



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062821

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 70 Bastick Street, Rosny

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 19/08/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 19/08/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 19/08/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **ALTERATIONS & ADDITIONS**

Location: **70 BASTICK STREET, ROSNY**

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 60712	FOLIO 43
EDITION 7	DATE OF ISSUE 09-Aug-2025

SEARCH DATE : 14-July-2026

SEARCH TIME : 09.33 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 43 on Plan [60712](#) (formerly being P1175)

Derivation : Part of 120 Acres Gtd. to A. Montagu

Prior CT [2174/98](#)SCHEDULE 1

[N271738](#) TRANSFER to EDWARD JOHN HOMBURG and JULIE BOLAND
Registered 09-Aug-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
BURDENING EASEMENT: such rights of drainage if any (including
right of entry inspection and repair) over the said
land within described appurtenant to the lots on
Plans Nos. 685, 726, 913, 1066, 12/35, 147/12, 190/23
and 191/16 as are more particularly set forth in the
respective transfers and the Certificates of Title to
the same

[A74423](#) BOUNDARY FENCES AND OTHER CONDITIONS in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

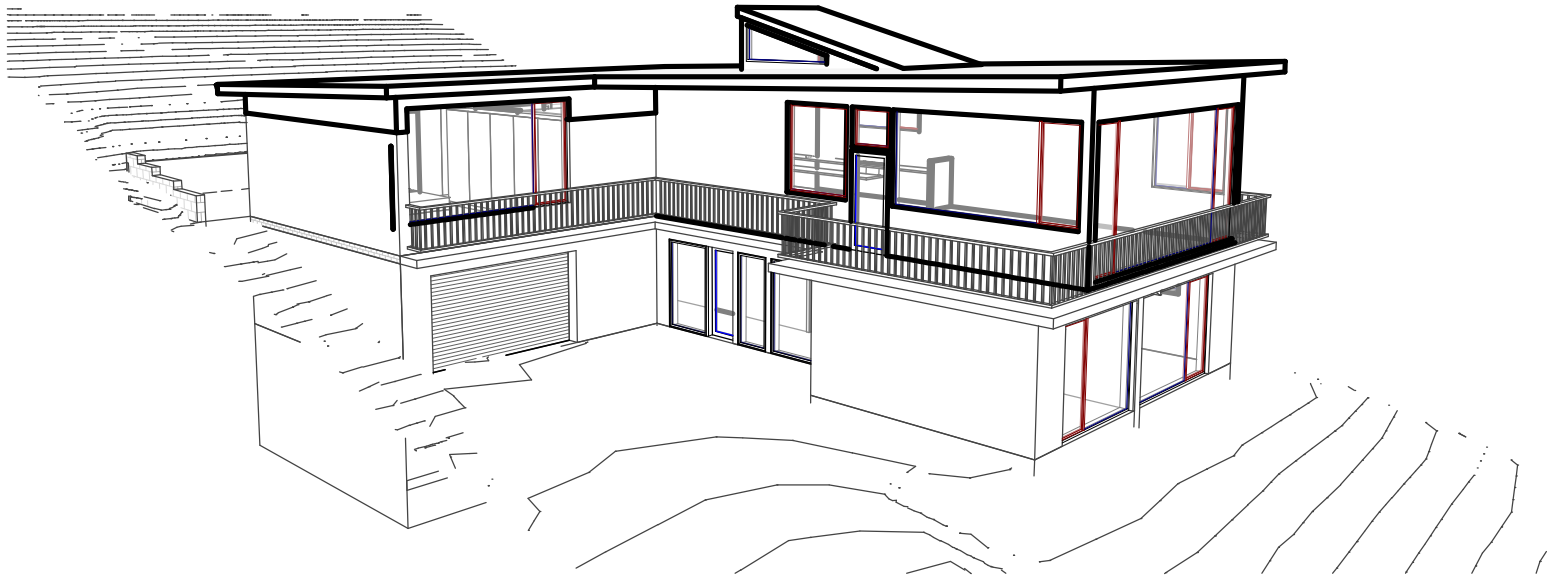
No unregistered dealings or other notations



ALTERAIONS & ADDITONS at 70 BASTICK STREET, ROSNY 7018 for J. BOLAND & E. HOMBURG			
ISSUE: PLANNING SET			
DWG. No.	DRAWING NAME	DATE	REVISION
A01	COVER PAGE	27.07.26	C
A02	SITE PLAN	27.07.26	C
A03	LOWER LEVEL EX. & DEMO. PLAN	27.07.26	C
A04	UPPER EX. & DEMO. PLAN	27.07.26	C
A05	PROPOSED LOWER FLOOR PLAN	27.07.26	C
A06	PROPOSED UPPER FLOOR PLAN	27.07.26	C
A07	EXISTING & PROPOSED ELES 01 OF 04	27.07.26	C
A08	EXISTING & PROPOSED ELES 02 OF 04	27.07.26	C
A09	EXISTING & PROPOSED ELES 03 OF 04	27.07.26	C
A10	EXISTING & PROPOSED ELES 04 OF 04	27.07.26	C
A11	SUN SHADOW DIAGRAMS	27.07.26	C

GENERAL INFORMATION		
Accredited Building Designer: Accreditation Number:	Monty East CC 191 O	
Land title reference number:	C.T. 13434/38	
Site area:	1004 + - m²	
Site assessment by:	T.B.C	
Wind classification:	N3	Site Classification to AS 4055-2012
Soil classssification:	A	Site Classification to AS 2870-2011
Climate zone:	7	
Bushfire-prone area BAL rating:	N/A	
Alpine area (900m above AHD):	N/A	
Corrosion environment:	LOW	
Other known site hazards:	N/A	

IMPORTANT
1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTORIS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:

