



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062940

PROPOSAL: Outbuilding & Retaining Walls (Single Dwelling)

LOCATION: 23 Wassell Place, Lindisfarne

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 19/08/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 19/08/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 19/08/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **Garage / Shed & Retaining**

Location: **23 Wassell Place, Lindisfarne 7015**

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-

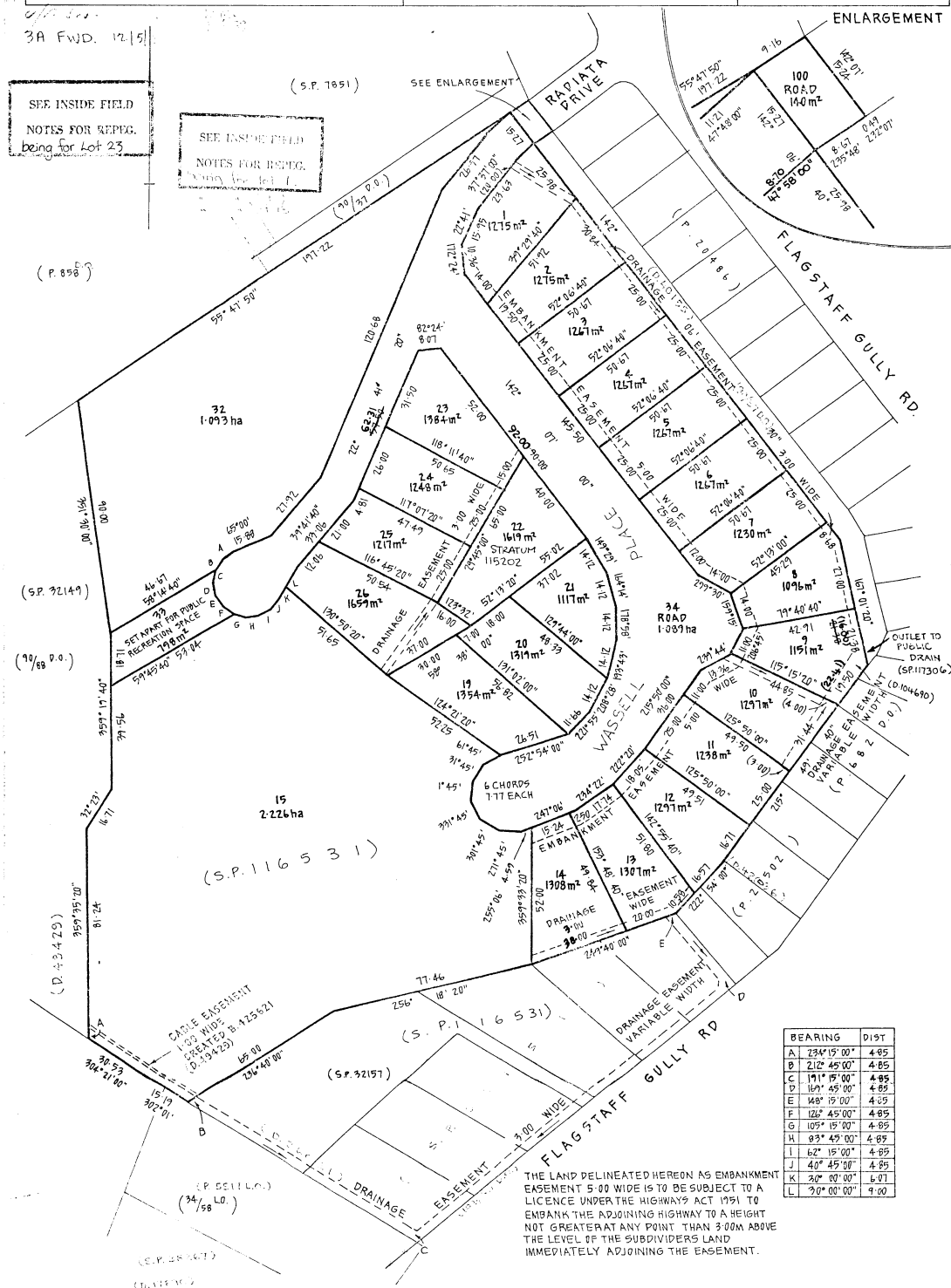


- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



Owner: DALLAS ONE PTY LTD THE METROPOLITAN WATER BOARD	PLAN OF SURVEY by Surveyor.....J. L. CERUTTY of land situated in the CROMER & CERUTTY PTY LTD 1 BAYFIELD ST-ROSNY PARK	Registered Number: SP39766
Title Reference: CONV. 42/3901 CT. 4450-82	OF LAND SITUATED IN THE TOWN OF LINDISFARNE CITY OF CLARENCE	Approved 27 JUN 1999 Effective from:
Grantee: PART OF 1000 ac LOC TO THOMAS GERARD GREGSON & PART OF 200 ACRES LOANED TO JOHN SAUNDERS	SCALE 1: 1250 MEASUREMENTS IN METRES	<i>Handwritten Signature</i> Recorder of Titles



SEARCH OF TORRENS TITLE

VOLUME 39766	FOLIO 11
EDITION 10	DATE OF ISSUE 15-June-2022

SEARCH DATE : 01-May-2026

SEARCH TIME : 11.29 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 11 on Sealed Plan [39766](#)

Derivation : Part of 1000 Acres Located to Thomas George
Gregson and Part of 200 Acres Located to John Saunderson
Prior CT [4576/3](#)

SCHEDULE 1

[M963209](#) TRANSFER to ASHLEY LOUISE PITT and DUNCAN EDWARD
HONEY Registered 15-June-2022 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP [39766](#) DRAINAGE EASEMENT in Schedule of Easements
SP [39766](#) COVENANTS in Schedule of Easements
SP [39766](#) FENCING COVENANT in Schedule of Easements
SUBJECT TO (as relates to the land marked Embankment Easement
on Sealed Plan No. [39766](#)) a licence to embank the
adjoining highway to the extent defined by the said
Sealed Plan
[E301707](#) MORTGAGE to Westpac Banking Corporation Registered
15-June-2022 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS

PLAN NO.

