



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/063066

PROPOSAL: Dwelling

LOCATION: 11 Alabama Avenue, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 14/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 14/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 14/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Single Residential Dwelling

Location: **11 Alabama Ave, Rokeby**

Personal Information Removed

Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant Land**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



SEARCH OF TORRENS TITLE

VOLUME 183235	FOLIO 120
EDITION 2	DATE OF ISSUE 01-May-2026

SEARCH DATE : 27-July-2026

SEARCH TIME : 11.38 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 120 on Sealed Plan [183235](#)Derivation : Part of Lot 38079, 23.74ha Gtd. to The
Director-General of Housing and ConstructionPrior CT [182966/1](#)SCHEDULE 1

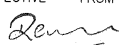
[N101621](#) TRANSFER to JAMIE CHARLES ROBERT WELSH and MARIA
ISABEL MAIA COSTA AGUIAR SANT'ANA Registered
01-May-2026 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP183235](#) COVENANTS in Schedule of Easements
[SP183235](#) FENCING PROVISION in Schedule of Easements
[SP170412](#), [SP175718](#), [SP178636](#) & [SP182135](#) COVENANTS in Schedule
of Easements
[SP170412](#), [SP175718](#), [SP178636](#) & [SP182135](#) FENCING PROVISION in
Schedule of Easements
[SP160867](#) FENCING COVENANT in Schedule of Easements
[E445599](#) MORTGAGE to Commonwealth Bank of Australia
Registered 01-May-2026 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

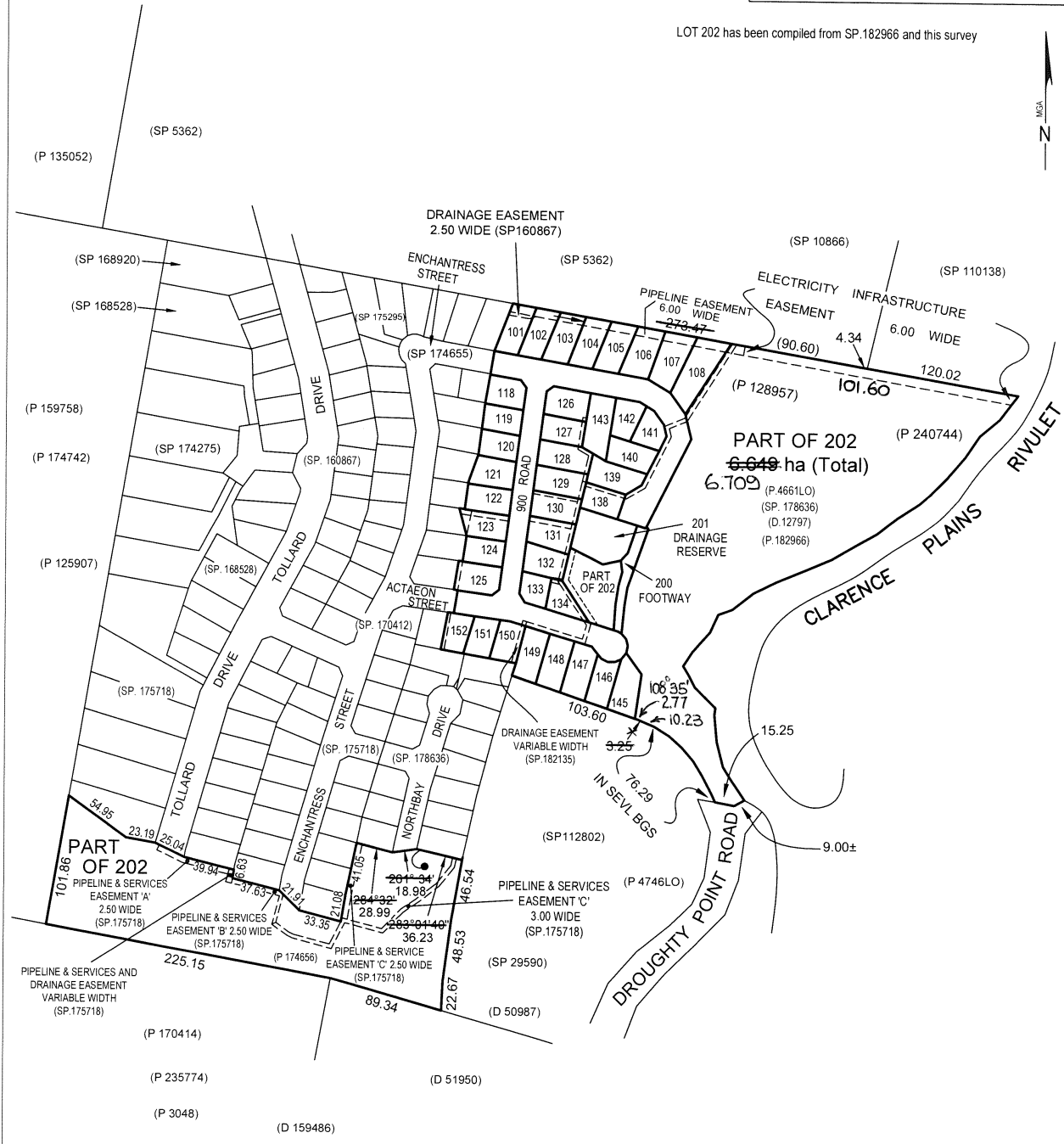
No unregistered dealings or other notations

OWNER: R.S. HOWIE FOLIO REFERENCE: CT.182966/1 GRANTEE: PART OF LOT 38079 (23.74ha) GRANTED TO THE DIRECTOR-GENERAL OF HOUSING AND CONSTRUCTION	PLAN OF SURVEY BY SURVEYOR: N. D. LEARY of LEARY, COX & CRIPPS SURVEYORS Unit G04 40 Mollie Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com LOCATION: CITY OF CLARENCE SCALE 1:3000 LENGTHS IN METRES	REGISTERED NUMBER SP183235 APPROVED EFFECTIVE FROM - 7 JUL 2022  Recorder of Titles
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INDEX SHEET **PRIORITY FINAL PLAN**

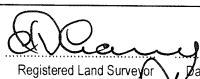
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 202 has been compiled from SP.182966 and this survey



