback increased. FFL revised to comply with Building Envelope clause.</td><td>04/06/2026</td></tr><tr><td>3</td><td>Driveway Section DD shown on A03</td><td>22/06/2026</td></tr><tr><td>4</td><td>FFL revised to 86.170</td><td>06/07/2026</td></tr><tr><td>5</td><td>Drawings revised wrt RFI dt. 05/08/2026</td><td>10/08/2026</td></tr><tr><td>6</td><td>Car park dimension shown in Garage. Garage door dimension shown.</td><td>18/08/2026</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	Issue	Description	Date	1	FFL revised from 86.250 to 86.100 to satisfy the Building Envelope req.	01/06/2026	2	Front setback increased. FFL revised to comply with Building Envelope clause.	04/06/2026	3	Driveway Section DD shown on A03	22/06/2026	4	FFL revised to 86.170	06/07/2026	5	Drawings revised wrt RFI dt. 05/08/2026	10/08/2026	6	Car park dimension shown in Garage. Garage door dimension shown.	18/08/2026										ARCHITECTURE DRAWINGS CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.		Sheet:		
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Scale:	1 : 100	Size:	A3	Date:	01/04/2026																																		
Project:	12PRH/ARCH/TAS-A-2026	Sheet:	A06	Rev:	6																																		

Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 1 0 .8 .2 and have;

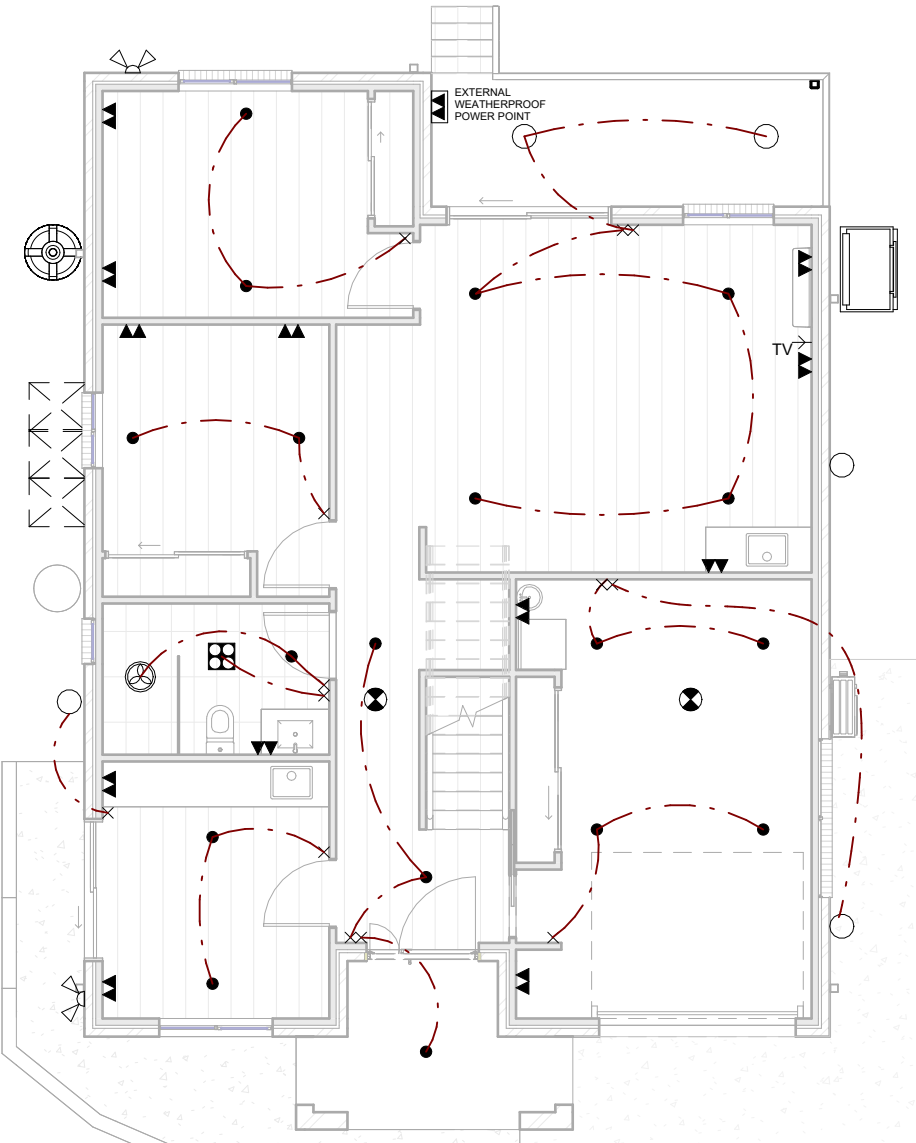
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
- (a)25 L/s for a bathroom or sanitary compartment; and
- (b)40 L/s for a kitchen or laundry.

-Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.

-Where a venventing clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.

-An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated inaccordance with 1 0 .6 .2 (a) must-

- (a)be interlocked with the room's light switch; and
- (b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.



LOWER FLOOR ELECTRICAL LAYOUT

1 : 100

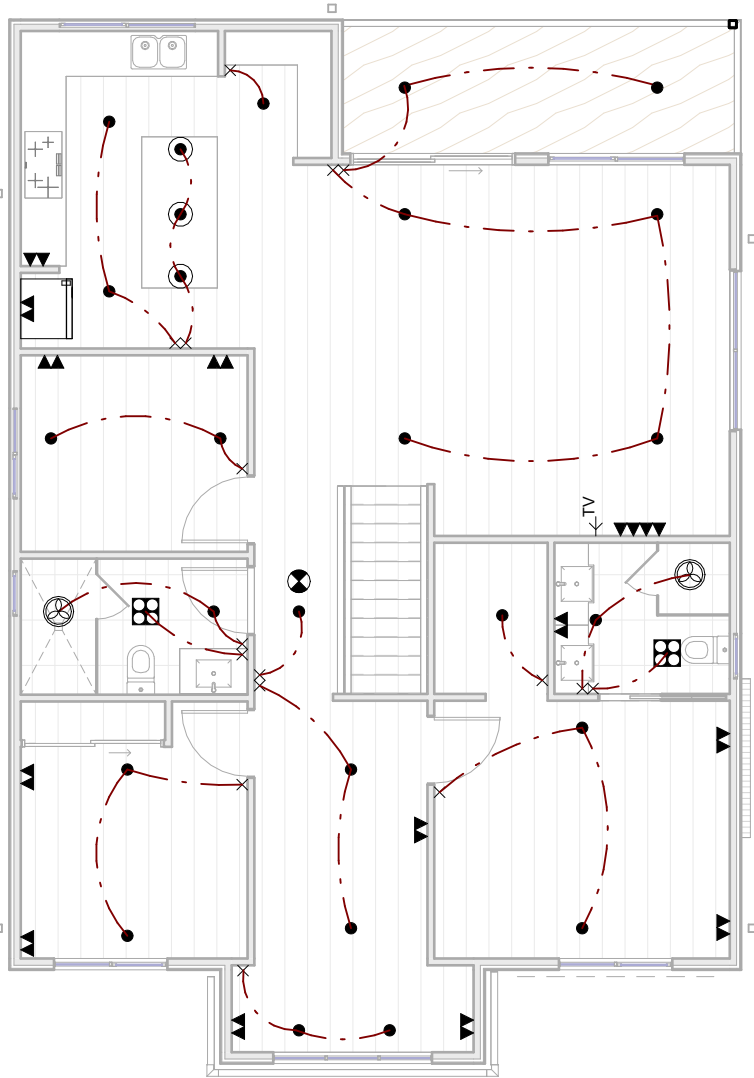
Smoke Alarms Part 9 .5 of NCC 2022

Smoke alarms must-

- (a)be located in-
- (i)a Class 1a building in accordance with 9 .5 .2 and 9 .5 .4 ; and
- (ii)a Class 1b building in accordance with 9 .5 .3 and 9 .5 .4 ; and
- (b)comply with AS 3 7 8 6 , except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- (c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

- (a)any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b) each other storey not containing bedrooms.