SP39766

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

EASEMENTS

Lots 12, 13, 14 and 15 are each together with a Right of Drainage over the Drainage Easement Marked E. D. C. on the plan.

Lot 15 is together with a Right of Drainage over the Drainage Easement marked B. C. on the plan.

Lot 15 is ^{subject} to a Right of Drainage (Appurtenant to Lots 30 and 31 on Sealed Plan No 32149) over the Drainage Easement marked A. B. on the plan.

COVENANTS

- (a) The owner of each lot shown on the plan covenants with Dallas One Pty Limited and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations
 1. Not to erect on the said lot any building which shall incorporate any external materials which provide any type of colour which does not blend into the rural environment or incorporates any unpainted metal surface and will conform to the requirements of the council.
 2. Not to remove from the said lot any tree without the consent of the council.
 3. Not to erect on the said lot any building closer than 10 metres to any road or public recreation space boundary.

Covenant 3 hereon deleted by me only in so far as it relates to the land comprised in Lot 18 on Sealed Plan No. 116531 pursuant to Request to Amend No. B994810 made under Section 103 of the Local Government (Building & Miscellaneous Provisions) Act 1993.

24/1/1997

Recorder of Titles

Handwritten signature

39766

- (b) The Owners of lots 1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14 and lots 20, 21, 23 to 26 inclusive on the plan covenants with Dallas One Pty Limited and the Owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations

Not to use the said lot for any other purpose than as
a site for a single residence for one (1) family unit.

FENCING COVENANT

The owner of each lot on the plan hereby covenants with the Vendor Dallas One Pty Limited that the Vendor shall not be required to fence.

39766

The Common Seal of
Dallas One Pty
Limited is hereunto
affixed in the
presence of:

Director?
[Signature]
Director?
[Signature]



The Common Seal of
the Hobart Regional Water Board)
is hereunto affixed in the)
presence of:)

MEMBER ... *[Signature]*

SECRETARY ... *[Signature]*

39766

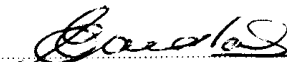
This is the schedule of easements attached to the plan of DALLAS ONE PTY LIMITED
(Insert Subdivider's Full Name)

..... affecting land in

Certificate of Title 4450/82
(Insert Title Reference)

Sealed by CLARENCE CITY COUNCIL on 28th FEBRUARY 1989

Solicitor's Reference M.S. Fife W102


Council Clerk/Town Clerk

OS.K.3134

GARAGE / SHED & RETAINING at 23 WASSELL PLACE, LINDISFARNE 7015 for ASHLEY & DUNCAN HONEY			
ISSUE: PLANNING SET			
DWG. No.	DRAWING NAME	DATE	REVISION
A01	COVER PAGE	20.07.26	A
A02	SITE PLAN	20.07.26	A
A03	PROPOSED GROUND FLOOR PLAN	20.07.26	A
A04	PROPOSED ELEVATIONS 01 OF 02	20.07.26	A
A05	PROPOSED ELEVATIONS 02 OF 02	20.07.26	A
A06	SUN SHADOW DIAGRAMS	22.07.26	B

GENERAL INFORMATION		
Accredited Building Designer: Accreditation Number:	Monty East CC 191 O	
Land title reference number:	C.T. 39766 / 11	
Site area:	1238 + - m ²	
Site assessment by:	T.B.C	
Wind classification:	N2	Site Classification to AS 4055-2012
Soil classssification:	T.B.C	Site Classification to AS 2870-2011
Climate zone:	7	
Bushfire-prone area BAL rating:	N/A	
Alpine area (900m above AHD):	N/A	
Corrosion environment:	LOW	
Other known site hazards:	AIRPORT OBSTACLE LIMINTATION AREA	

IMPORTANT
1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:



SITE NOTES	
Property Address:	23 WASSELL PLACE, LINDISFARNE TAS, 7015
Property ID:	7608537
Title Reference:	39766/11
Site Area:	1238 +/- m ²
Municipality:	CLARENCE
Owner:	A. & D. HONEY