202 TOTAL AREA - 6.709 ha

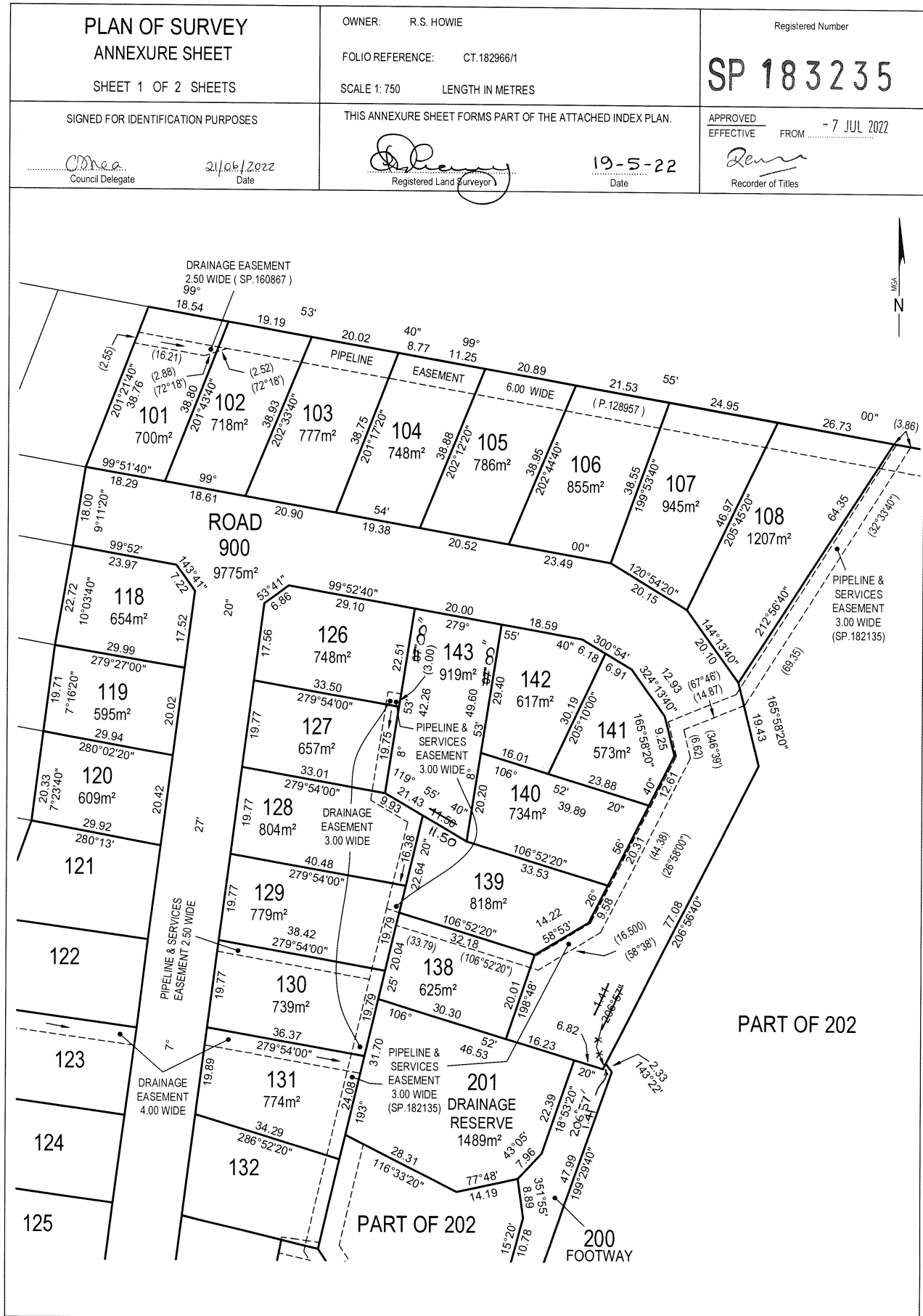
~~6.649 ha~~

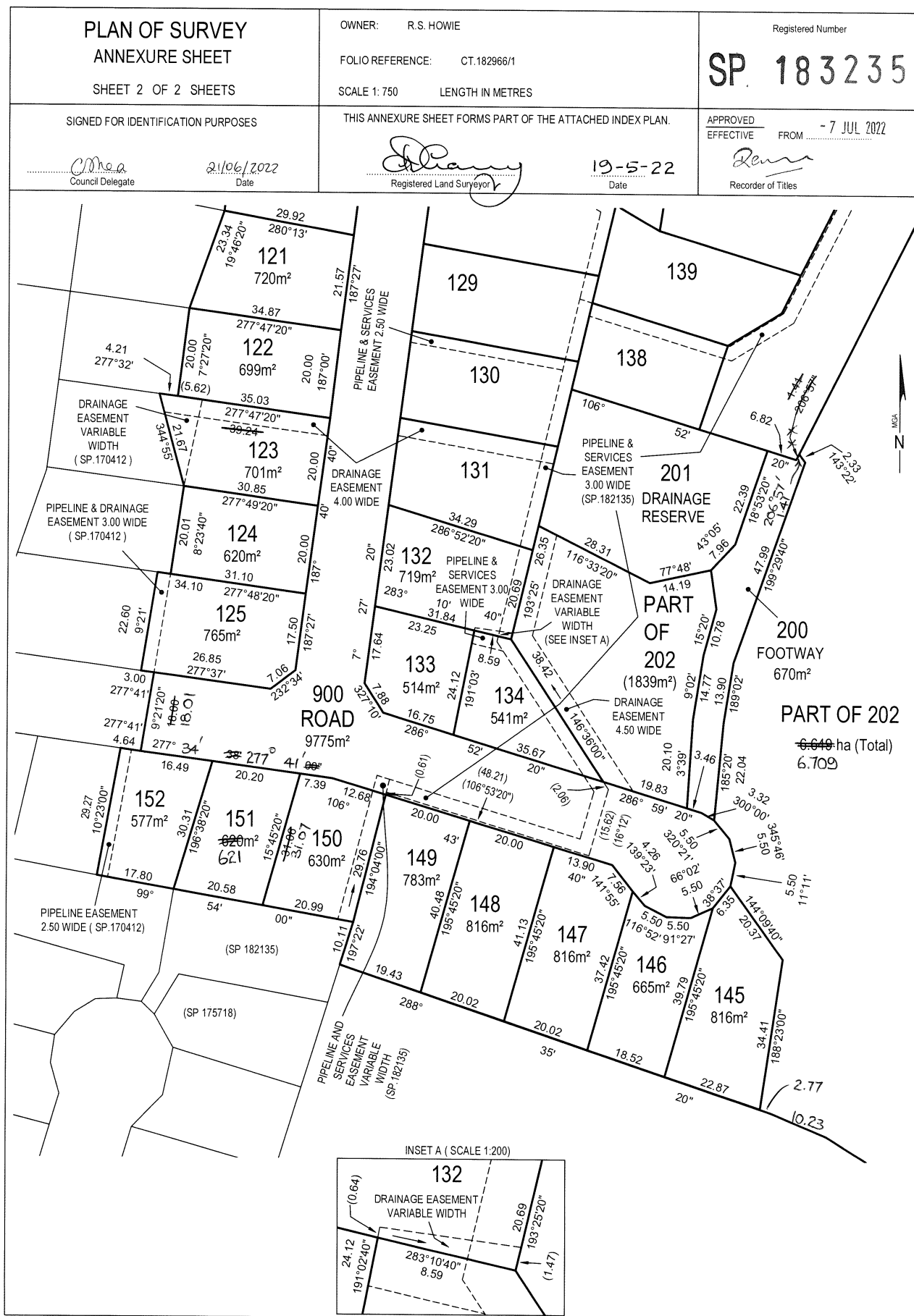
 19-5-22

Registered Land Surveyor Date

 21/06/2022

Council Delegate Date





SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 183235
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PAGE 1 OF 7 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

1. EASEMENTS

1.1 Lots 101 and 102

Lots 101 and 102 on the Plan are subject to a Right of Drainage in favour of Clarence City Council and TasWater over the land marked 'DRAINAGE EASEMENT 2.50 WIDE (SP.160867)' shown on the Plan.

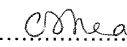
1.2 Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202

- (a) Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202 are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P.128957)' shown on the Plan ("the Easement Land").
- (b) Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202 are subject to a Pipeline Easement in favour of Clarence City Council and TasWater over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P.128957)' on the Plan and as created by and more fully set forth in Sealed Plan 178636.
- (c) Lots 101, 102, 103, 104, 105, 106, 107, 108 and 202 are subject to a Pipeline Right in favour of Clarence City Council over the land marked 'PIPELINE EASEMENT 6.00 WIDE (P.128957)' shown on the Plan as more fully set forth in C88284.

Signed by **R S Howie:**



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Robert Stuart Howie FOLIO REF: 182966/1 SOLICITOR & REFERENCE: Curtis Browne - 190508	PLAN SEALED BY: Clarence City Council DATE: 21st June 2022 SD-2008/48 REF NO. Stage 4, 5 & 6  Council Delegate Claire Shea
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP. 183235
SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 182966/1	

1.3 Lot 123

Lot 123 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over those areas of land marked 'DRAINAGE EASEMENT 4.00 WIDE' and 'DRAINAGE EASEMENT VARIABLE WIDTH (SP.170412)' shown on the Plan.

1.4 Lot 125

- (a) Lot 125 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & DRAINAGE EASEMENT 3.00 WIDE (SP.170412)' shown on the Plan ("the Easement Land").
- (b) Lot 125 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'PIPELINE & DRAINAGE EASEMENT 3.00 WIDE (SP.170412)' shown on the Plan.

1.5 Lots 126, 127, 128 & 129

- (a) Lots 126, 127, 128 & 129 are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 3.00 WIDE' shown on the Plan ("the Easement Land").
- (b) Lots 126, 127, 128 & 129 are subject to a Right of Drainage in favour of Clarence City Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan.

1.6 Lots 129, 130, 131, 132, 134, 138, 202 and 900

Lots 129, 130, 131, 132, 134, 138, 202 and 900 are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 3.00 WIDE (SP.182135)' shown on the Plan ("the Easement Land").

1.7 Lot 130

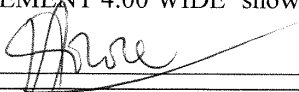
- a) Lot 130 is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 2.50 WIDE' shown on the Plan ("the Easement Land").

1.8 Lot 131

- b) Lot 130 is subject to a Right of Drainage in favour of Clarence City Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown on the Plan

Lot 131 is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'DRAINAGE EASEMENT 4.00 WIDE' shown on the Plan.

Signed by **R S Howie**:



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

18/5/22
 Curtis Rankin-Bourne
 Solicitor for the Vendor

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SUBDIVIDER: Robert Stuart Howie FOLIO REFERENCE: 182966/1	

1.9 Lot 132

Lot 132 is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'DRAINAGE EASEMENT VARIABLE WIDTH' shown on the Plan.

1.10 Lot 134

Lot 134 is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT 3.00 WIDE' shown on the Plan ("the Easement Land").

1.11 Lots 150 and 900

- (a) Lots 150 and 900 on the Plan are subject to a Right of Drainage in favour of Clarence City Council over the area marked 'DRAINAGE EASEMENT VARIABLE WIDTH (SP.182135)' shown on the Plan.
- (b) Lots 150 and 900 on the Plan are subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH (SP.182135)' shown on the Plan ("the Easement Land").

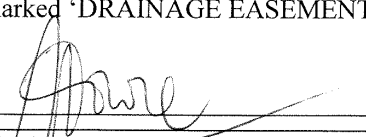
1.12 Lot 152

Lot 152 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE EASEMENT 2.50 WIDE (SP.170412)' shown on the Plan ("the Easement Land").

1.13 Lot 202

- (a) Lot 202 on the Plan is subject to a Pipeline and Services Easement (as defined herein) in favour of TasWater over the land marked 'PIPELINE & SERVICES EASEMENT "A", "B" & "C" 2.50 WIDE (SP.175718)', 'PIPELINE & SERVICES EASEMENT "C" 3.00 WIDE (SP.175718)' and 'PIPELINE & SERVICES AND DRAINAGE EASEMENT VARIABLE WIDTH (SP.175718)' shown on the Plan ("the Easement Land").
- (b) Lot 202 on the Plan is subject to an Electricity Infrastructure Easement in favour of Hydro-Electric Corporation over the land marked 'ELECTRICITY INFRASTRUCTURE EASEMENT 6.00 WIDE' on the Plan, more particularly set forth in C100545.
- (c) Lot 202 on the Plan is subject to a Right of Drainage in favour of Clarence City Council over the land marked 'DRAINAGE EASEMENT 4.50 WIDE' shown on the Plan.

Signed by **R S Howie**:



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- (d) Lot 202 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of Clarence City Council over the 'PIPELINE & SERVICES AND DRAINAGE EASEMENT VARIABLE WIDTH (SP.175718)' shown on the Plan.

2. COVENANTS

- 2.1 Each lot on the Plan is subject to restrictive covenants as more fully set out in SP170412 in relation to which the Vendor (**Robert Stuart Howie**) retains the right to modify, vary, waive or extinguish each or any of the covenants set out therein.

2.2 Additional covenants

The owner of each and every lot on the Plan (other than Lots 201 and 202) covenant with the Vendor (Robert Stuart Howie) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run and bind the covenantor's lot and every part thereof and that the benefit shall be annexed to and devolve with each and every other lot shown on the plan to observe the following stipulations: -

- Not to erect or place or permit to be erected or placed upon the lot a dwelling having a total floor area of less than 130m2 exclusive of any vehicle accommodation, external landings, patios and outbuildings.

Provided that the Vendor (Robert Stuart Howie) shall have the right to modify, vary, waive or extinguish each and every covenant set forth above.

3. FENCING PROVISION

In respect of each lot on the Plan the Vendor **Robert Stuart Howie** shall not be required to fence.

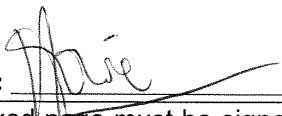
4. INTERPRETATION

"Pipeline and Services Easement" means:

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- 4.1 enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- 4.2 investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;

Signed by **R S Howie**:



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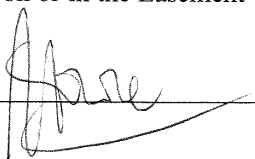
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP. 183235
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- 4.3 install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- 4.4 remove and replace the Infrastructure;
- 4.5 run and pass sewage, water and electricity through and along the Infrastructure;
- 4.6 do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- 4.7 if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- 4.8 use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;

Signed by **R S Howie**:



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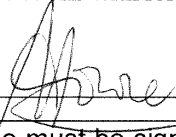
ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP. 183235
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- (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
- (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media
- (e) (excluding telemetry and monitoring devices);
- (f) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;

Signed by **R S Howie**: 

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 183235
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- (g) anything reasonably required to support, protect or cover any of the Infrastructure;
- (h) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (i) where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water and Sewerage Corporation Pty Limited ABN 47162 220 653, trading TasWater, established under the provisions of the water and Sewerage Corporations Act 2008 (Tas).