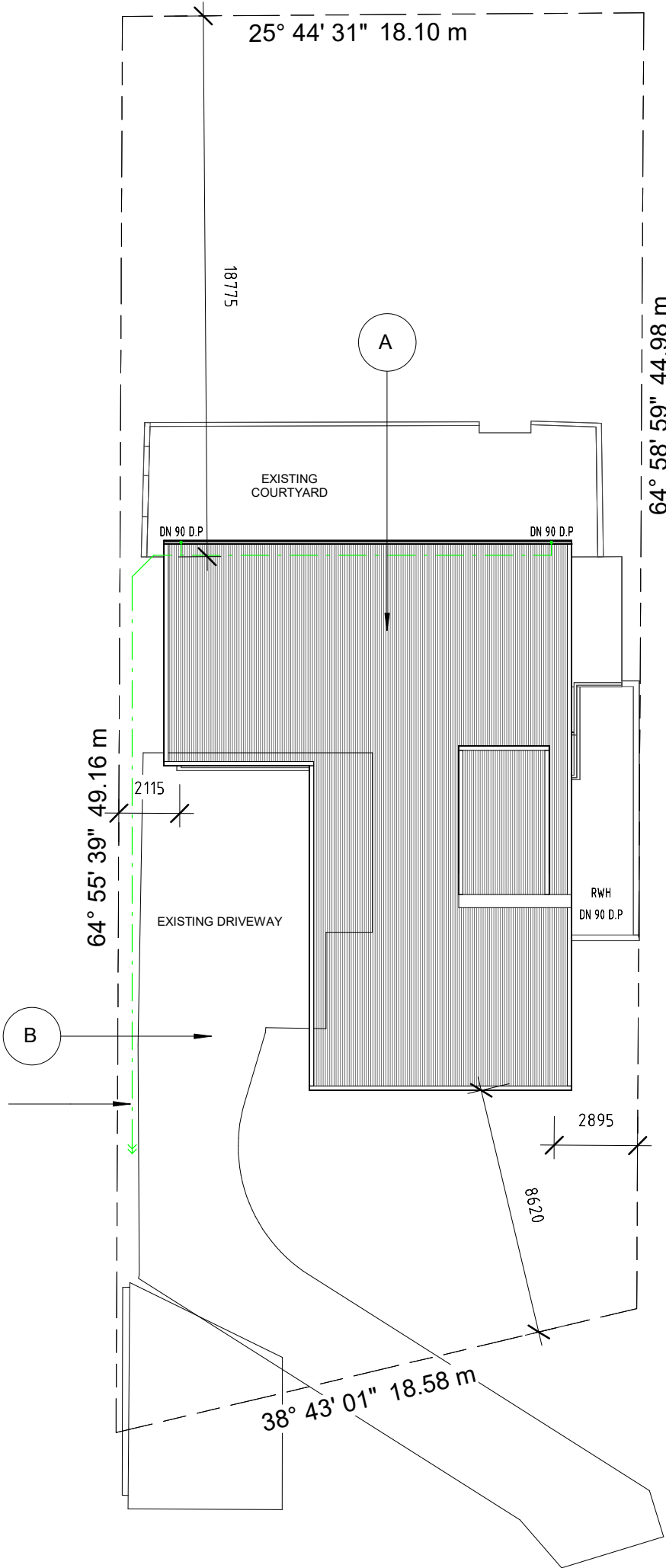


SITE NOTES	
Property Address:	70 BASTICK STREET, ROSNY TAS 7018
Property ID:	5072329
Title Reference:	60712 / 43
Site Area:	1004 +/- m²
Municipality:	CLARENCE
Owner:	E. HOMBURG & J. BOLAND

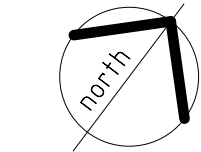
SITE KEY	
A	ALTERATION AND ADDITION SHOWN HATCH. NO CHANGE IN EXISTING BUILDING FOOTPRINT
B	OUTLINE OF EXISTING DRIVEWAY

SITE COVERAGE	
SITE COVERAGE	= 203 +/- Sqm
	20%

EXISTING NEIGHBOURING PROPERTY
72 BASTICK STREET



EXISTING NEIGHBOURING PROPERTY
68 BASTICK STREET



design●EAST

building design and interior architecture

Job No. 5768

Project: ALTERAIONS & ADDITONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG	ISSUE	DESCRIPTION	DATE	ISSUED BY
	A	PLANNING SET	15.07.26	JF
	B	FURTHER INFORMATION	22.07.26	JF
	C	FURTHER INFORMATION - PRIVACY	27.07.26	JF
Drawing: SITE PLAN				

design.EAST registered trading name for design.EAST Pty. Ltd.

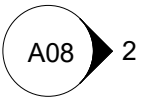
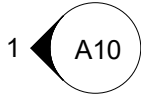
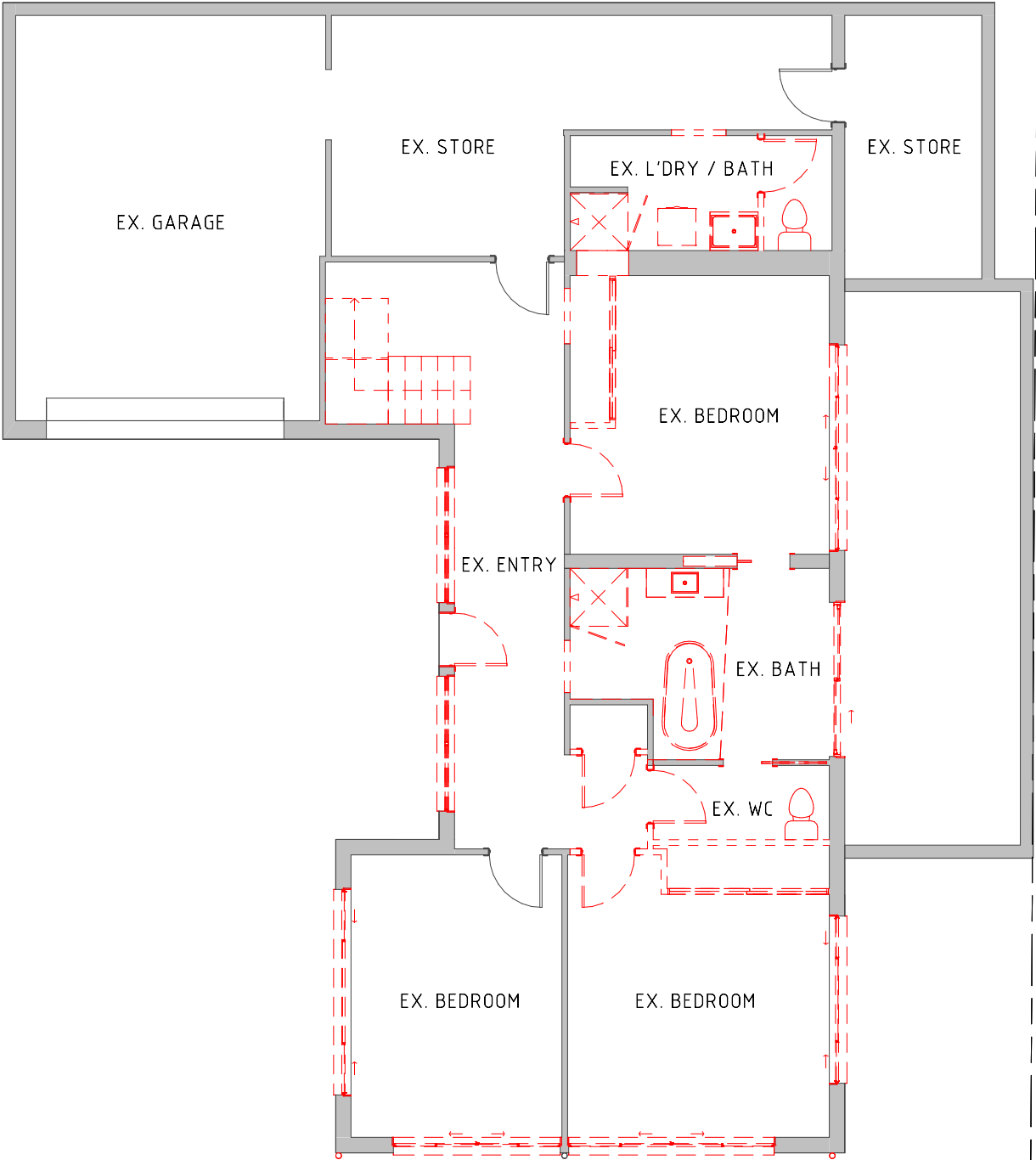
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DRAWN:		
JF		

153a Davey Street Hobart Tasmania 7000 Phone (03)6223 6740 Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC1910

WALL LEGEND	
	DEMOLISHED WALL.
	EXISTING FRAMING.

FLOOR AREAS	
EXISTING LOWER FLOOR AREA	= 152 +/- Sqm
EXISTING UPPER FLOOR AREA	= 148 +/- Sqm
EXISTING DECK AREA	= 14 +/- Sqm

DEMOLITION NOTES
GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 29, 30 & 31 OF THE BUILDING REGULATIONS (Tas.) 2016. BUILDINGS PRIOR TO 1990 <u>MAY</u> CONTAIN ASBESTOS.BUILDINGS PRIOR TO 1986 <u>ARE LIKELY</u> TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE. PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY. BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS. ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS. GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.