Owner: A. & D. HONEY

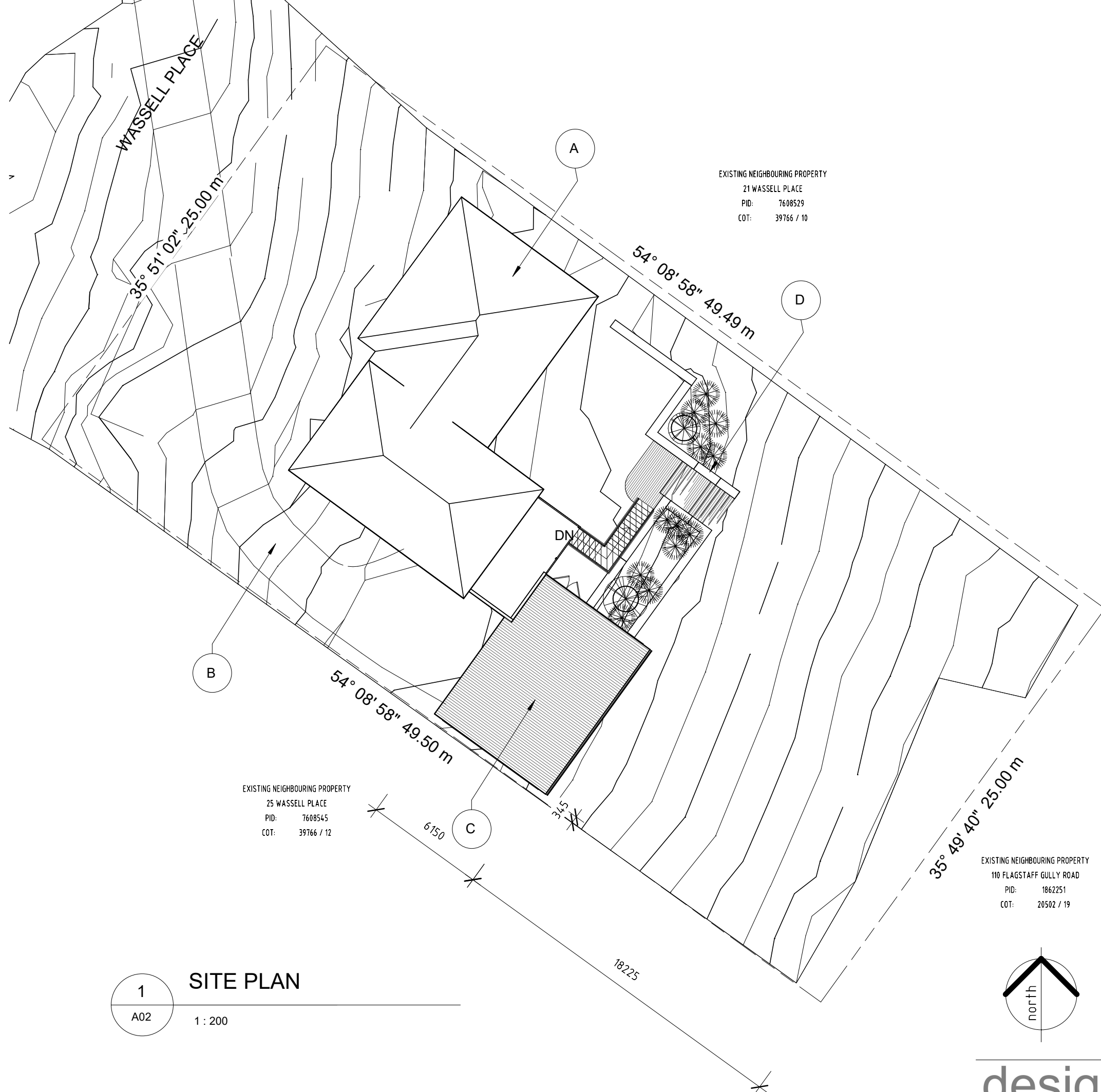
SITE KEY

- A OUTLINE OF EXISTING RESIDENCE,
- B OUTLINE OF EXISTING DRIVEWAY.
- C OUTLINE OF PROPOSED GARAGE & SHED.
- D OUTLINE OF PROPOSED RETAINING WALLS.

D) OUTLINE OF PROPOSED RETAINING WALLS.

SITE COVERAGE	
EXISTING FLOOR AREA	= 135 +/-Sqm
PROPOSED GARAGE / SHED	= 50 +/-Sqm
TOTAL	= 185 +/-Sqm
PROPOSED SITE COVERAGE	=15 %

PROPOSED SITE COVERAGE = 15 %



A02

SITE PLAN

1 : 200

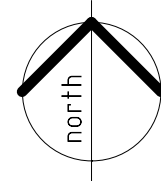
Job No. 5763

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	20.07.26	JF

Drawing:

SCALE:	DRG.NO:
1 : 200 @ A3	A02
DRAWN:	CHK BY:

153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

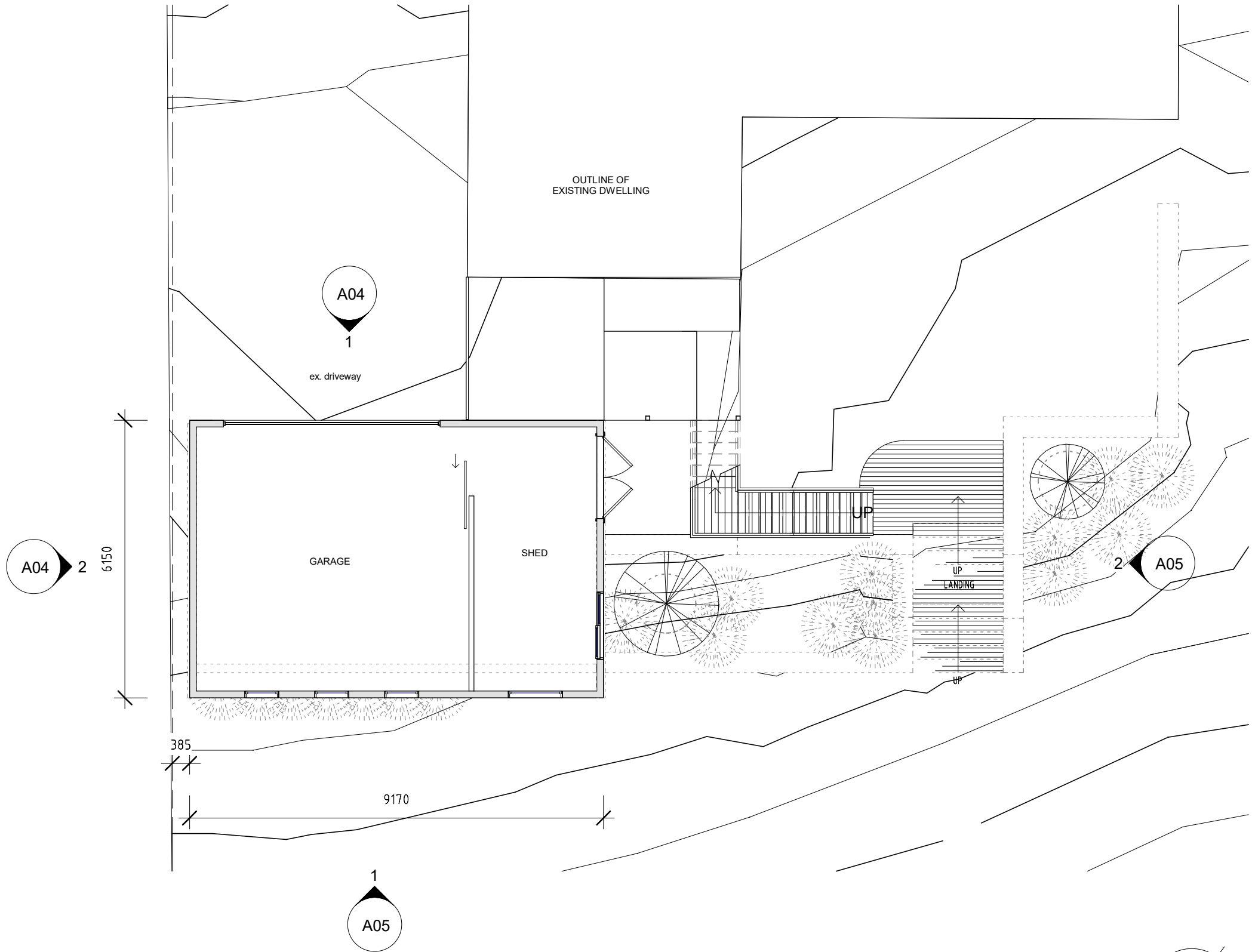


design ●

Building design and interior architecture

WALL LEGEND	
	90mm TIMBER STUD WALL
	150mm HARDIES CLADDING.
	190mm COREFILLED BLOCKWORK.
	EXISTING WALL.