“Pipeline Easement” means the full and free right of every person (Dominant Owner) who is entitled to an estate or interest in possession indicated as the dominant tenement or any part of it, with which that right will be capable of enjoyment in common with the owner of the servient tenement to lay, use and maintain forever water mains and pipes of such size and number as shall from time to time be required in the strip of land shown on the plan and marked “pipeline Easement” (Servient Land) and for the Dominant Owner and their employees, agents and contractors from time to time and at all times to enter into and upon the Servient Land or any part of it bringing upon the Servient Land such material, machinery and other things as it considered fit and proper to inspect the condition of the mains and pipes and to repair, alter, amend and cleanse PROVIDED HOWEVER that any damage occasioned in doing so will be made good.

5. EXECUTION

Signed by **Robert Stuart Howie**

Witness Signature.....

Witness Name (in full) **Curtis Franklin Browne**.....

Legal Practitioner

Witness Address..... **Simmons Wolfhagen**.....

Level 4, 99 Bathurst Street

Witness Occupation..... **Hobart TAS 7000**.....

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DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
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10	DETAILS (CLADDING)
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19	3D VIEWS
20	GENERAL NOTES
21	WET AREA & ENERGY EFFICIENCY NOTES

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR

LIVING	131.85
PORCH	2.42
	134.27 m²

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

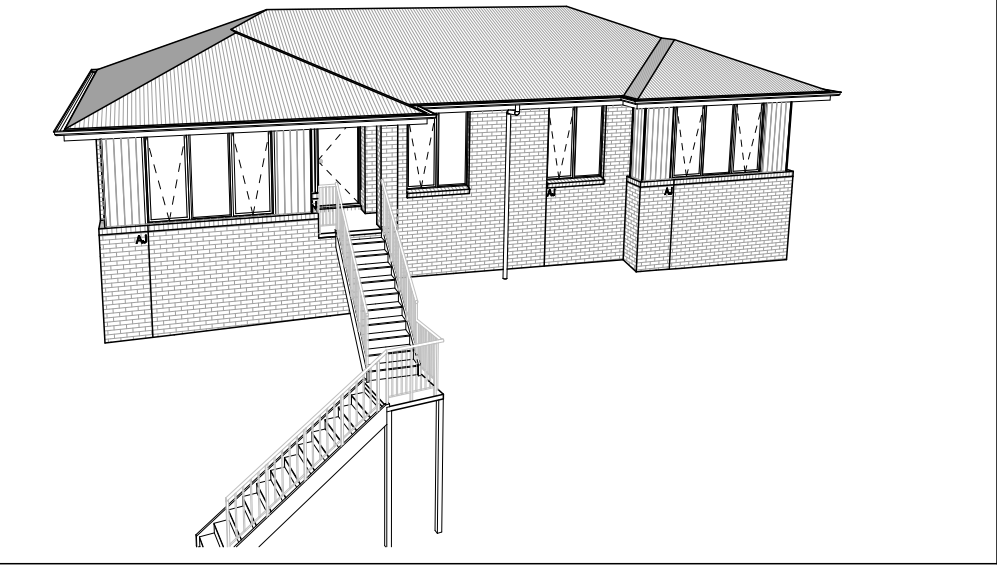
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	NO
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N3 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	M
SPECIFIC AREA PLAN OVERLAY	YES
	NORTH EAST DROUGHTY SPECIFIC AREA PLAN
TERRAIN CATEGORY	TC2
TOPOGRAPHIC CLASSIFICATION	T2
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	406m
WITHIN 50km BREAKING SURF	15.00km
ZONING	GENERAL RESIDENTIAL
AIRPORT OBSTACLE LIMITATION AREA	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	10,000mm
SIDE A	MIN. 1,500mm	1,500mm
SIDE B	MIN. 1,500mm	1,924mm
REAR	MIN. 1,500mm	9,036mm
BULK & SCALE		
SITE AREA	609m²	
SITE COVERAGE	MAX. 50%	22.05%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	546mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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PRELIMINARY PLAN SET

6	PRELIMINARY PLAN SET - PLAN CORRECTIONS	2	2026.08.20	NVO	-
5	PRELIMINARY PLAN SET - PLAN CORRECTIONS	ALL	2026.07.23	TRV	-
4	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2026.07.07	KPH	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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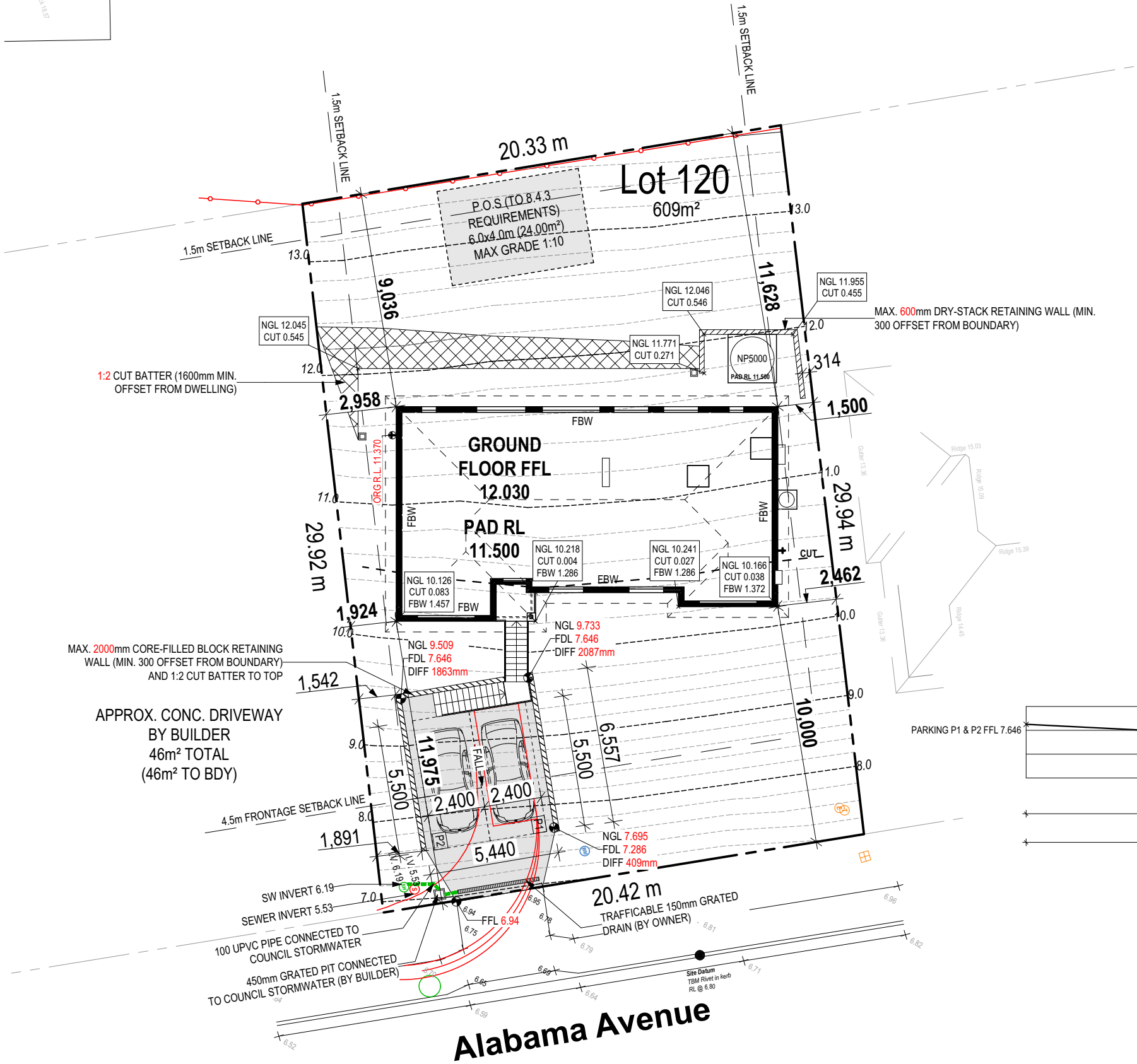
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NOW BY WILSON HOMES	2 CONSOLIDATED PROPOSAL 2	MFC 15/06/2026	MARIA ISABEL SANT'ANA & JAMIE CHARLES ROBERT WELSH	REDCLIFFE 14	H-WNWRCF10SA	
COPYRIGHT:	3 CONSOLIDATED PROPOSAL 3	MFC 24/06/2026	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
© 2026	4 PRELIM PLANS - INITIAL ISSUE	KPH 07/07/2026	ALABAMA AV, ROKEBY TAS 7019	DAINTREE	F-WNWRCF10DTREA	
	5 PRELIM PLANS - PLAN CORRECTIONS	TRV 23/07/2026	LOT / SECTION / CT:	SHEET TITLE:	SHEET No.:	
	6 PRELIM PLANS - PLAN CORRECTIONS	NVO 20/08/2026	120 / - / 183235	COVER SHEET	1 / 21	CLARENCE
						714777

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

APPROX. CUT/FILL		
CUT	16.62m³	37.40t
FILL	0.00m³	0.00t
DIFFERENCE	16.62m³	37.40t
37 TONNES OF EXPORT FILL		

LOT SIZE:	609m²
HOUSE (COVERED AREA):	134.27m²
SITE COVERAGE:	22.05%



RETAINING WALL DETAILS		
DESCRIPTION	HEIGHT (mm)	SURFACE AREA (m²)
	2,000	5.52
	2,000	11.62
	2,000	5.18
	1,600	2.29
	1,600	2.49
	1,200	1.68
	1,200	1.82
	800	0.69
	800	0.95
	600	0.42
	600	2.46
	400	0.80
	400	0.45
	200	0.18
		36.54 m²

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NOW

by Wilson Homes

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	5	PRELIM PLANS - PLAN CORRECTIONS			TRV 23/07/2026	LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
	6	PRELIM PLANS - PLAN CORRECTIONS			NVO 20/08/2026	120 / - / 183235	CLARENCE	SITE PLAN		2 / 21	1:200	
												714777