Project: ALTERAIONS & ADDITONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG	Drawing: LOWER LEVEL EX. & DEMO. PLAN
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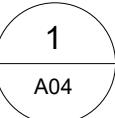
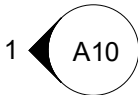
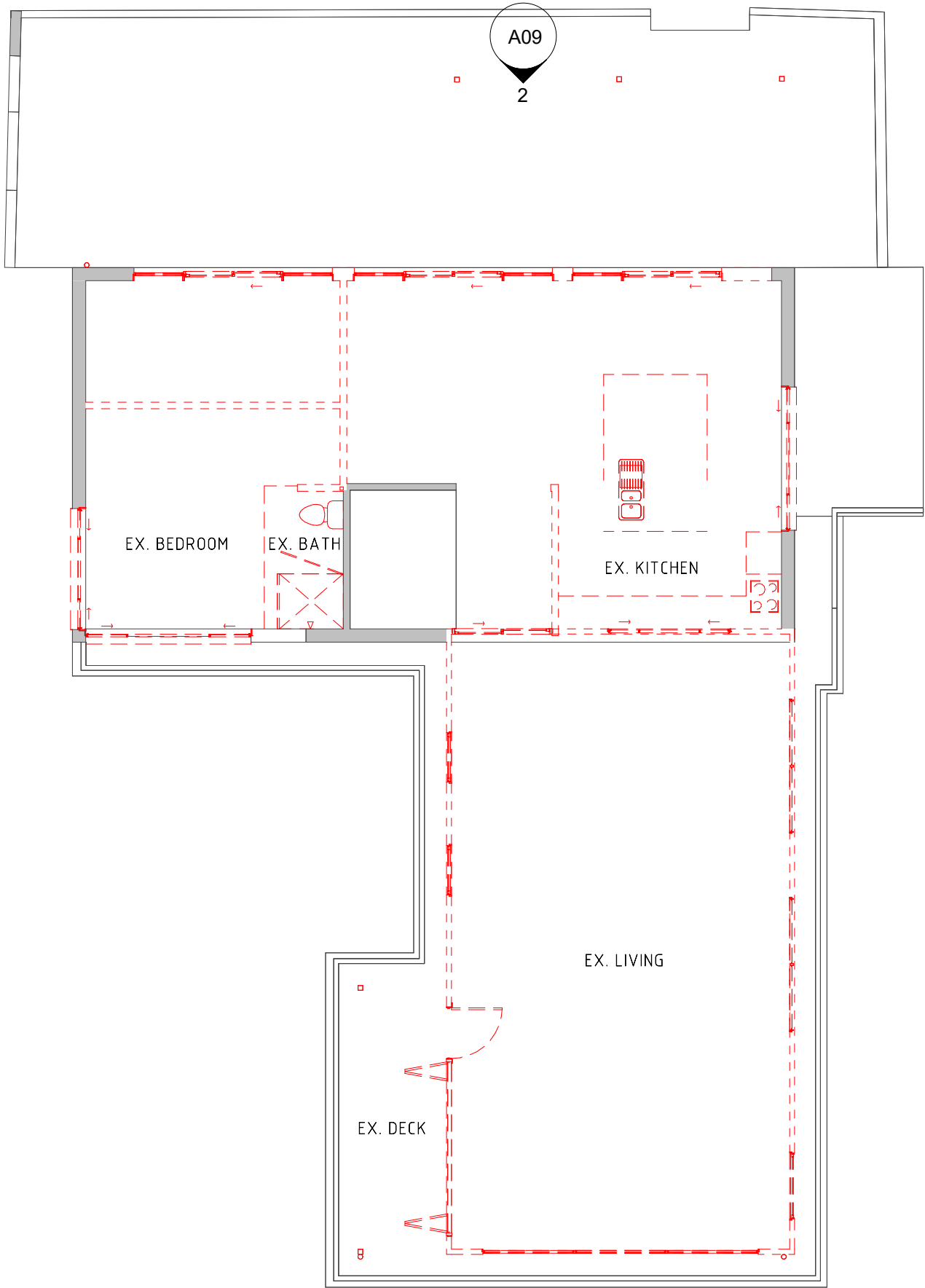
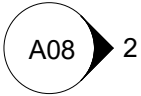
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SCALE: 1 : 100 @ A3	DRAWN: JF

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WALL LEGEND	
	DEMOLISHED WALL.
	EXISTING FRAMING.

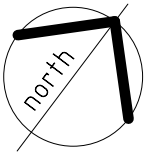
FLOOR AREAS	
EXISTING LOWER FLOOR AREA	= 152 +/- Sqm
EXISTING UPPER FLOOR AREA	= 148 +/- Sqm
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EXISTING & DEMOLITION UPPER FLOOR PLAN

1 : 100



building design and interior architecture

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Tasmania 7000
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Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

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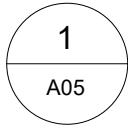
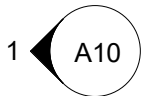
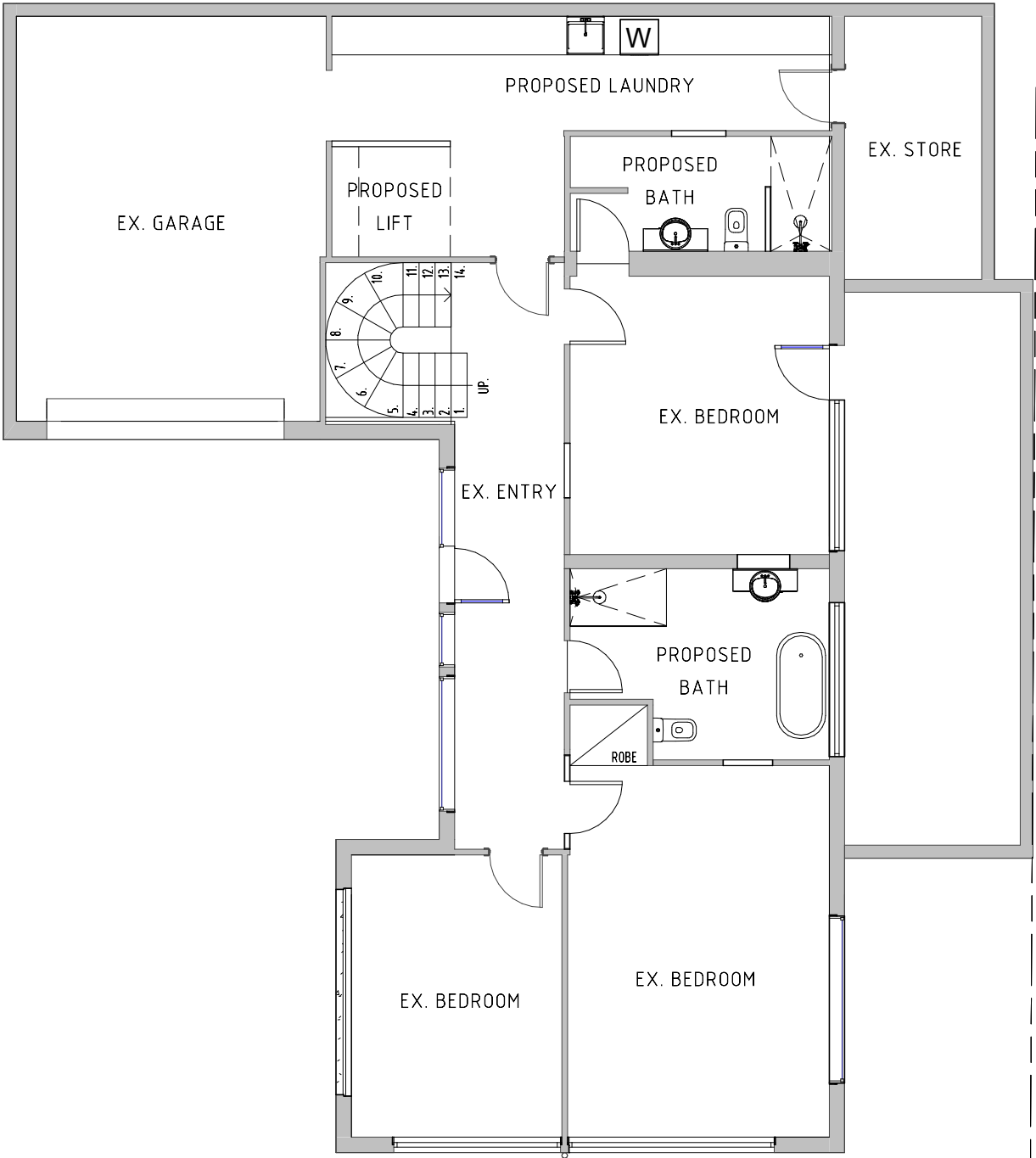
Project:	ALTERAIONS & ADDITONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG
Drawing:	UPPER EX. & DEMO. PLAN

design EAST registered trading name for design EAST Pty. Ltd.