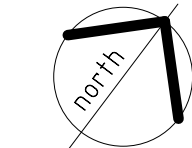
FLOOR AREAS	
PROPOSED GARAGE & SHED	= 50 +/- Sqm



1
A03

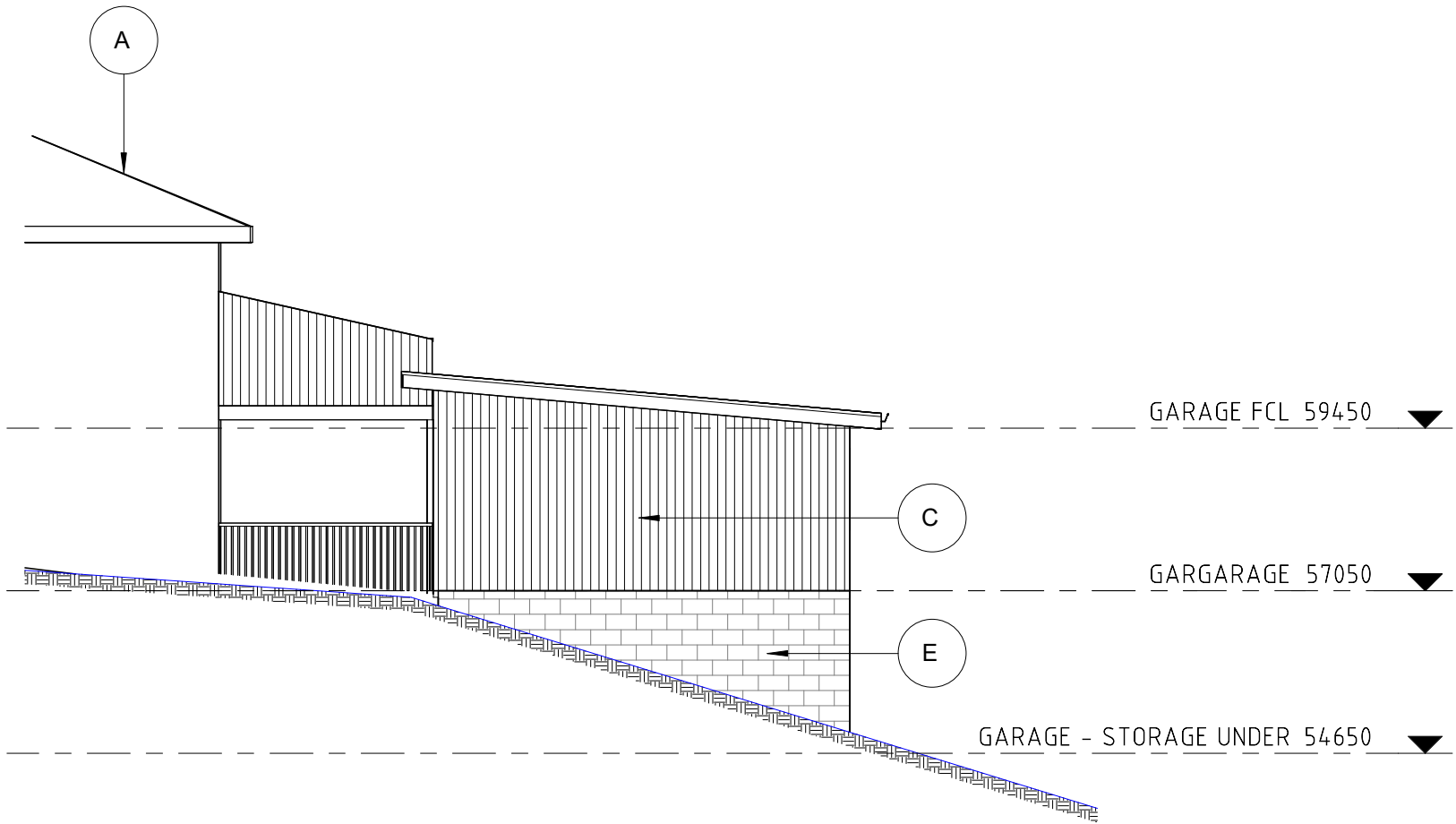
PROPOSED GARAGE & SHED

1 : 100

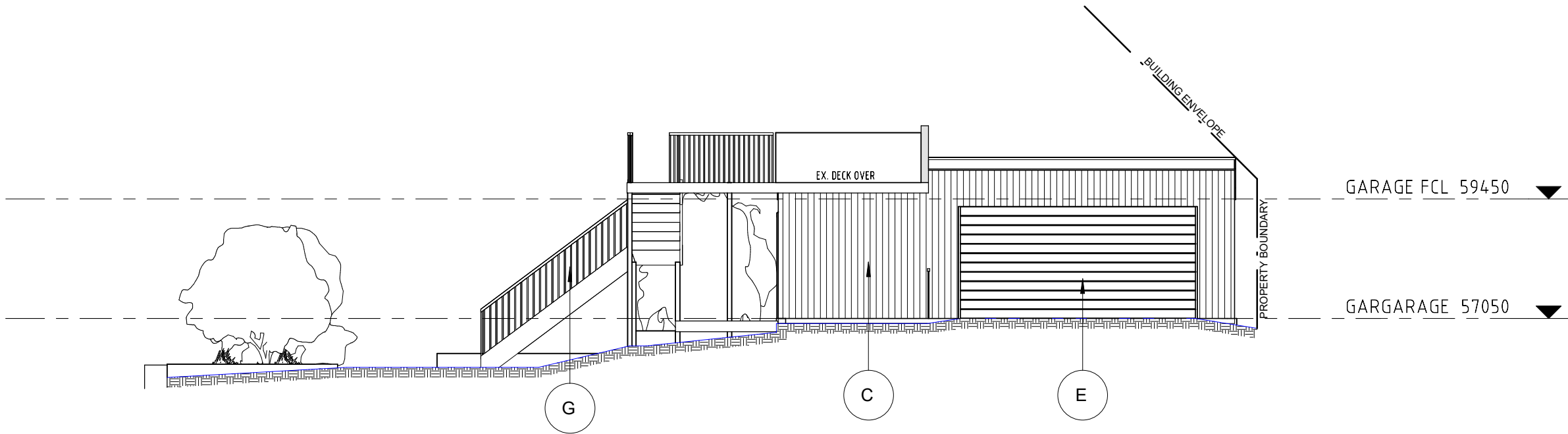


ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	20.07.26	JF

EXTERNAL FINISHES	
A	OUTLINE OF EXISITNG DWELLING & DECK
B	190mm BLOCKWORK WALL FINISH: T.B.A
C	EXTERNAL HARDIES CLADDING, PAINT FINISH. COLOUR: T.B.A
D	ALUMINUM WINDOWS AND DOORS COLOUR: T.B.A