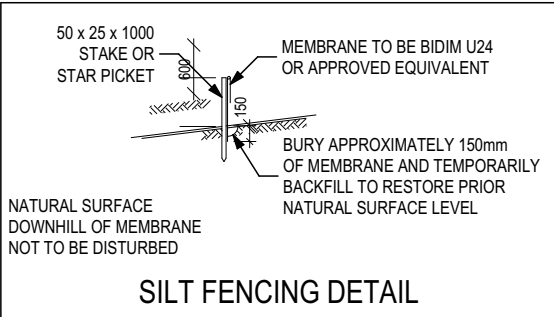
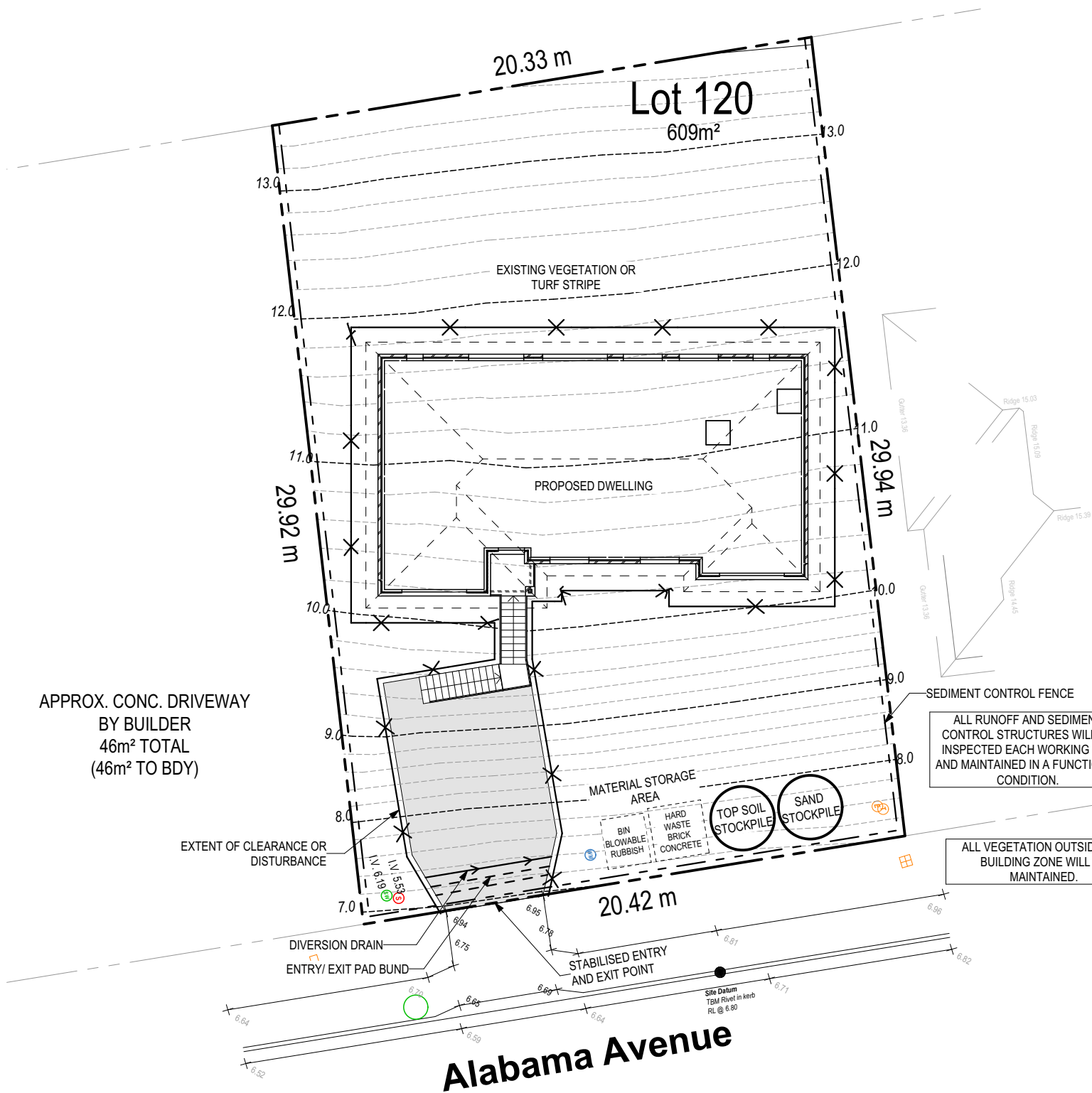
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

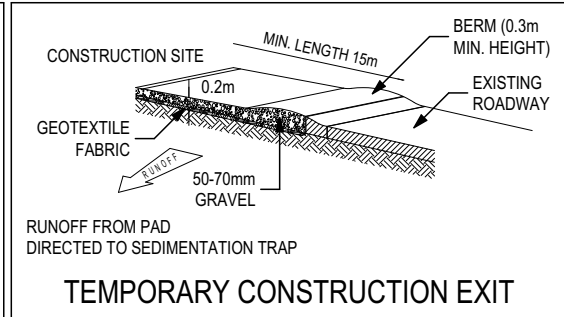
THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

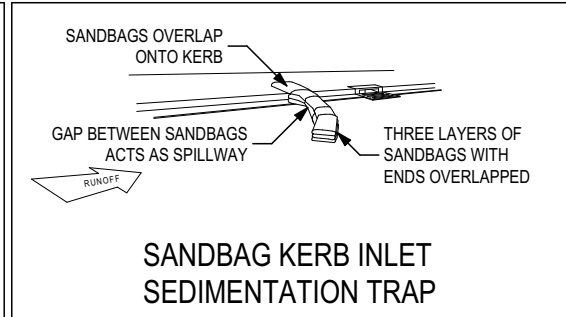
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET SEDIMENTATION TRAP

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WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

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COPYRIGHT: © 2026	2 CONSOLIDATED PROPOSAL 2	MFC 15/06/2026	MARIA ISABEL SANT'ANA & JAMIE CHARLES ROBERT WELSH	REDCLIFFE 14	H-WNWRCF10SA	
	3 CONSOLIDATED PROPOSAL 3	MFC 24/06/2026	ADDRESS: ALABAMA AV, ROKEBY TAS 7019	FACADE DESIGN: DAINTREE	FACADE CODE: F-WNWRCF10DTREA	
	4 PRELIM PLANS - INITIAL ISSUE	KPH 07/07/2026	LOT / SECTION / CT: 120 / - / 183235	SHEET TITLE: SOIL & WATER MANAGEMENT PLAN	SHEET No.: 3 / 21	
	5 PRELIM PLANS - PLAN CORRECTIONS	TRV 23/07/2026	COUNCIL: CLARENCE		SCALES: 1:200	714777
	6 PRELIM PLANS - PLAN CORRECTIONS	NVO 20/08/2026				

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

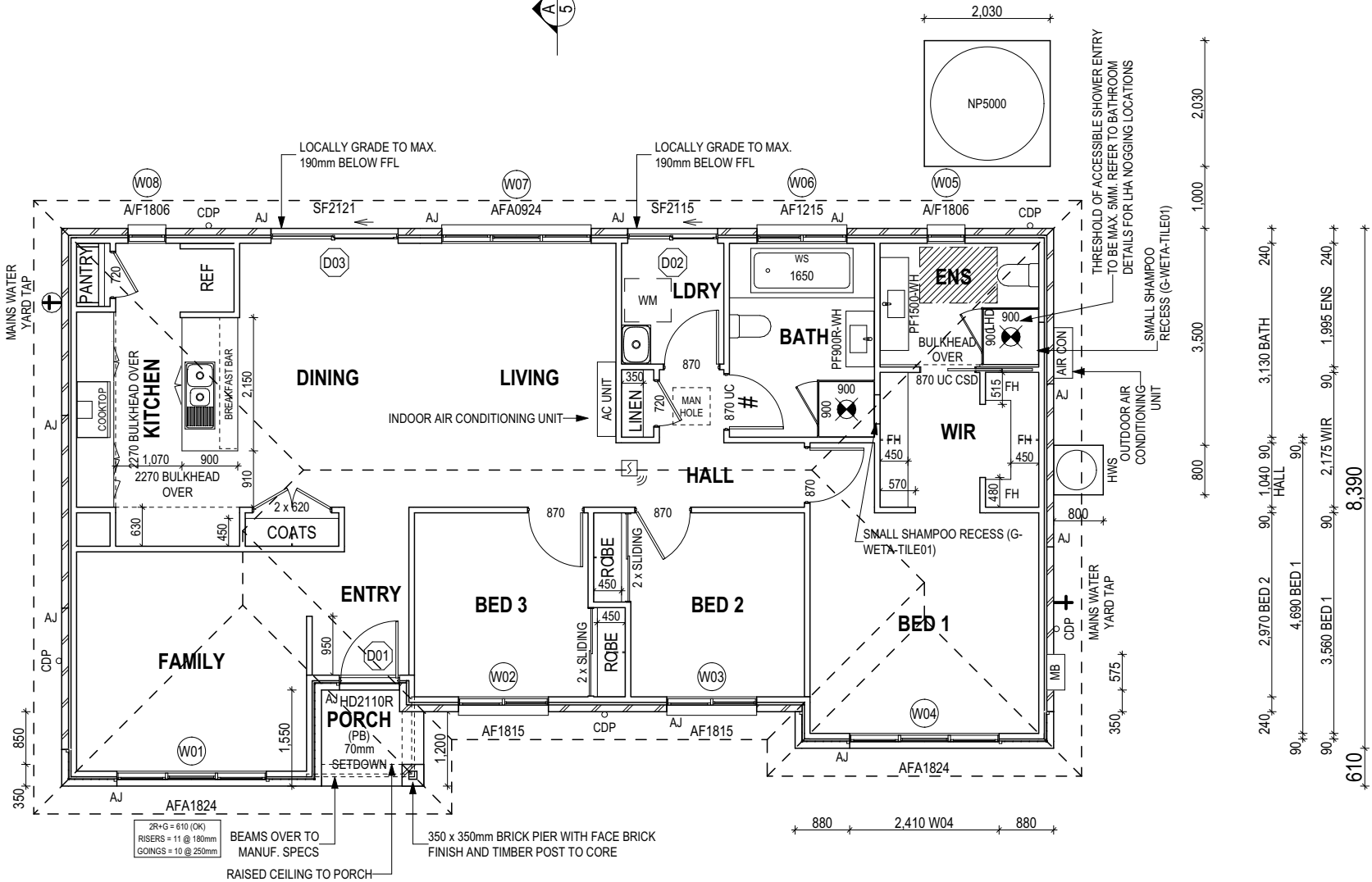
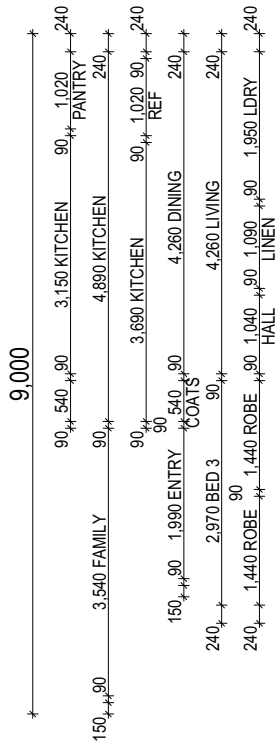
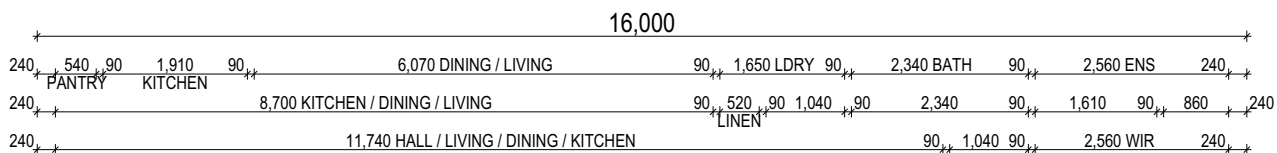
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