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	15.07.26	JF
B	FURTHER INFORMATION	22.07.26	JF
C	FURTHER INFORMATION - PRIVACY	27.07.26	JF

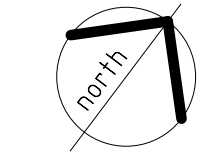
WALL LEGEND	
	90mm TIMBER STUD WALL
	RENDERED WALL
	190mm COREFILLED BLOCKWORK.
	EXISTING WALL.

FLOOR AREAS	
PROPOSED LOWER FLOOR	= NO CHANGE
PROPOSED UPPER FLOOR	= NO CHANGE
PROPOSED FIRST FLOOR DECK	= 10 +/- Sqm



PROPOSED LOWER FLOOR PLAN

1 : 100



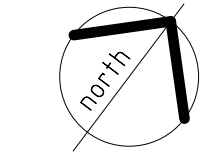
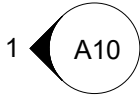
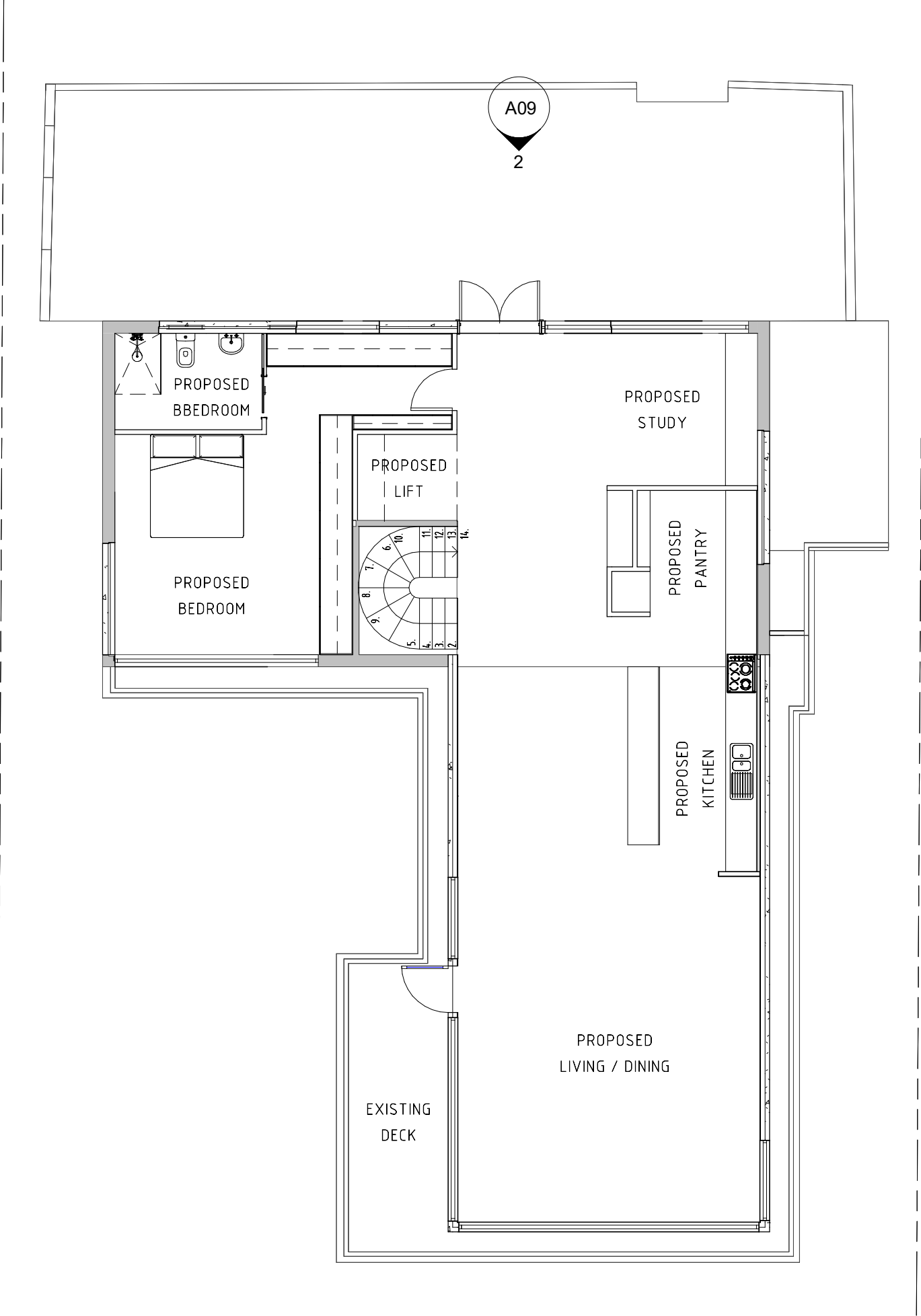
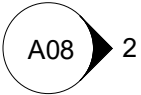
ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	15.07.26	JF
B	FURTHER INFORMATION	22.07.26	JF
C	FURTHER INFORMATION - PRIVACY	27.07.26	JF