E	GARAGE ROLLER DOOR COLOUR: T.B.A
F	CUSTOM ORB 'COLORBOND' ROOFING. COLOUR: T.B.A
G	PROPOSED EXTERNAL STAIRS



2
A04
1 : 100
PROPOSED SOUTH WEST ELEVATION



1
A04
1 : 100
PROPOSED NORTH WEST ELEVATION

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	20.07.26	JF

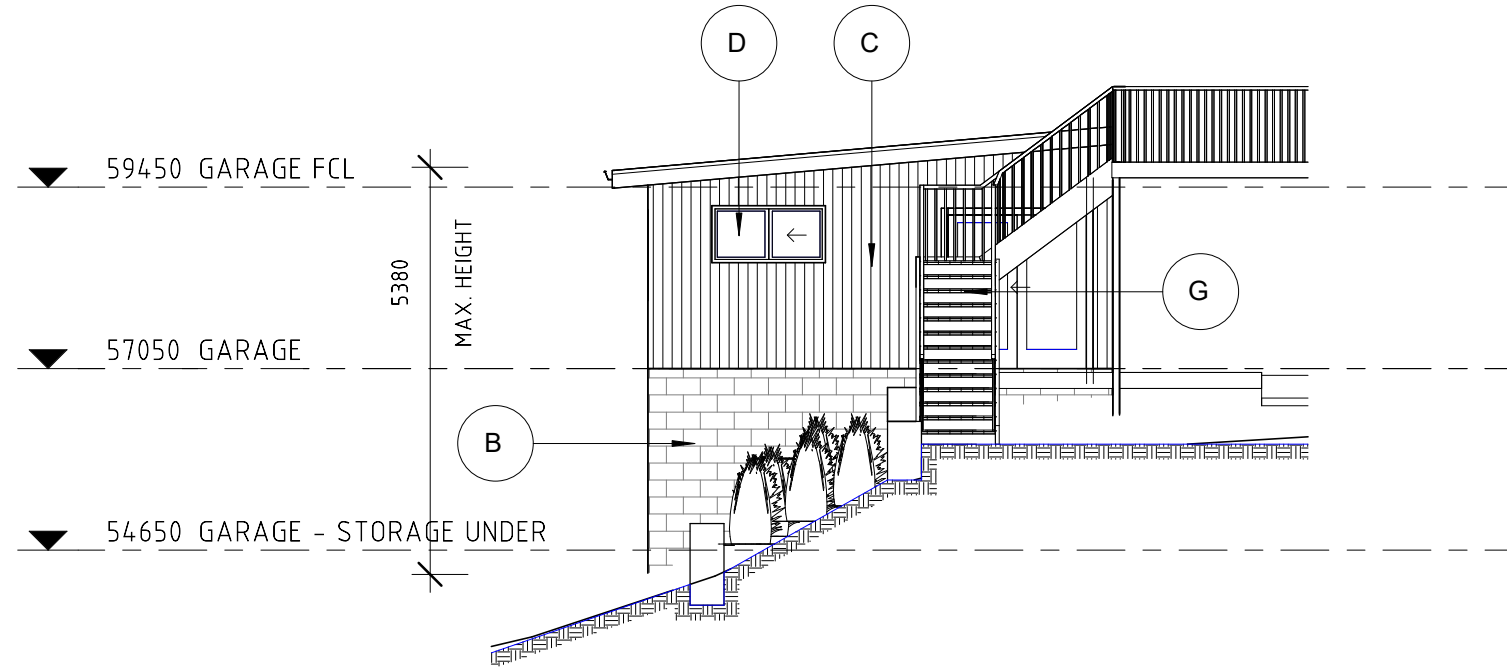
Project:	GARAGE / SHED & RETAINING 23 WASSELL PLACE, LINDISFARNE 7015 ASHLEY & DUNCAN HONEY
Drawing:	PROPOSED ELEVATIONS 01 OF 02