UPPER FLOOR ELECTRICAL LAYOUT

1 : 100

ELECTRICAL LEGEND

○	BATTEN LIGHT FITTING	(30W)
●	LED DOWNLIGHT	(10W)
⦿	PENDANT LIGHT FITTING	(30W)
⊞	POWER POINT DOUBLE	
⌚	POWER POINT DOUBLE	
⌚	POWER POINT SINGLE	
⌚	POWER POINT DOUBLE WEATHERPROOF	
⌚	TV CONNECTION POINT	
×	LIGHT SWITCH - SINGLE	
×	LIGHT SWITCH - 2 GANG	
×	LIGHT SWITCH - 3 GANG	
×	LIGHT SWITCH - 4 GANG	
⌚	NBN CONNECTION POINT	
⌚	SECURITY SENSOR LIGHT	
⊗	SMOKE ALARM	
⊗	MECHANICAL EXHAUST FAN	

WATTAGES SHOWN ARE AN ALLOWANCE

NOTES:

- ALL GPO's ARE TO BE 300mm OFF FFL U.N.O.
- ALL RANGEHOOD / EXHAUST FANS TO BE DUCTED TO OUTSIDE
- EXTERNAL NBN UNDER METERBOX [WHERE APPLICABLE]
- WHERE EXHAUST FANS ARE PROVIDED WITH NO OTHER FORM OF VENTILATION, FAN MUST BE ACTIVATED SIMULTANEOUSLY WITH LIGHT.
- SMOKE ALARM TO BE CONNECTED TO THE MAINS POWER SUPPLY AND POSSESS A BATTERY BACK-UP AND BE INTERCONNECTED TO PROVIDE A COMMON ALARM THROUGHOUT THE BUILDING, AND BE TO AS 3786-2014, AND INSTALLED TO NCC CLAUSE 3.7.5.5.

Lighting
Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:
5W /m 2 in class 1a dwellings
4W /m 2 to veranda, balcony or the like
3W /m 2 in a class 10 a dwelling associated with the class 1a dwelling
Unless Noted Otherwise - All downlights are to be Insulation Contact (IC) rated.