PROPOSED UPPER FLOOR PLAN

1 : 100

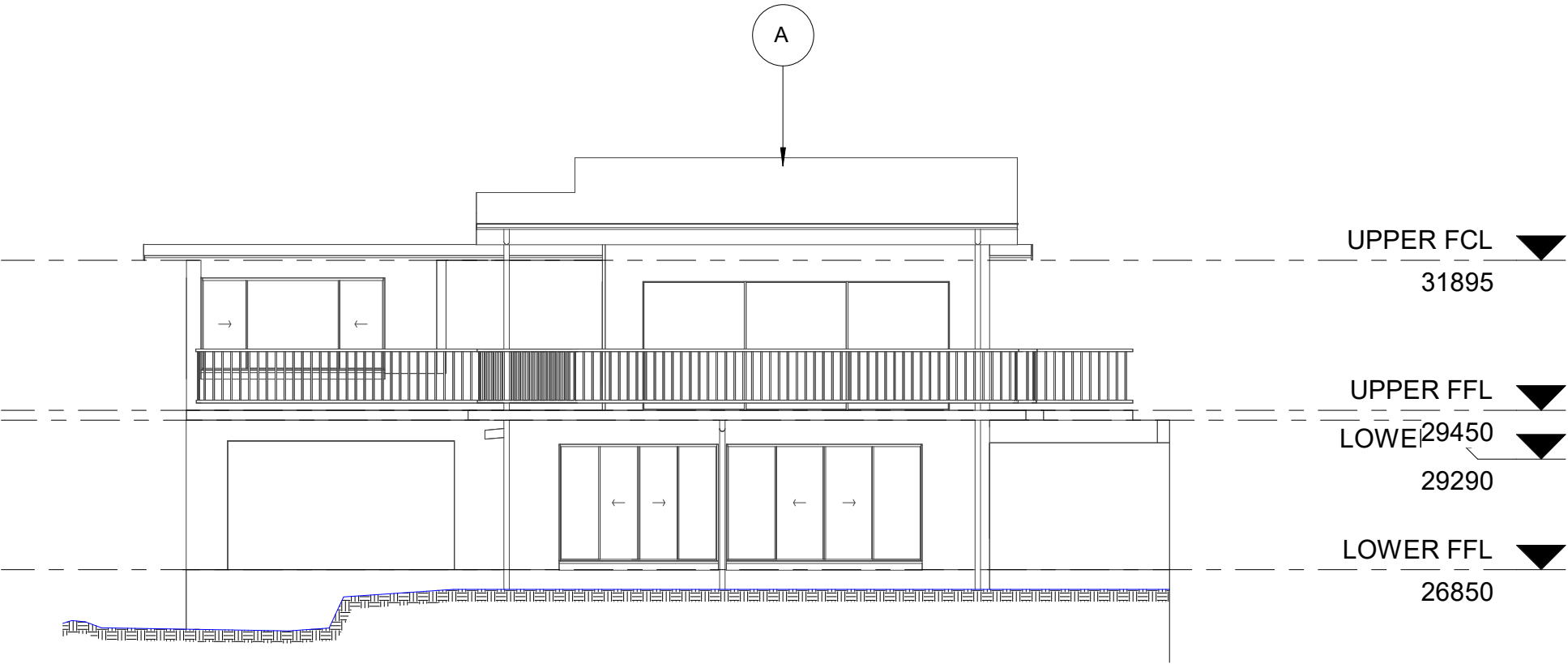
WALL LEGEND	
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FLOOR AREAS	
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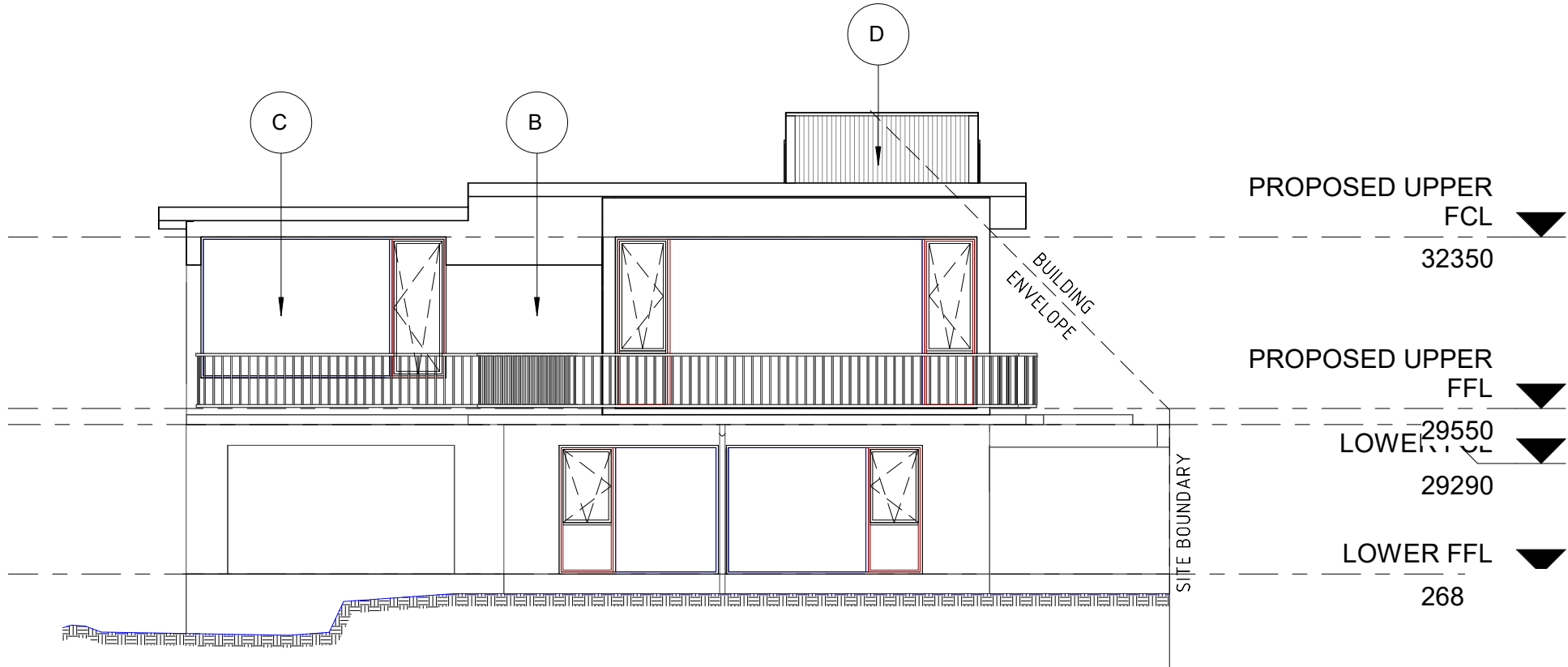
EXTERNAL FINISHES	
A	OUTLINE OF EXISTING BUILDING
B	RENDER FINISH TO EXISTING BRICKWORK WALLS AND TO NEW EXTERNAL WALLS. FINISH AS SELECTED.
C	ALUMINIUM WINDOW & DOOR FRAMES. THERMALLY BROKEN DOUBLE GLAZED. FINISH AS SELECTED.
D	TRIMDEK ROOF SHEETING (Min. 2° PITCH). Finish: COLORBOND FINISH AS SELECTED.



1
A07

EXISTING SOUTH EAST ELEVATION

1 : 100



2
A07

PROPOSED SOUTH EAST ELEVATION

1 : 100

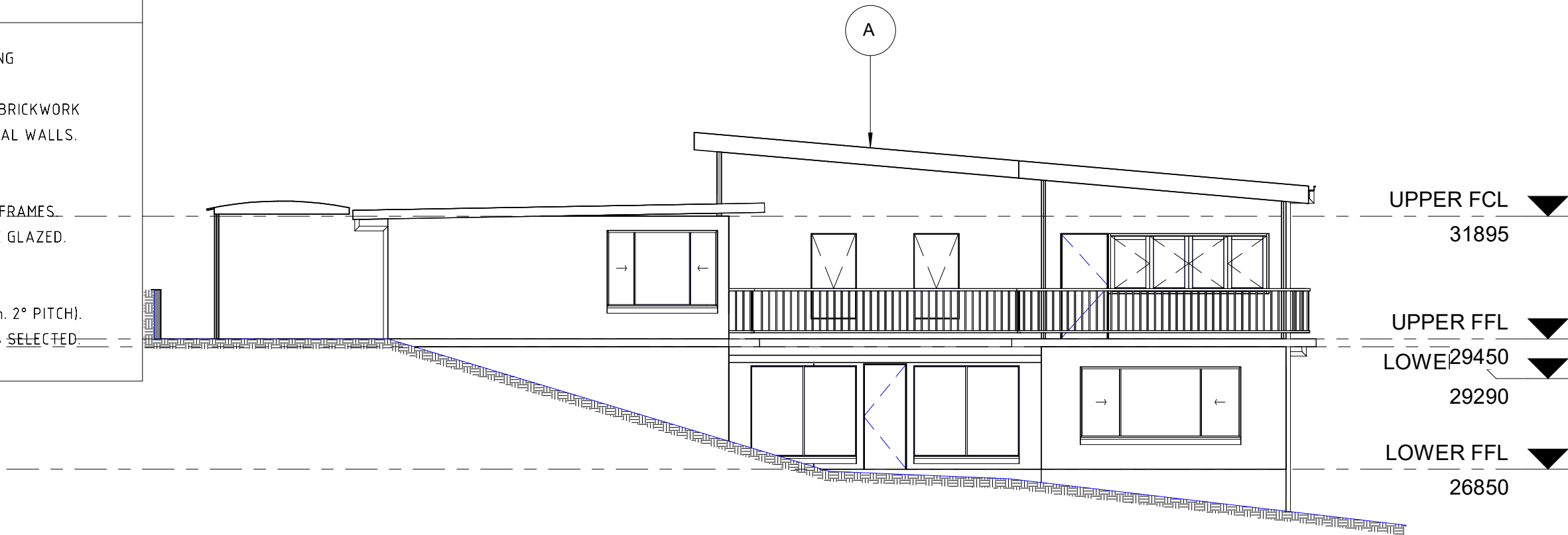
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A	PLANNING SET	15.07.26	JF
B	FURTHER INFORMATION	22.07.26	JF
C	FURTHER INFORMATION - PRIVACY	27.07.26	JF