SCALE:	DRG.NO:	CHK BY:
1 : 100 @ A3	A04	ME
DRAWN:		
JF		

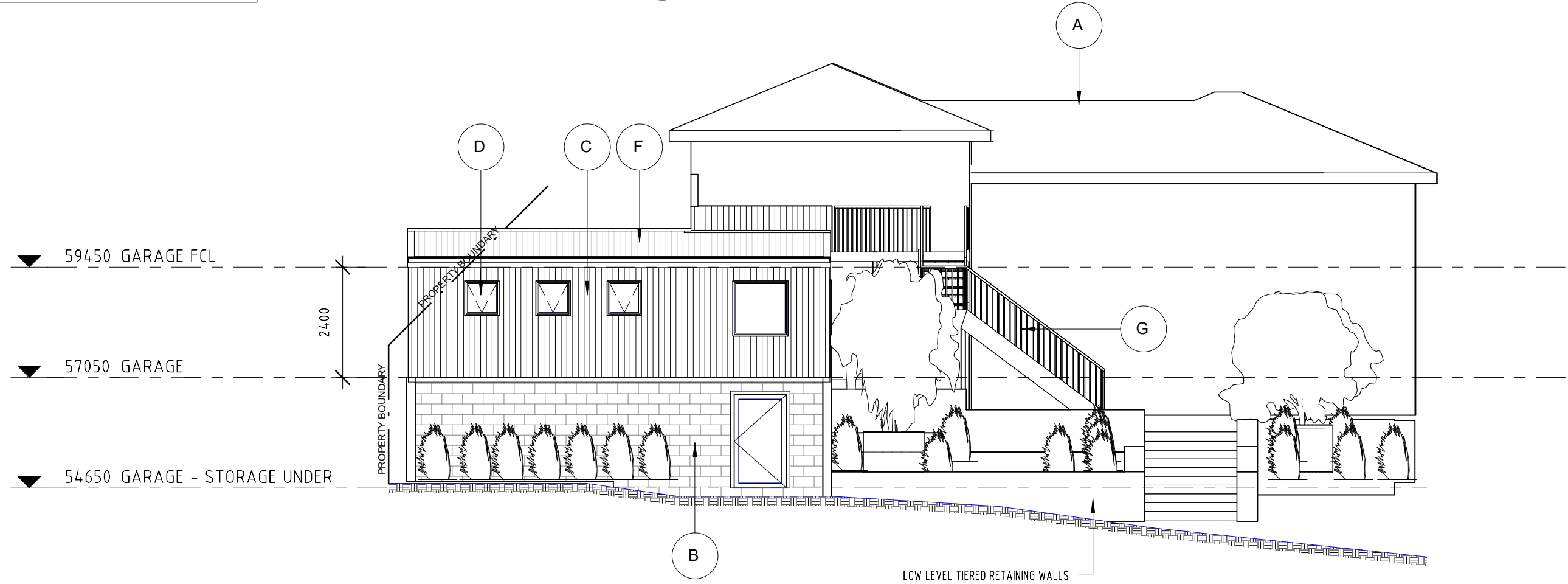
153a Davey Street Hobart Tasmania 7000 Phone (03)6223 6740 Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC1910

EXTERNAL FINISHES

- A OUTLINE OF EXISITNG DWELLING & DECK
- B 190mm BLOCKWORK WALL
FINISH: T.B.A
- C EXTERNAL HARDIES CLADDING, PAINT FINISH.
COLOUR: T.B.A
- D ALUMINUM WINDOWS AND DOORS
COLOUR: T.B.A
- E GARAGE ROLLER DOOR
COLOUR: T.B.A
- F CUSTOM ORB 'COLORBOND' ROOFING.
COLOUR: T.B.A
- G PROPOSED EXTERNAL STAIRS



2
A05
1 : 100
PROPOSED NORTH EAST ELEVATION



1
A05
1 : 100
PROPOSED SOUTH EAST ELEVATION

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	20.07.26	JF

Project:	GARAGE / SHED & RETAINING
	23 WASSELL PLACE,
	LINDISFARNE 7015
	ASHLEY & DUNCAN HONEY
Drawing:	PROPOSED ELEVATIONS 02 OF 02
design: EAST registered trading name for design: EAST Pty. Ltd.	

SCALE:	DRG.NO:	CHK BY:
1 : 100 @ A3	A05	ME
DRAWN:		
JF		

153a Davey Street Hobart Tasmania 7000 Phone (03)6223 6740 Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC1910

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	PLANNING SET	20.07.26	JF
B	SUN SHADOW DIAGRAMS	22.07.26	JF

Project:	GARAGE / SHED & RETAINING
	23 WASSELL PLACE,
	LINDISFARNE 7015
	ASHLEY & DUNCAN HONEY
Drawing:	SUN SHADOW DIAGRAMS

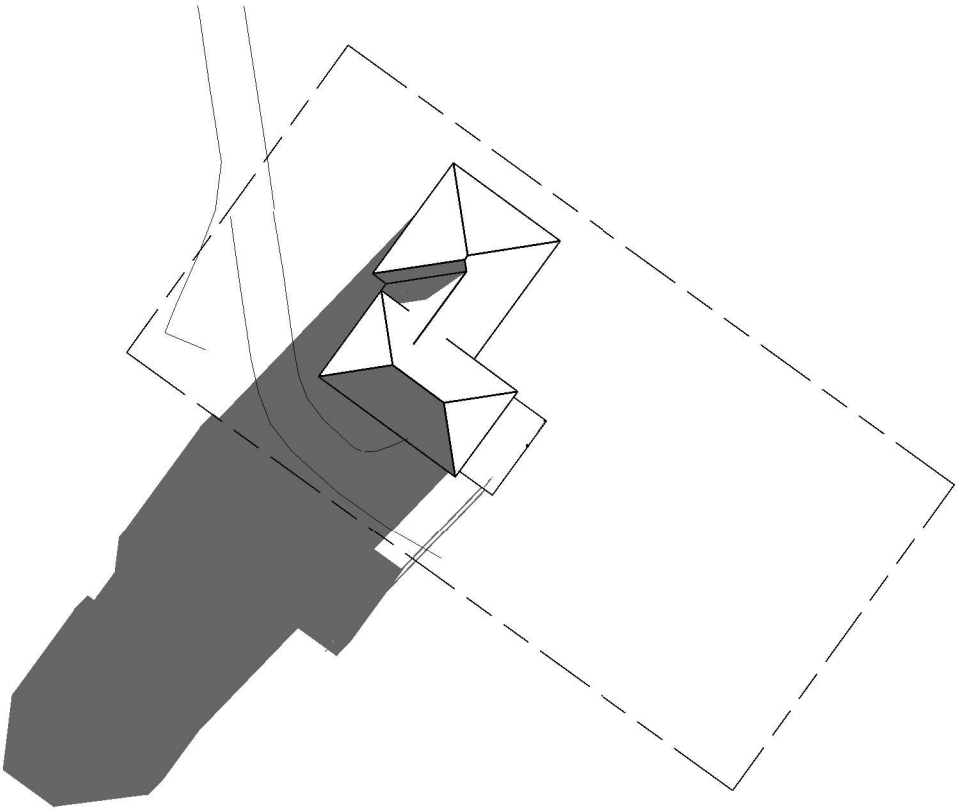
SCALE:	DRG.NO:
1 : 500 @ A3	A06
DRAWN:	CHK BY:
--	--