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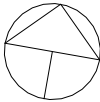
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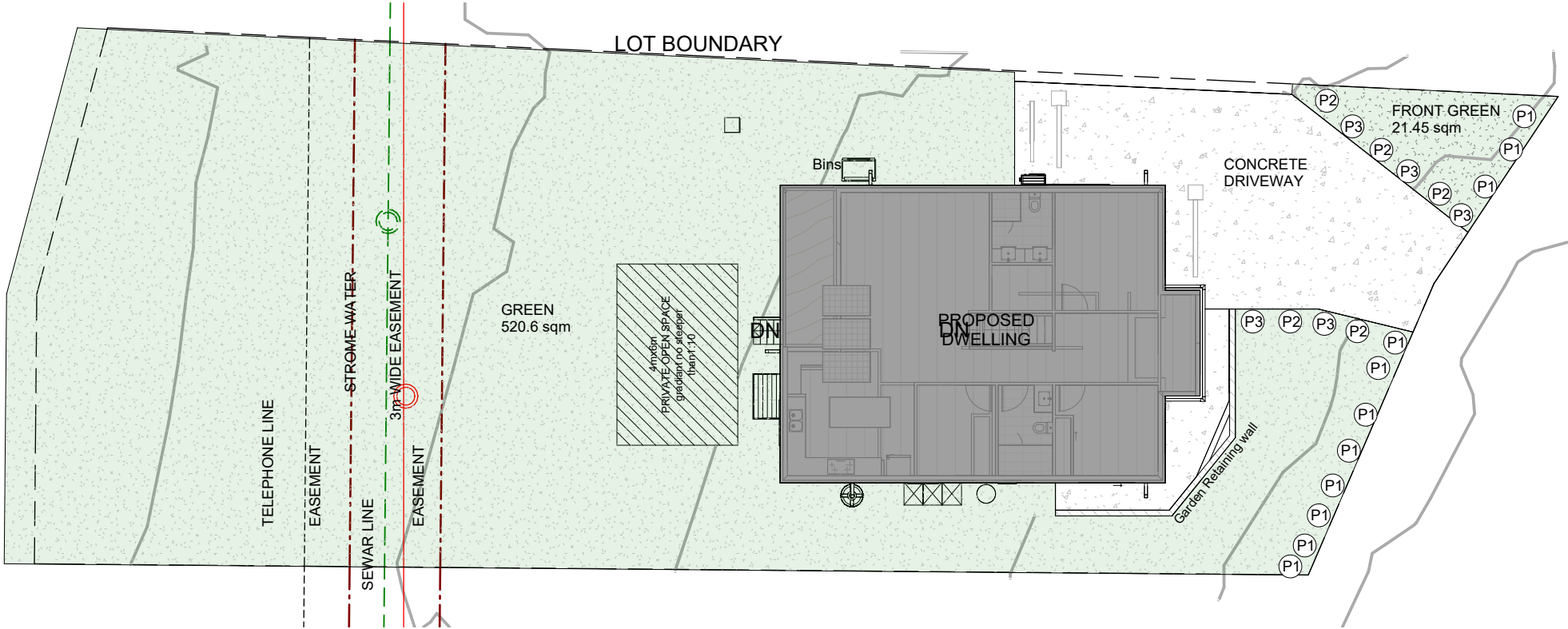
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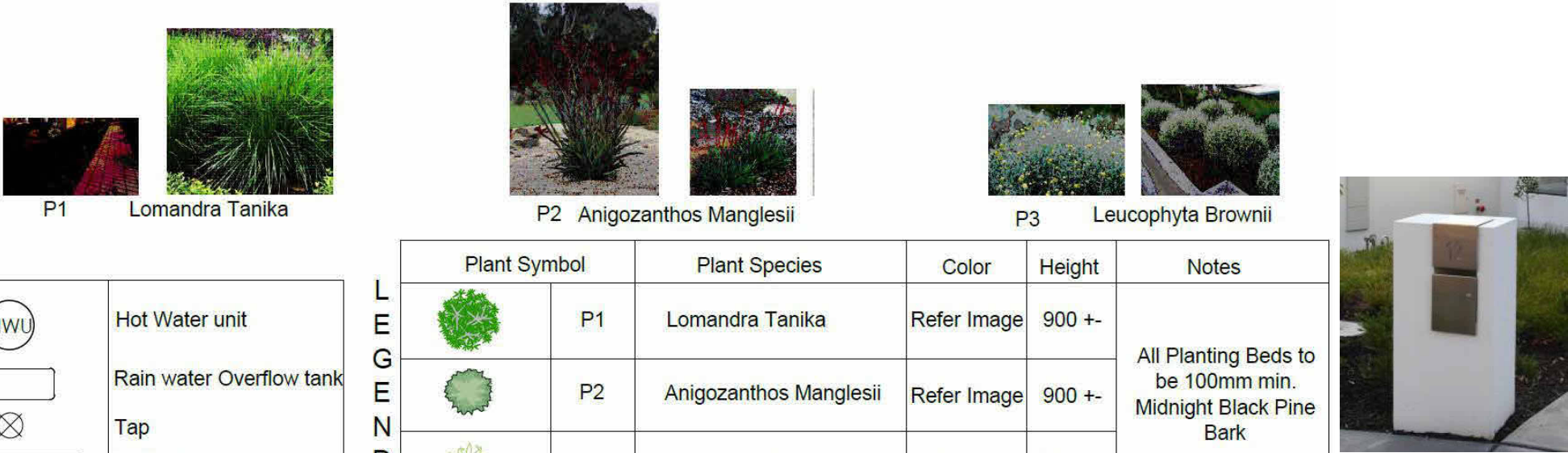


Sheet: ELECTRICAL LAYOUT			
Drawn: GK			
Scale: 1 : 100	Size: A3	Date: 01/04/2026	
Project: 12PRH/ARCH/TAS-A-2026		Sheet: A07	Rev: 6



LANDSCAPE PLAN

1 : 200



	Hot Water unit
	Rain water Overflow tank
	Tap
	Clothline

Plant Symbol		Plant Species	Color	Height	Notes
	P1	Lomandra Tanika	Refer Image	900 +/-	All Planting Beds to be 100mm min. Midnight Black Pine Bark
	P2	Anigozanthos Manglesii	Refer Image	900 +/-	
	P3	Leucophyta Brownii	Refer Image	900 +/-	

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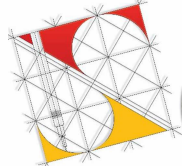
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LANDSCAPE PLAN
Drawn: GK
Scale: 1 : 200
Size: A3
Date: 01/04/2026
Project: 12PRH/ARCH/TAS-A-2026
Sheet: A16
Rev: 6