Project: ALTERATIONS & ADDITIONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG	Drawing: EXISTING & PROPOSED ELES 01 OF 04
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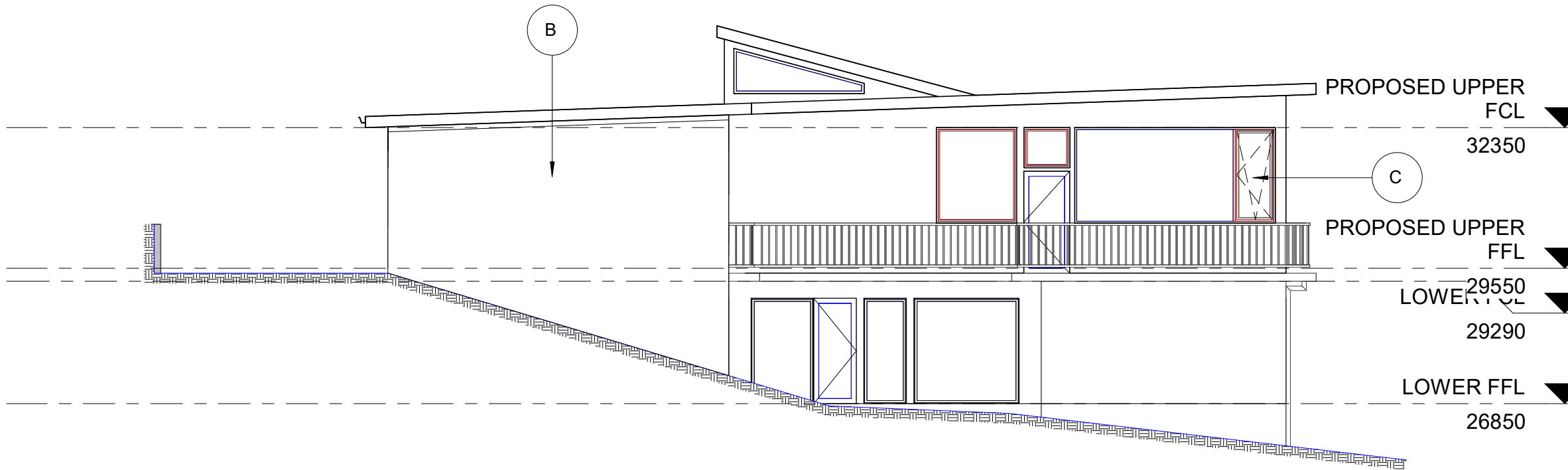
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DRAWN: JF		

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EXTERNAL FINISHES	
A	OUTLINE OF EXISTING BUILDING
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C	ALUMINIUM WINDOW & DOOR FRAMES. THERMALLY BROKEN DOUBLE GLAZED. FINISH AS SELECTED.
D	TRIMDEK ROOF SHEETING (Min. 2° PITCH). Finish: COLORBOND FINISH AS SELECTED.



1
A08
1 : 100
EXISTING SOUTH WEST ELEVATION



2
A08
1 : 100
PROPOSED SOUTH WEST ELEVATION

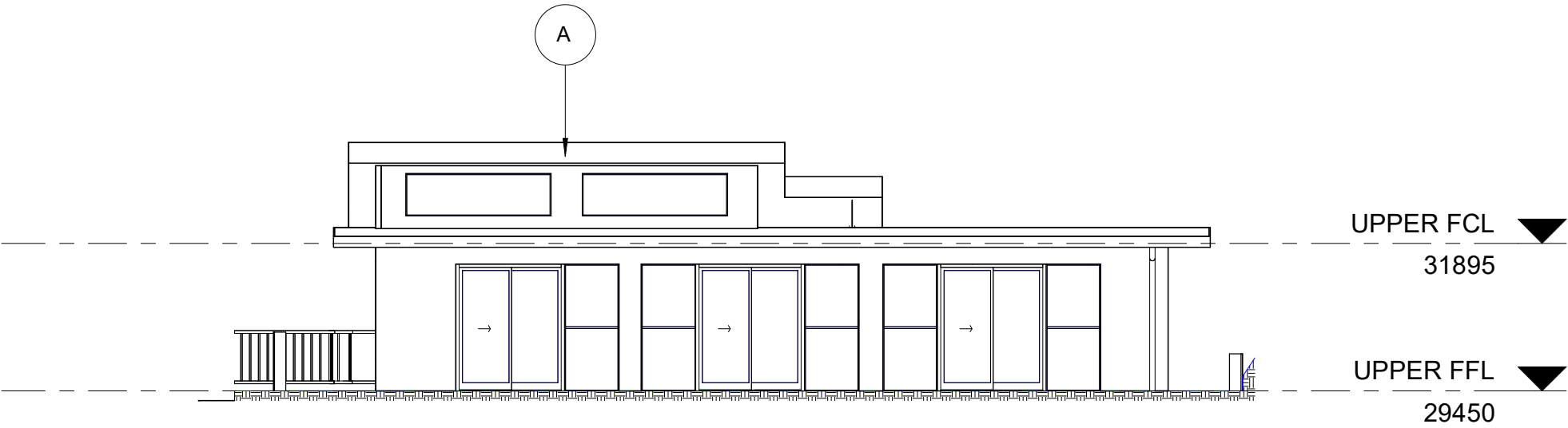
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Project:	ALTERATIONS & ADDITIONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG
Drawing:	EXISTING & PROPOSED ELES 02 OF 04

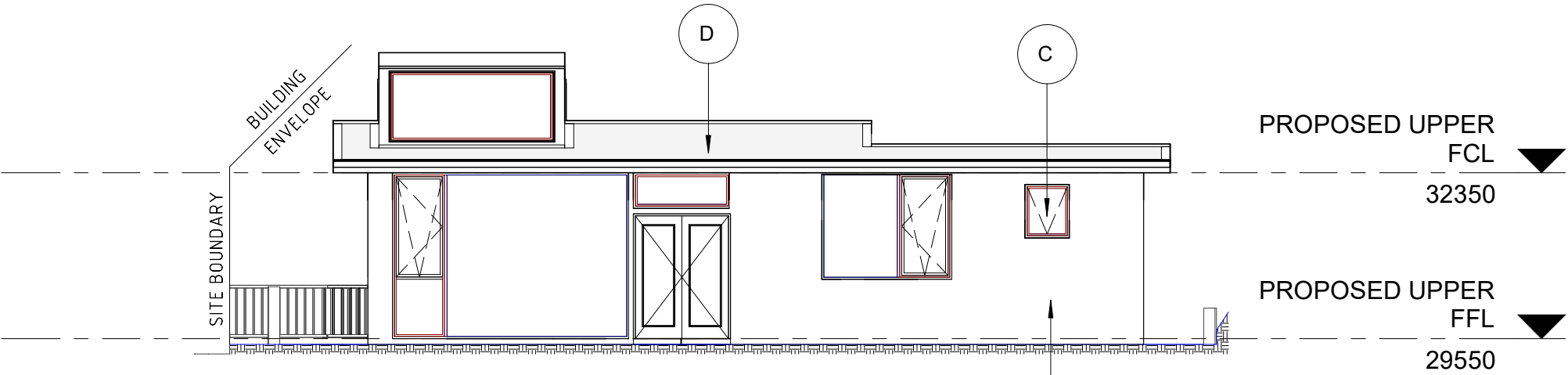
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EXTERNAL FINISHES	
A	OUTLINE OF EXISTING BUILDING
B	RENDER FINISH TO EXISTING BRICKWORK WALLS AND TO NEW EXTERNAL WALLS. FINISH AS SELECTED.
C	ALUMINIUM WINDOW & DOOR FRAMES. THERMALLY BROKEN DOUBLE GLAZED. FINISH AS SELECTED.
D	TRIMDEK ROOF SHEETING (Min. 2° PITCH). Finish: COLORBOND FINISH AS SELECTED.