153a Davey Street Hobart Tasmania 7000 Phone (03)6223 6740 Email design@designeast.com.au Web www.designeast.com.au Accreditation No. CC1910

EAST

building design and interior architecture

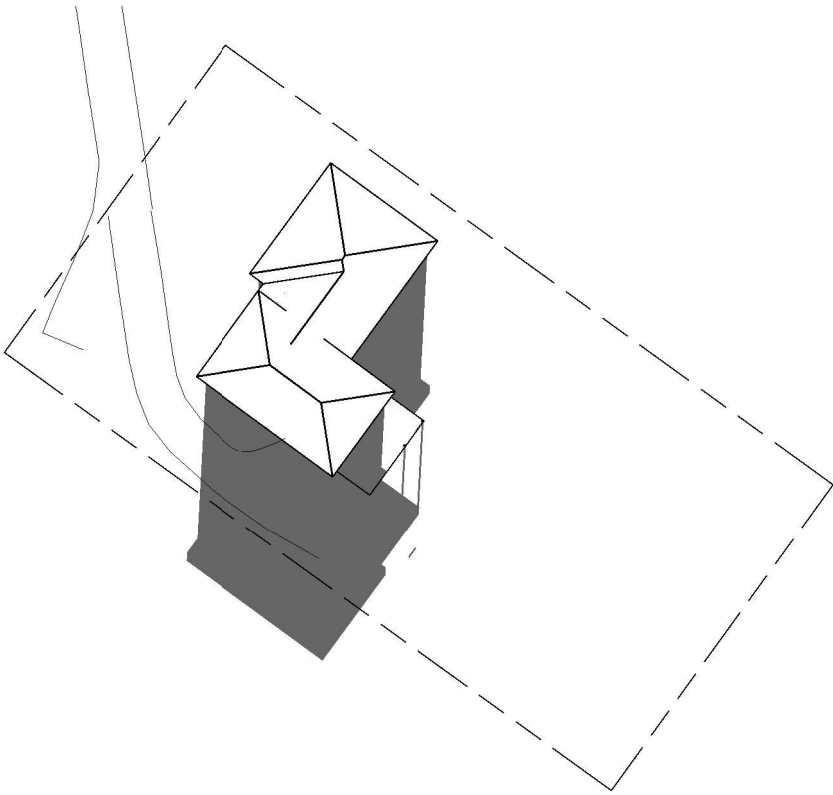
design



Sun Shadow Diagram (Existing) 9am

1
A06

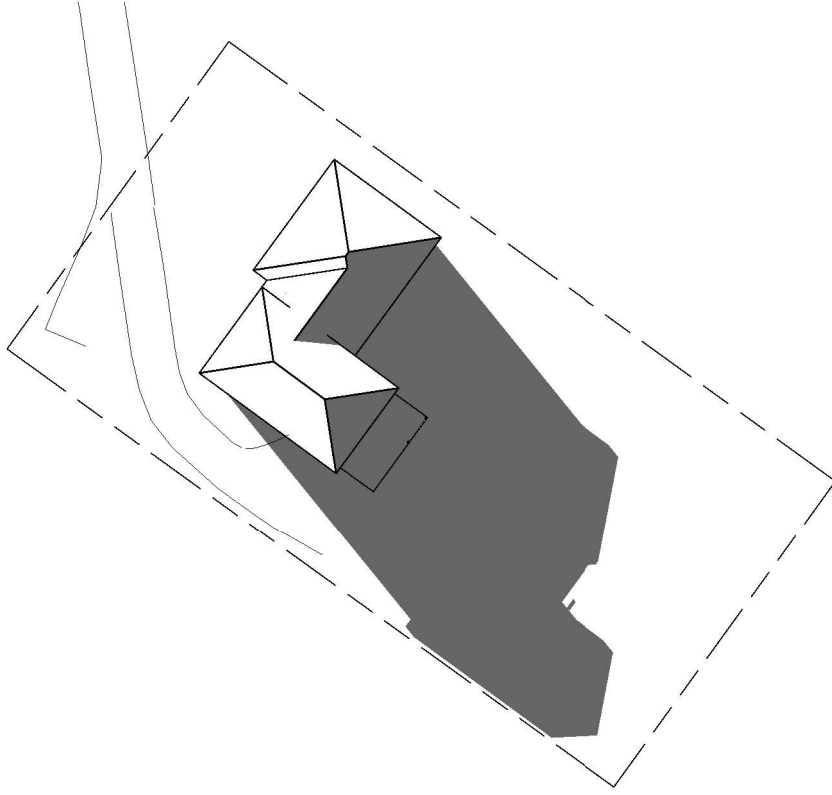
1 : 500



Sun Shadow Diagram (Existing) 12Ppm

3
A06