MAIN DWELLING, GROUND FLOOR

LIVING	131.85
PORCH	2.42
	134.27 m²



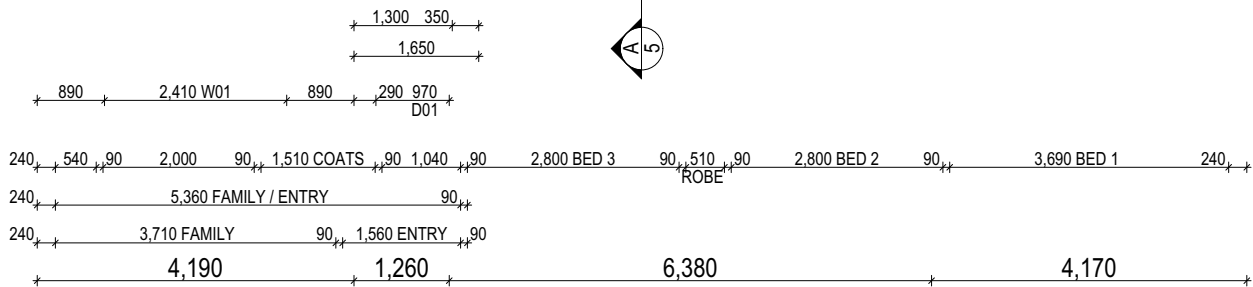
PROVIDE AND INSTALL SINGLE PHASE SPLIT SYSTEM AIR CONDITIONER. EXACT LOCATION TO BE DETERMINED IN CONJUNCTION WITH CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

LEGEND

- | | |
|----------|---------------------------|
| HS / WS | HOB SPOUT / WALL SPOUT |
| [Symbol] | FACE BRICK / COMMON BRICK |
| [Symbol] | RENDER |
| [Symbol] | SOUND INSULATION |
| AJ | BRICK ARTICULATION JOINT |
| SDP | STANDARD DOWNPIPE |
| CDP | CHARGED DOWNPIPE |
| [Symbol] | DENOTES DRAWER SIDE |
| [Symbol] | MECHANICAL VENTILATION |
| L.B.W | LOAD BEARING WALL |
| PB | PLASTERBOARD |
| FC | FIBRE CEMENT |
| [Symbol] | THIS DOOR OPENS FIRST |
| [Symbol] | SMOKE ALARM |
| # | LIFT OFF HINGE |
| + | WATER POINT |
| [Symbol] | FLOOR WASTE |
| [Symbol] | GAS BAYONET |



ALL DIMENSIONS ARE FRAME DIMENSIONS

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CONDENSATION MANAGEMENT
LIVABLE HOUSING

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	6 PRELIM PLANS - PLAN CORRECTIONS	NVO 20/08/2026	120 / - / 183235	GROUND FLOOR PLAN	4 / 21	
			COUNCIL:		SCALES:	
			CLARENCE		1:100	
						714777

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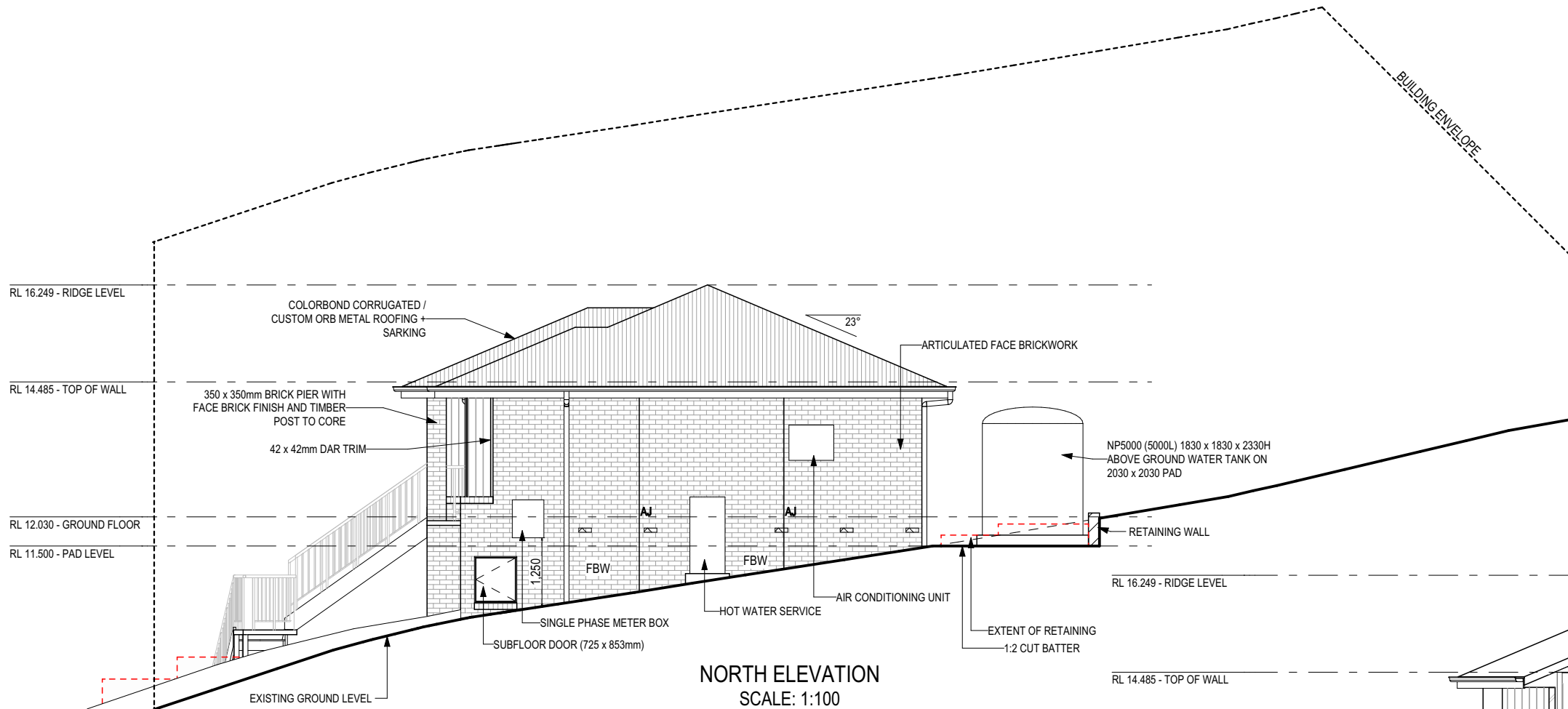
SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS: BRICK COURSING **W-BRIC-001**

 SUB-FLOOR VENT
PROVIDE SUBFLOOR VENTILATION AT MAX. 600mm FROM CORNERS AND EVENLY SPACED (REFER NCC FOR FURTHER DETAIL). FINAL LOCATIONS MAY BE ADJUSTED TO SUIT BRICKWORK GAUGE.