1
A09
1 : 100
EXISTING NORTH WEST ELEVATION



2
A09
1 : 100
PROPOSED NORTH WEST ELEVATION

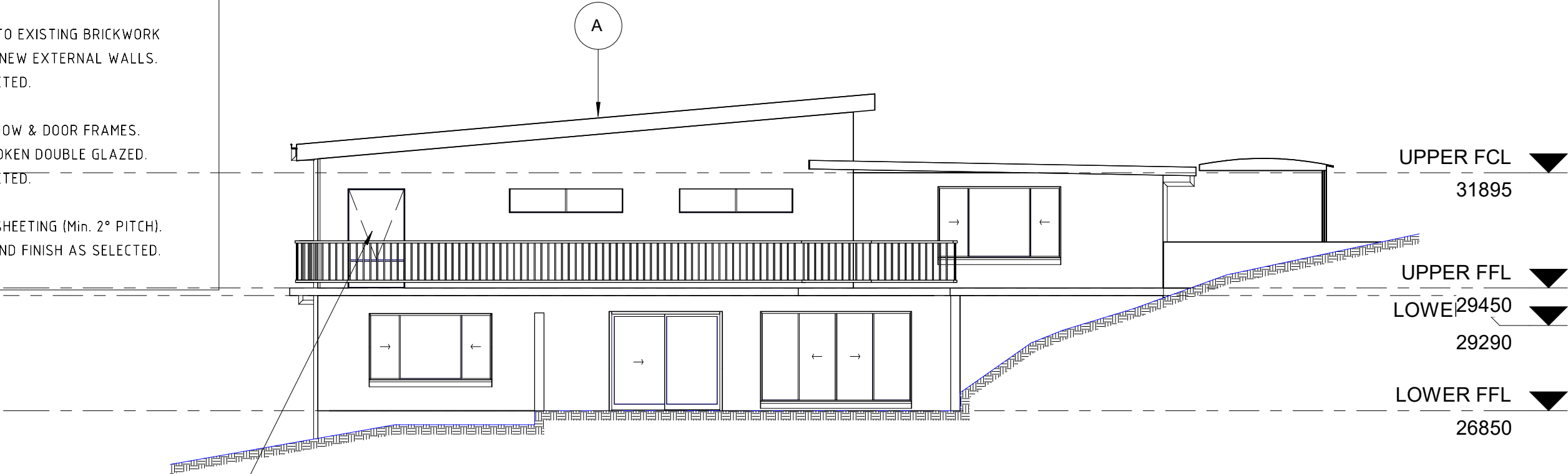
ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	15.07.26	JF
B	FURTHER INFORMATION	22.07.26	JF
C	FURTHER INFORMATION - PRIVACY	27.07.26	JF

Project: ALTERATIONS & ADDITIONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG	Drawing: EXISTING & PROPOSED ELES 03 OF 04 design.EAST registered trading name for design.EAST Pty. Ltd.
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DRG.NO: A09	CHK BY: ME
SCALE: 1 : 100 @ A3	DRAWN: JF

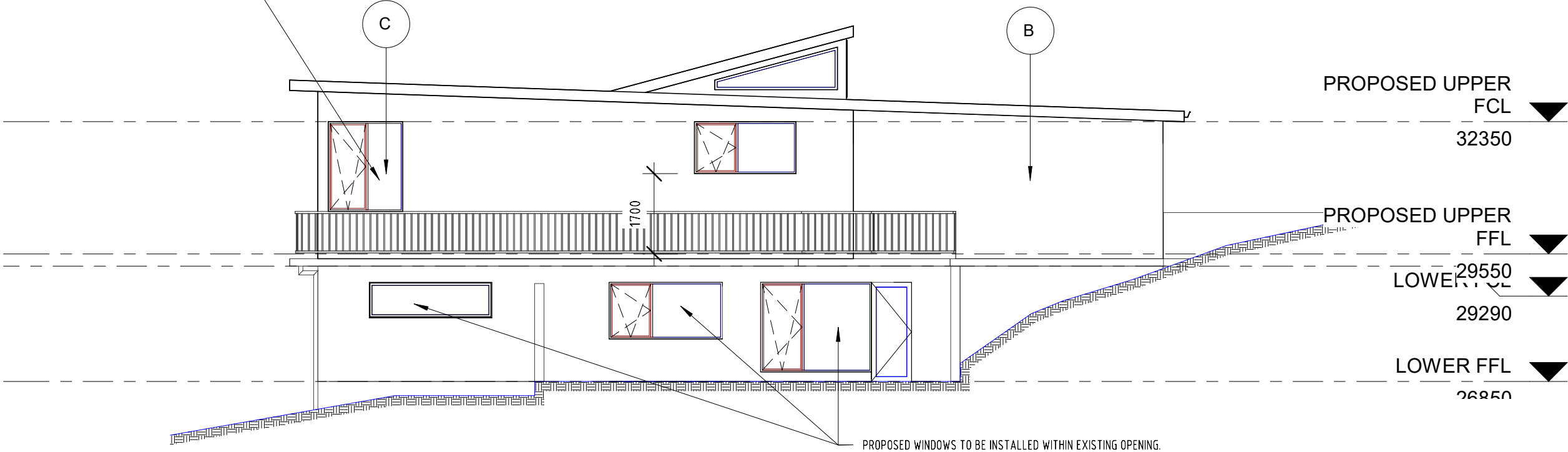
153a Davey Street Hobart Tasmania 7000 Phone (03)6223 6740 Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC1910

EXTERNAL FINISHES	
A	OUTLINE OF EXISTING BUILDING
B	RENDER FINISH TO EXISTING BRICKWORK WALLS AND TO NEW EXTERNAL WALLS. FINISH AS SELECTED.
C	ALUMINIUM WINDOW & DOOR FRAMES. THERMALLY BROKEN DOUBLE GLAZED. FINISH AS SELECTED.
D	TRIMDEK ROOF SHEETING (Min. 2° PITCH). Finish: COLORBOND FINISH AS SELECTED.



PROPOSED WINDOW TO BE INSTALLED WITHIN EXISTING OPENING AND OPENING WIDENED TOWARDS SEABIRD LANE. THE ADDITIONAL WIDTH OF THE OPENING IS OFFSET A MINIMUM OF 1.5 m FROM THE EDGE OF THE WINDOWS ON THE ADJOINING PROPERTY.

2
A10
1 : 100
EXISTING NORTH EAST ELEVATION



1
A10
1 : 100
PROPOSED NORTH EAST ELEVATION

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	15.07.26	JF
B	FURTHER INFORMATION	22.07.26	JF
C	FURTHER INFORMATION - PRIVACY	27.07.26	JF

Project:	ALTERATIONS & ADDITIONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG
Drawing:	EXISTING & PROPOSED ELES 04 OF 04

DRG.NO:	A10	CHK BY:	ME
SCALE:	1 : 100 @ A3	DRAWN:	JF

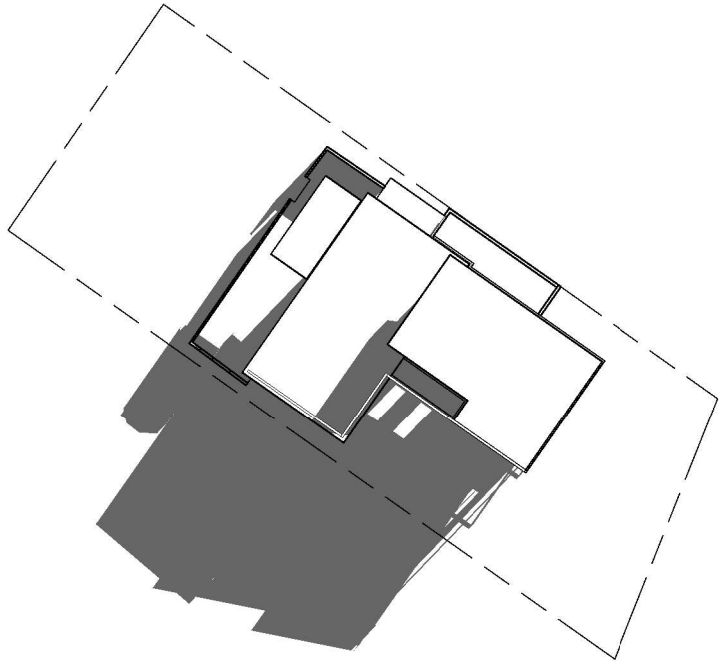
153a Davey Street Hobart Tasmania 7000 Phone (03) 6223 6740 Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC1910
--

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	15.07.26	JF
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C	FURTHER INFORMATION - PRIVACY	27.07.26	JF