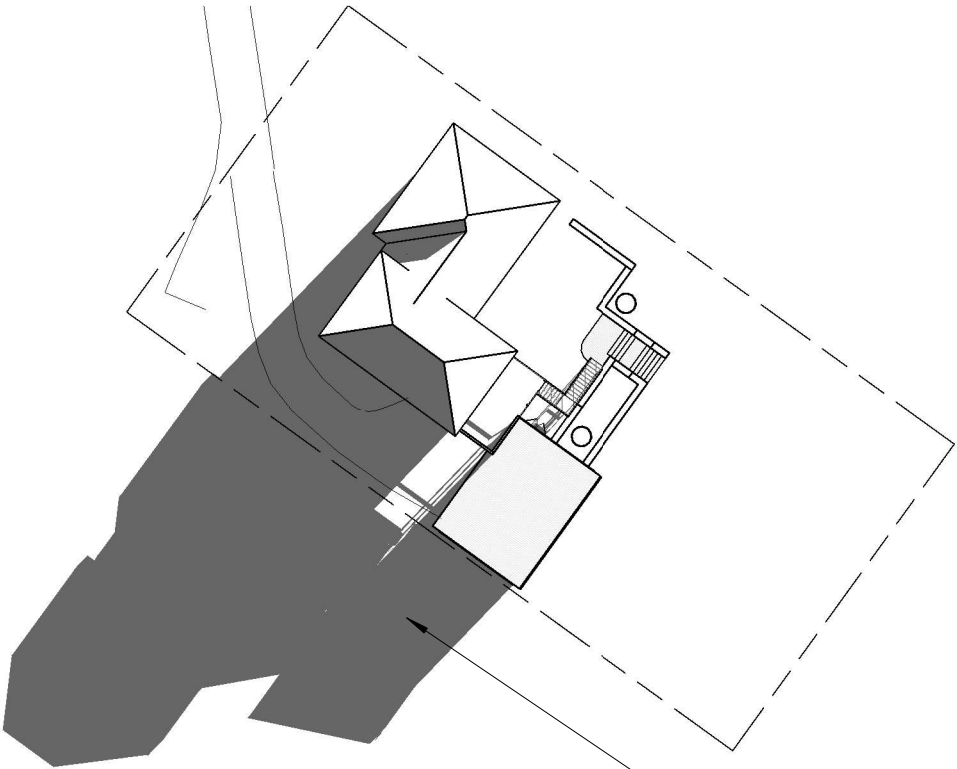
1 : 500



Sun Shadow Diagram (Existing) 3Ppm

5
A06

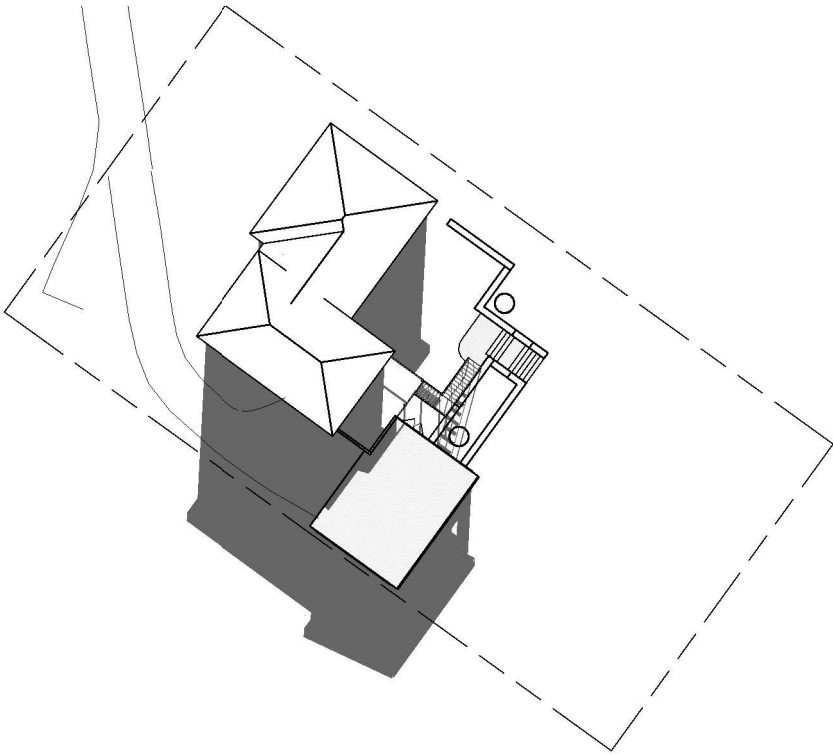
1 : 500



Sun Shadow Diagram (Proposed) 9am

2
A06

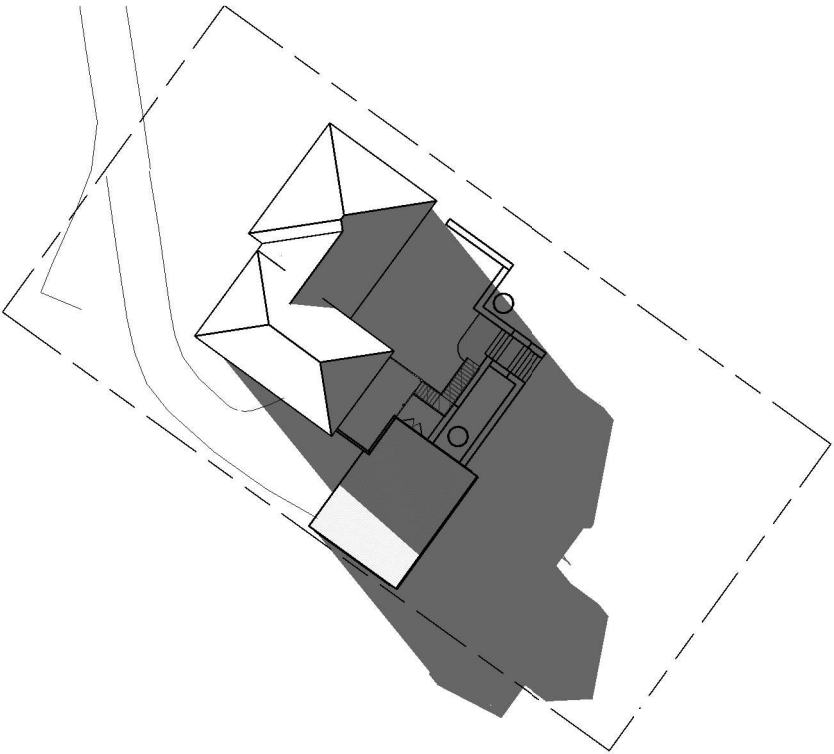
1 : 500



Sun Shadow Diagram (Proposed) 12pm

4
A06

1 : 500



Sun Shadow Diagram (Proposed) 3pm

6
A06

1 : 500

SHADOW IS CAST ONTO NEIGHBOUR GARAGE WALL.
NO IMPACT TO PRIVATE OPEN SPACE.