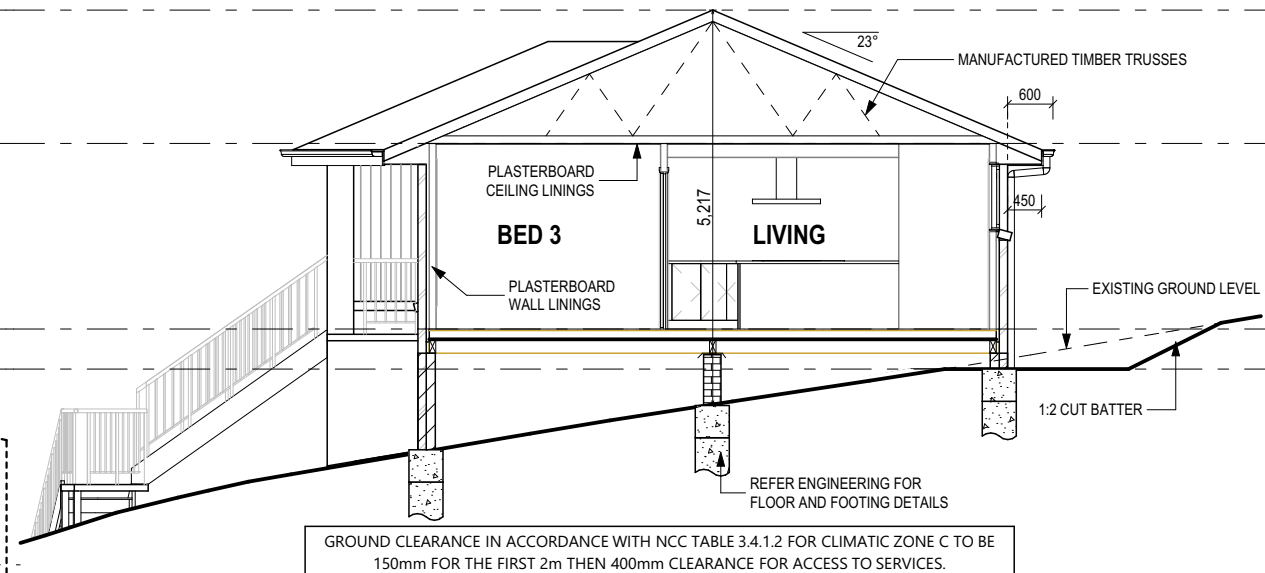


RL 16.249 - RIDGE LEVEL

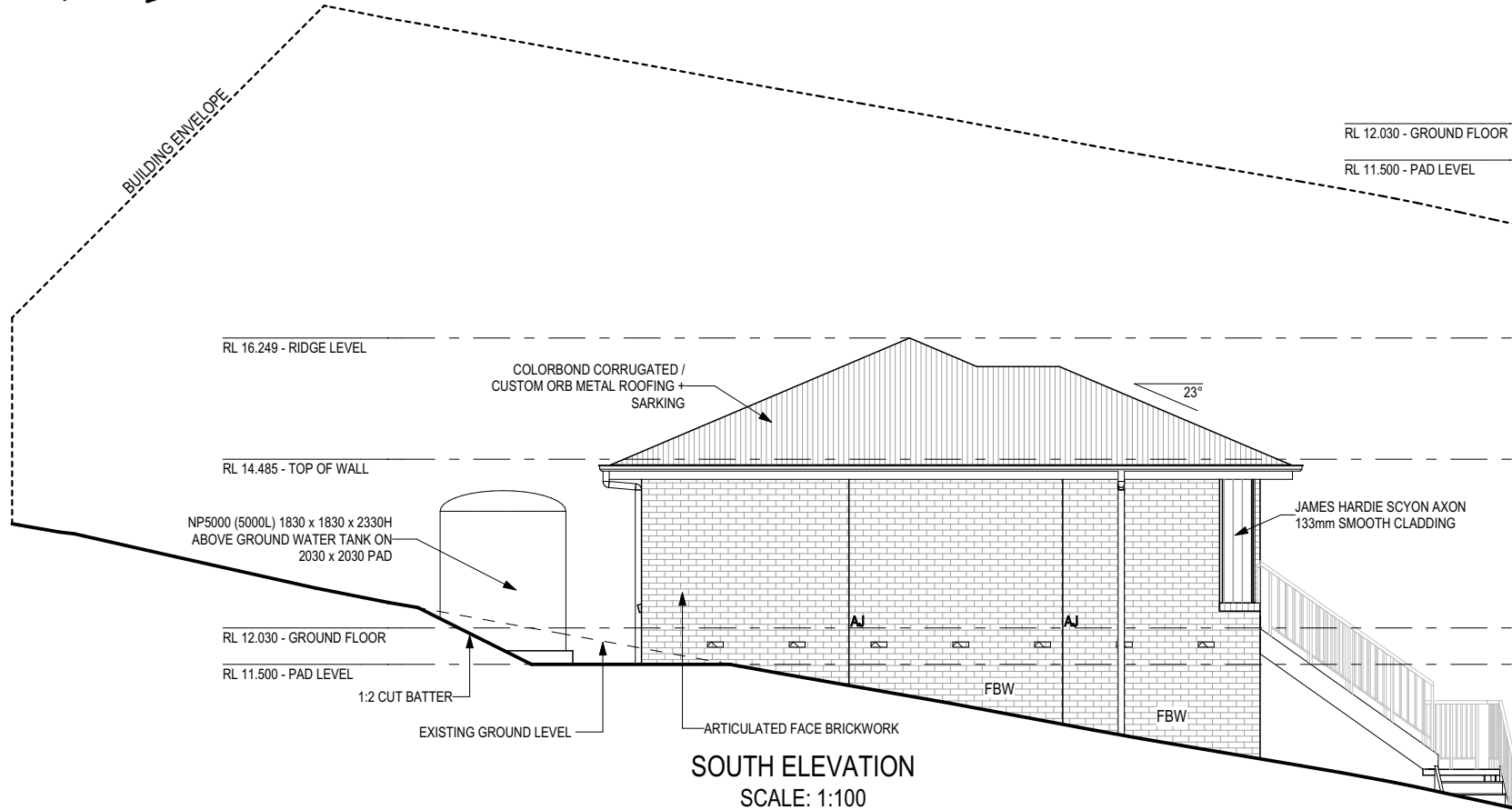
RL 14.485 - TOP OF WALL

RL 12.030 - GROUND FLOOR

RL 11.500 - PAD LEVEL



SECTION A-A
SCALE: 1:100



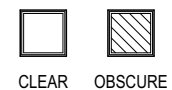
RL 16.249 - RIDGE LEVEL

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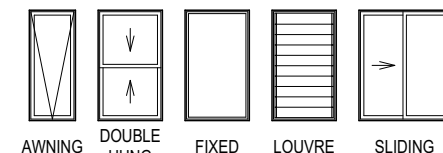
RL 12.030 - GROUND FLOOR

RL 11.500 - PAD LEVEL

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

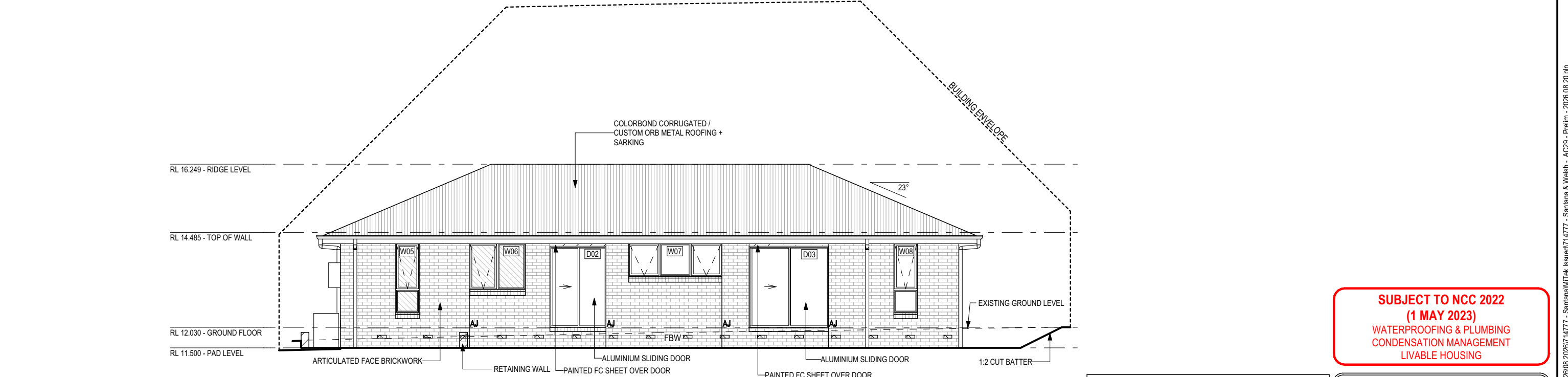
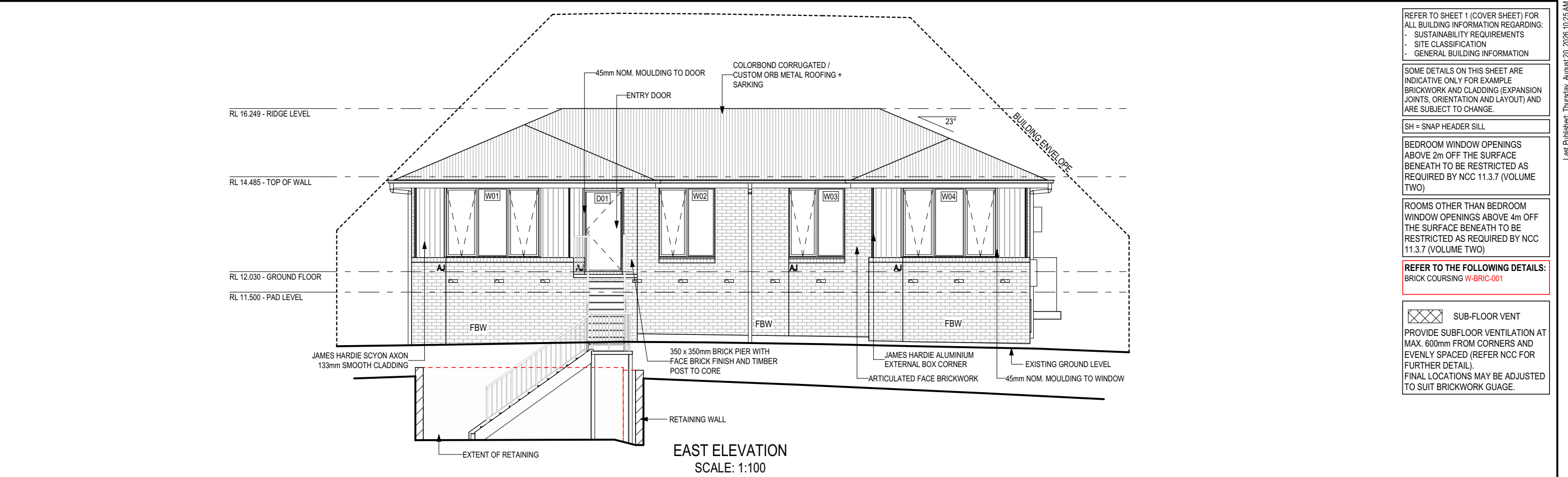
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	2	CONSOLIDATED PROPOSAL 2	MFC	15/06/2026				
	3	CONSOLIDATED PROPOSAL 3	MFC	24/06/2026				
	4	PRELIM PLANS - INITIAL ISSUE	KPH	07/07/2026				
	5	PRELIM PLANS - PLAN CORRECTIONS	TRV	23/07/2026				
	6	PRELIM PLANS - PLAN CORRECTIONS	NVO	20/08/2026				



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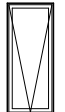
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FINAL LOCATIONS MAY BE ADJUSTED TO SUIT BRICKWORK GUAGE.

SUBJECT TO NCC 2022 (1 MAY 2023)
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GLASS TYPE LEGEND

	
CLEAR	OBSCURE

WINDOW TYPE LEGEND

				
AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

PLAN ACCEPTANCE BY OWNER

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SIGNATURE:	DATE:

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<

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AFA1824	AWNING	FAMILY	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	NONE	E	3.53	CLEAR, DOUBLE GLAZED	MP 803-803
GROUND FLOOR	W02	AF1815	AWNING	BED 3	1,800	1,450	6,500	2.61	ALUMINIUM	N/A	ANGLED	E	2.13	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W03	AF1815	AWNING	BED 2	1,800	1,450	6,500	2.61	ALUMINIUM	N/A	ANGLED	E	2.13	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W04	AFA1824	AWNING	BED 1	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	NONE	E	3.53	CLEAR, DOUBLE GLAZED	MP 803-803
GROUND FLOOR	W05	A/F1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	W	0.80	OBSCURE, DOUBLE GLAZED, TOUGHENED	BP 600
GROUND FLOOR	W06	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	N/A	ANGLED	W	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
GROUND FLOOR	W07	AFA0924	AWNING	LIVING	857	2,410	6,534	2.07	ALUMINIUM	N/A	ANGLED	W	1.56	CLEAR, DOUBLE GLAZED	MP 803-803
GROUND FLOOR	W08	A/F1806	AWNING	KITCHEN	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	W	0.80	CLEAR, DOUBLE GLAZED	BP 600
							51,314 mm	19.90					15.86		
DOOR															
GROUND FLOOR	D01	HD2110R	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	N/A	SNAP HEADER	E	1.41	N/A	
GROUND FLOOR	D02	SF2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	N/A	SNAP HEADER	W	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	SF2121	SLIDING	DINING	2,100	2,050	8,300	4.31	ALUMINIUM	N/A	SNAP HEADER	W	3.79	CLEAR, DOUBLE GLAZED, TOUGHENED	
							21,540 mm	9.39					7.79		
							72,854 mm	29.28					23.65		

Window Manufacturer: Dowell Windows

No BAL / BAL 12.5

Window Type	WERS Code	U Value	SHGC
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54

BAL 19

Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54

BAL 29

Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

NOTE:

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
-----	------	--------	-------	-----------

SUBJECT TO NCC 2022
(1 MAY 2023)

WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	2 x 620	SWINGING	2,040	1,240	N/A	
GROUND FLOOR	2	2 x SLIDING	SLIDING	2,295	1,440	N/A	
GROUND FLOOR	2	720	SWINGING	2,040	720	N/A	
GROUND FLOOR	4	870	SWINGING	2,040	870	N/A	
GROUND FLOOR	1	870 UC	SWINGING	2,040	870	N/A	20mm UNDERCUT, LIFT-OFF HINGES
GROUND FLOOR	1	870 UC CSD	CAVITY SLIDING	2,040	870	N/A	20mm UNDERCUT

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

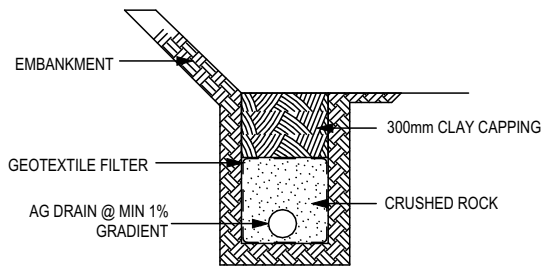
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	6		PRELIM PLANS - PLAN CORRECTIONS	NVO	20/08/2026	120 / - / 183235		CLARENCE		WINDOW & DOOR SCHEDULES		7 / 21		

714777



WHERE AG DRAIN IS <1.5m FROM FOOTING, THE FOLLOWING ENGINEERING PRINCIPLES ARE REQUIRED:

1. AG DRAIN TO BE CAPPED WITH 300mm OF CLAY TO PREVENT INGRESS OF SURFACE RUN-OFF UNLESS IT IS UNDER A PAVING SLAB ETC (AG DRAINS ARE DESIGNED FOR REMOVAL OF GROUND WATER, SURFACE WATER SHOULD BE DEALT WITH SEPARATELY).

2. AG DRAIN TO HAVE A MINIMUM 1% TO A GRATED PIT WHICH DRAINS TO THE STORMWATER SYSTEM.

3. INSTALL A GEOTEXTILE FILTER SOCK TO THE SLOTTED DRAIN, AND ENCLOSE THE WHOLE DRAIN IN GEOFABRIC (TO THE UNDERSIDE OF CLAY CAPPING)

4. PROVIDE ADDITIONAL GRATED PITS/ OR INSPECTION OPENINGS ALONG THE LENGTH OF THE AG DRAIN AND AT THE HIGH POINT TO MAKE THE EFFECT OF A BLOCKAGE VISIBLE AND ENABLE A BLOCKAGE TO BE CLEARED.

5. IF REQUIRED, IN GROUND ABSORPTION TRENCHES TO BE TREATED WITH GYPSUM AT 1kg/m², AS PER THE DISPERSIVE SOILS REPORT

AG DRAIN DETAIL N.T.S.

LEGEND

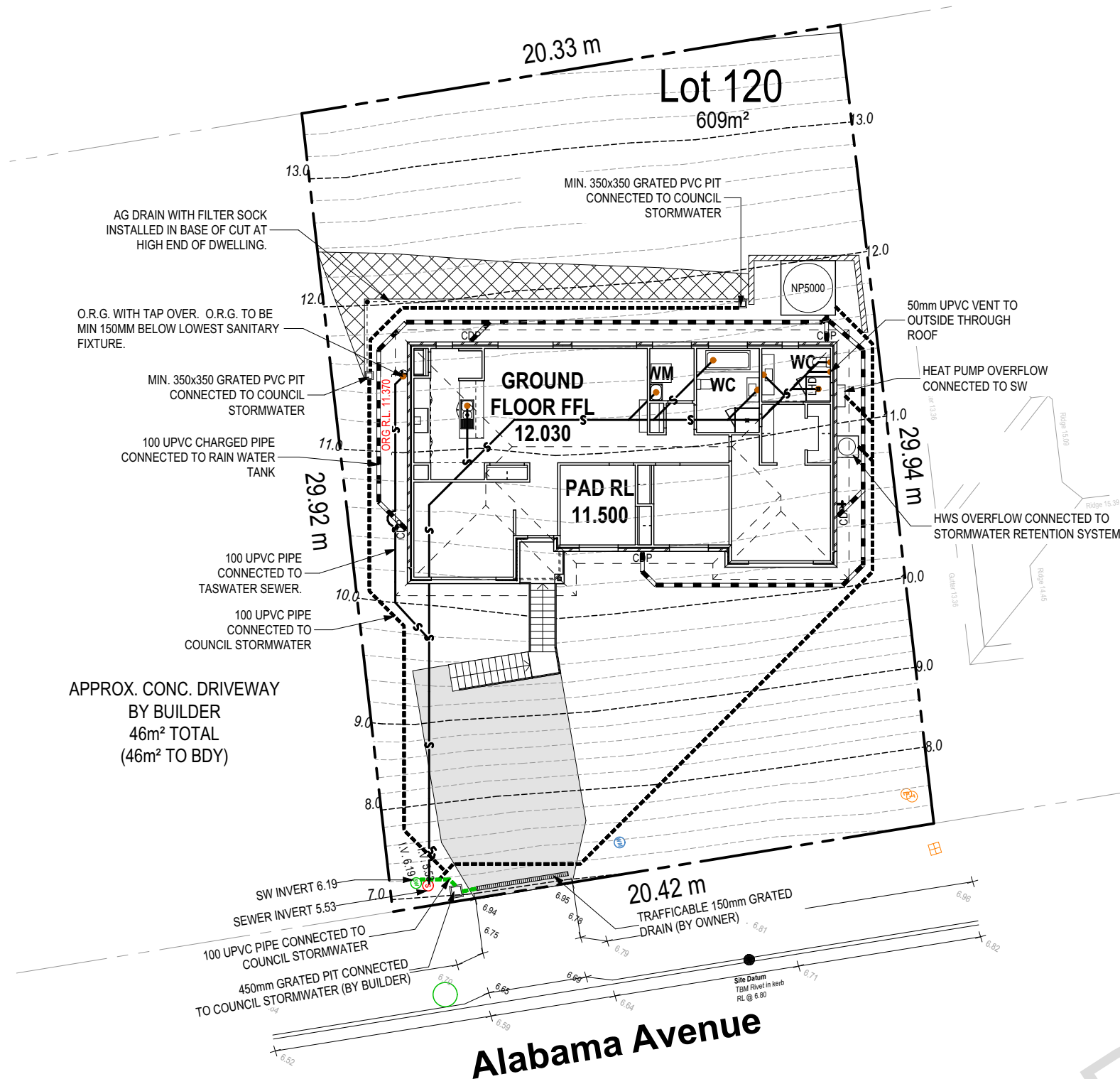
WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS

TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY

ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY

SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
---	RECYCLED COLD WATER LINE
---	TANK COLD WATER LINE
---	WATER LINE TO MAIN SUPPLY
---	NON-CHARGED STORMWATER LINE
---	CHARGED STORMWATER LINE
-S-	SEWERAGE LINE 100 UPVC
---	AG DRAIN
WM	WASHING MACHINE
WC	TOILET
+	YARD TAP
⊕	YARD TAP + ORG
●	INSPECTION OPENING
□	SURFACE PIT



**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

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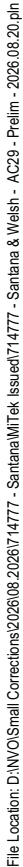
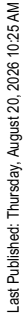
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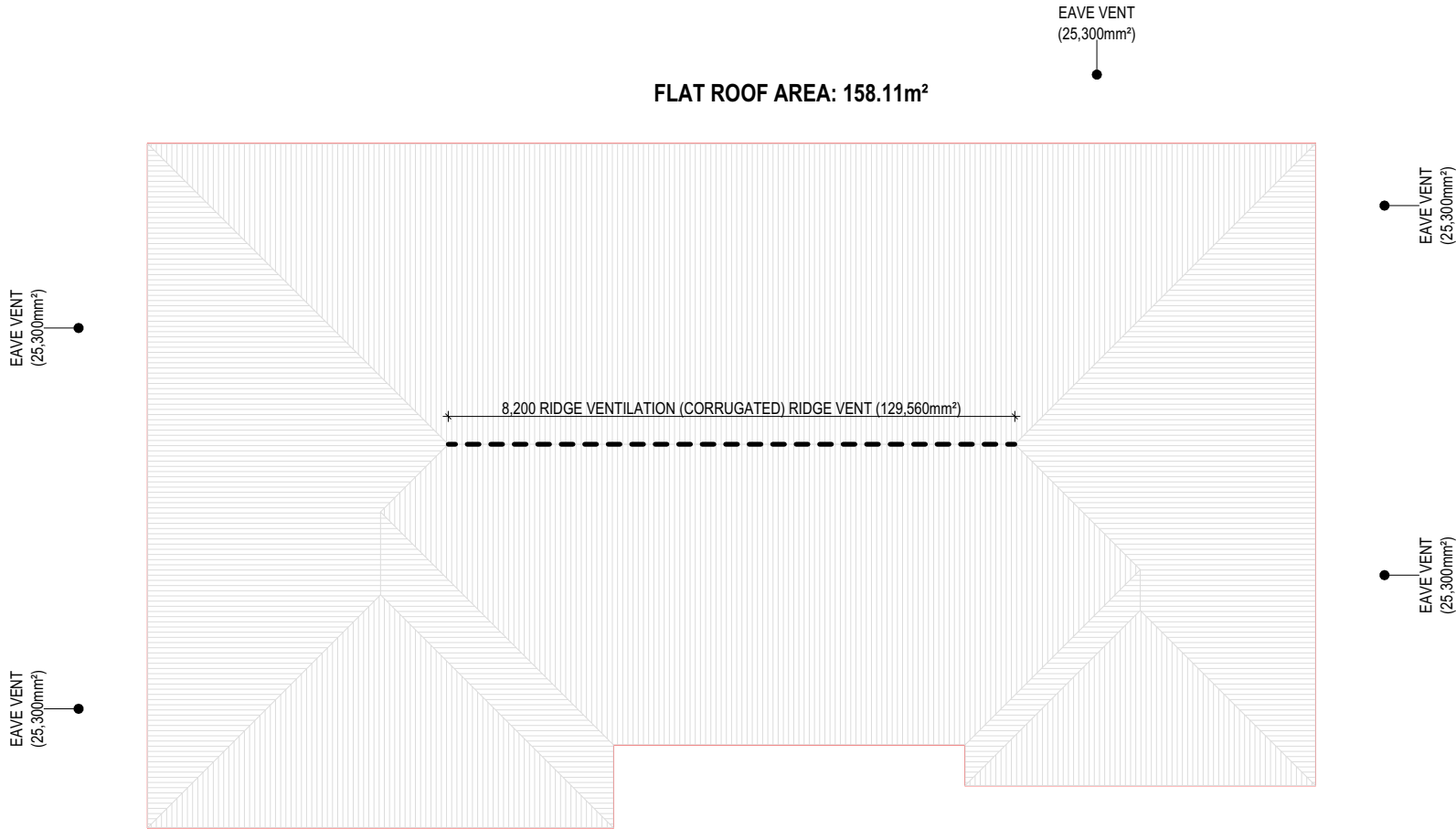
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	4 PRELIM PLANS - INITIAL ISSUE	KPH 07/07/2026	COUNCIL: CLARENCE		SCALES: 1:200	
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	6 PRELIM PLANS - PLAN CORRECTIONS	NVO 20/08/2026				