Project:	ALTERATIONS & ADDITIONS 70 BASTICK STREET, ROSNY 7018 J. BOLAND & E. HOMBURG
Drawing:	SUN SHADOW DIAGRAMS

SCALE:	DRG.NO:
1 : 500 @ A3	A11
DRAWN:	CHK BY:
JF	ME

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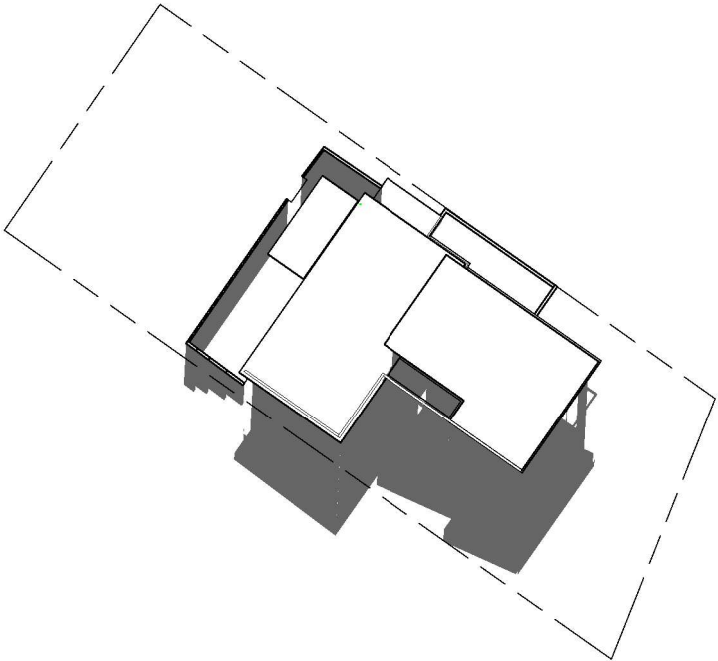


1

A11

21st of June 9am (Existing)

1 : 500

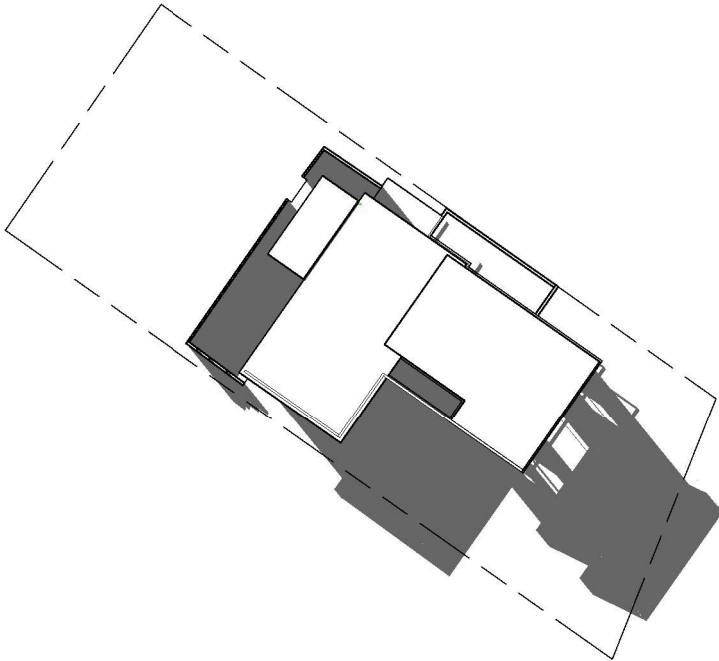


3

A11

21st of June 12pm (Existing)

1 : 500

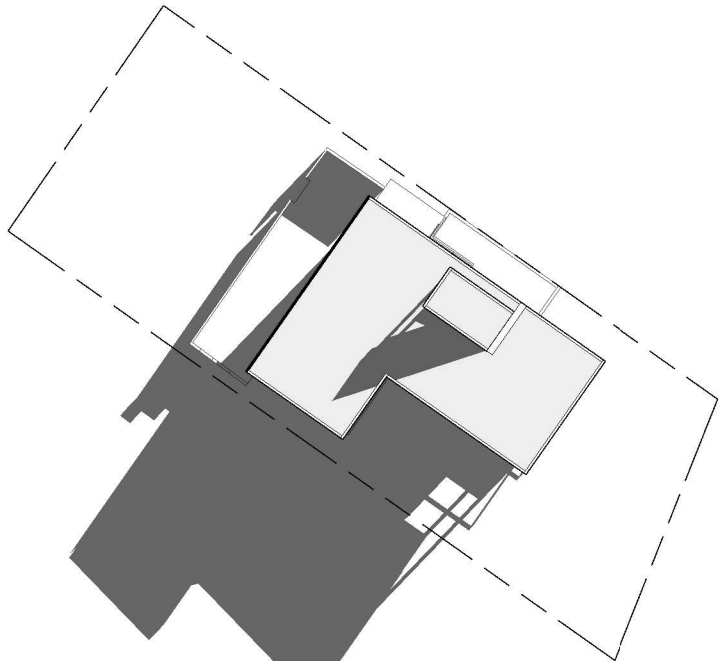


5

A11

21st of June 3pm (Existing)

1 : 500

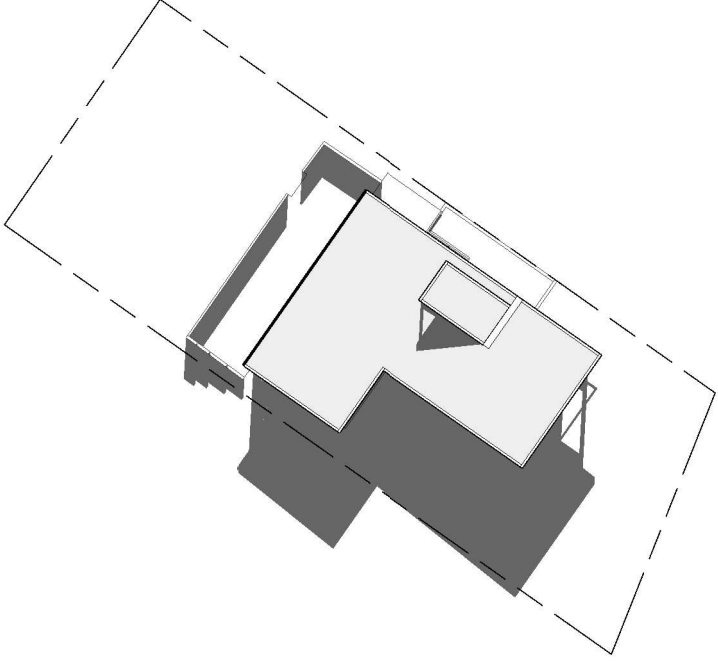


2

A11

21st of June 9am (Proposed)

1 : 500

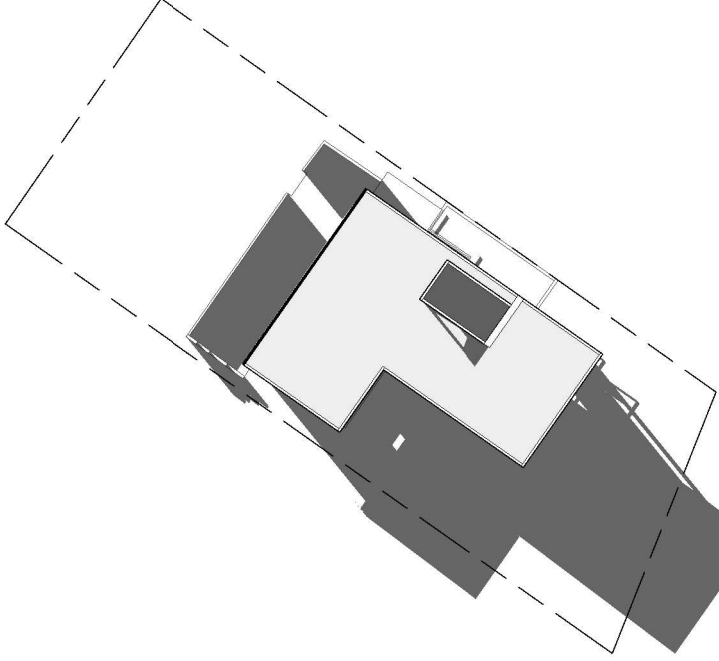


4

A11

21st of June 12pm (Proposed)

1 : 500



6

A11

21st of June 3pm (Proposed)

1 : 500