3D VIEWS FOR ILLUSTRATION PURPOSE ONLY



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TASSIE DREAMS

Your Dream Building Team

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3D VIEWS

Drawn:

GK

Scale:

Size:

A3

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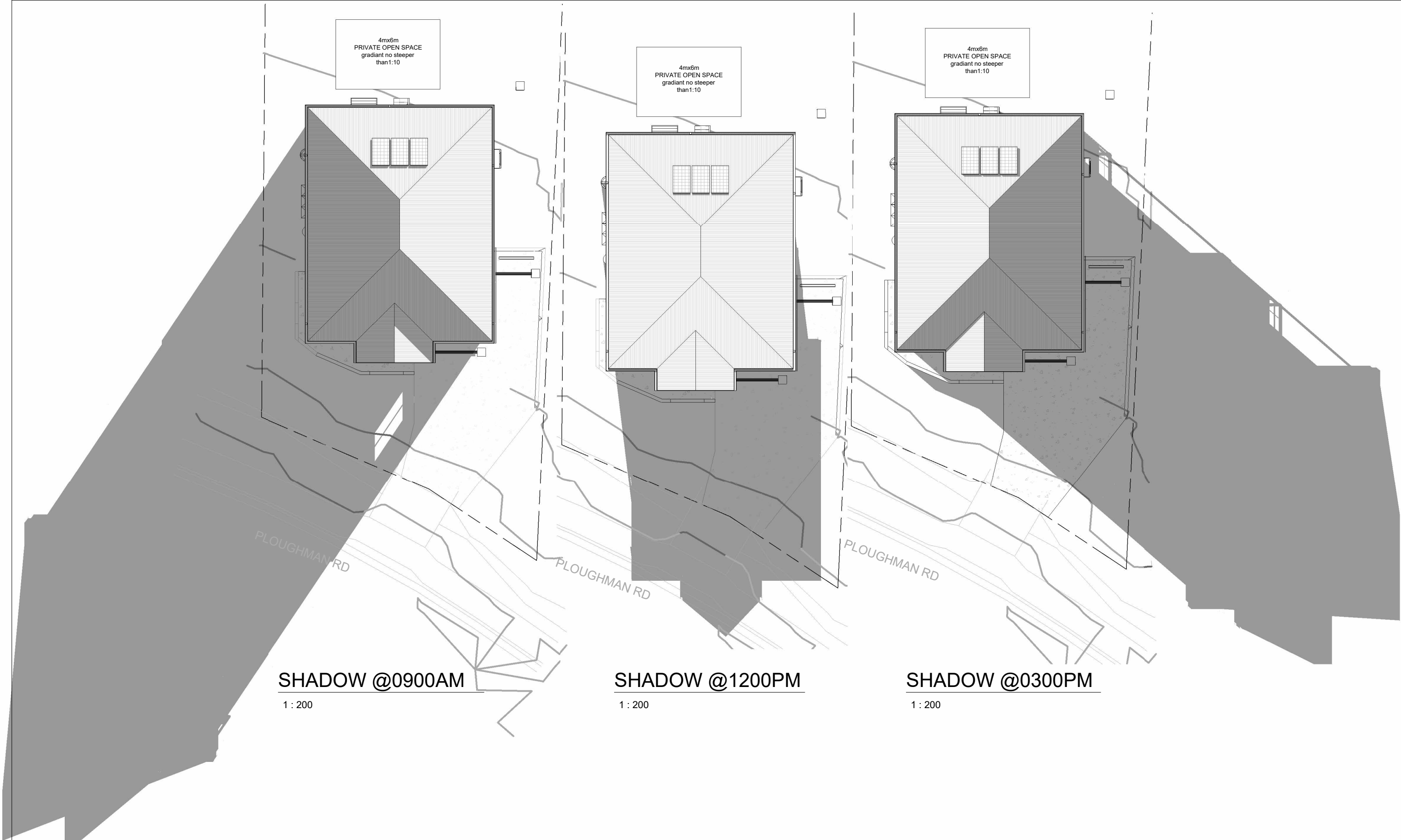
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A18

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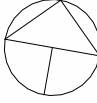
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Sheet:

SHADOWS @ 21st June

Drawn: GK

Scale: 1 : 200	Size: A3	Date: 01/04/2026
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Project: 12PRH/ARCH/TAS-A-2026	Sheet: A19	Rev: 6
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