ROOF SPACE VENTILATION			
REFER TO ROOF PLAN FOR VENTILATION LOCATIONS			
GROUND FLOOR 23Â° ROOF			
LONGEST HORIZONTAL ROOF LENGTH		16.900m	
ROOF PITCH		23.00°	
HIGH LEVEL VENTILATION	REQUIRED	84,500mm² (5,000 x 16,900m)	
	PROVIDED	129,560mm²	
LOW LEVEL VENTILATION	REQUIRED	118,300mm² (7,000 x 16,900m)	
	PROVIDED	126,500mm²	
NO OF EAVE VENTS	REQUIRED	4.67	
	PROVIDED	5	



GROUND FLOOR 23° ROOF (ID 1)

ROOF LENGTH: 16.900m
ROOF PITCH: 23.0°
CEILING: FLAT
HIGH LEVEL VENTILATION REQUIRED: 84,500mm²
LOW LEVEL VENTILATION REQUIRED: 118,300mm²

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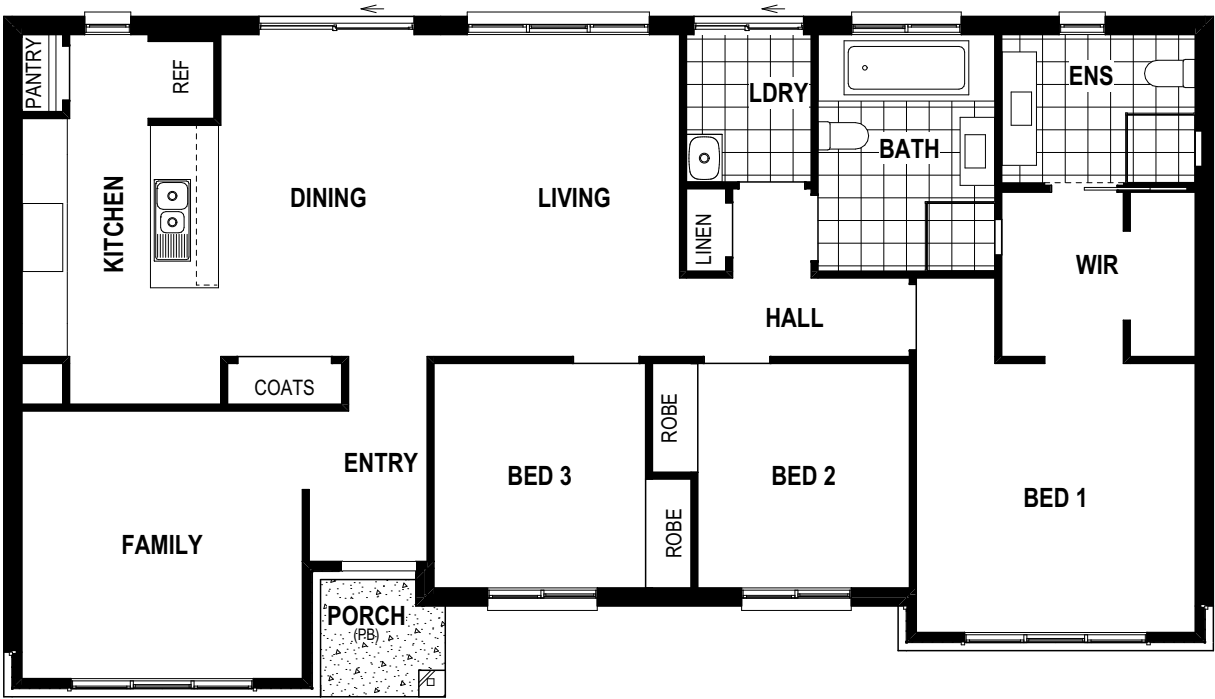
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- SITE CLASSIFICATION
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

	NO COVERING
	COVER GRADE CONCRETE
	CARPET
	LAMINATE
	TILE (STANDARD WET AREAS)
	TILE (UPGRADED AREAS)
	DECKING



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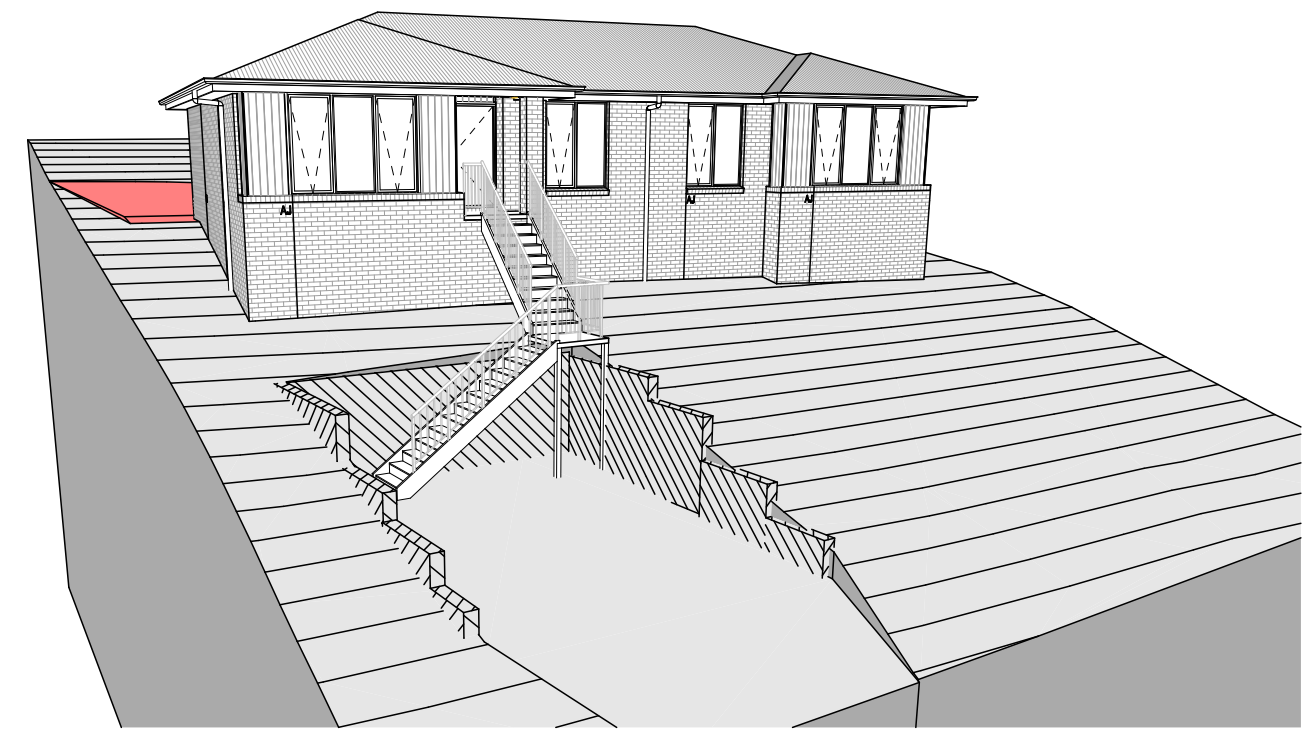
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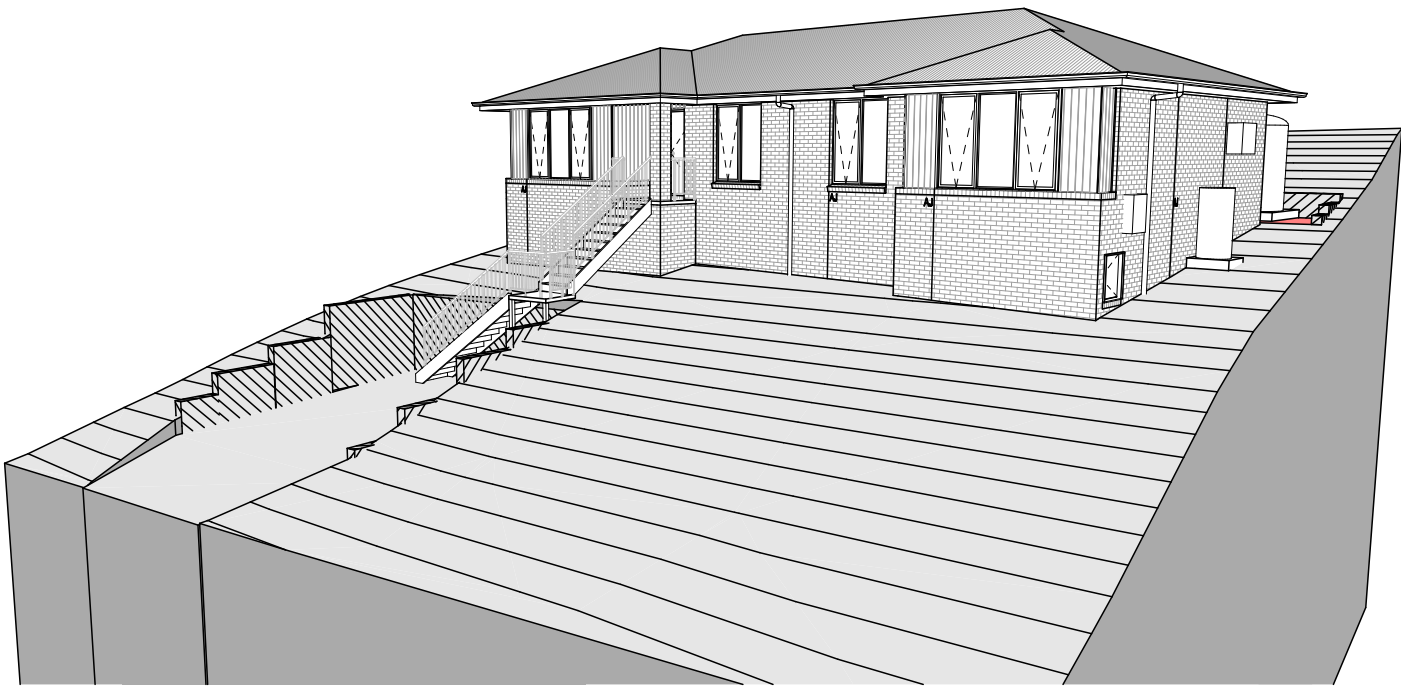
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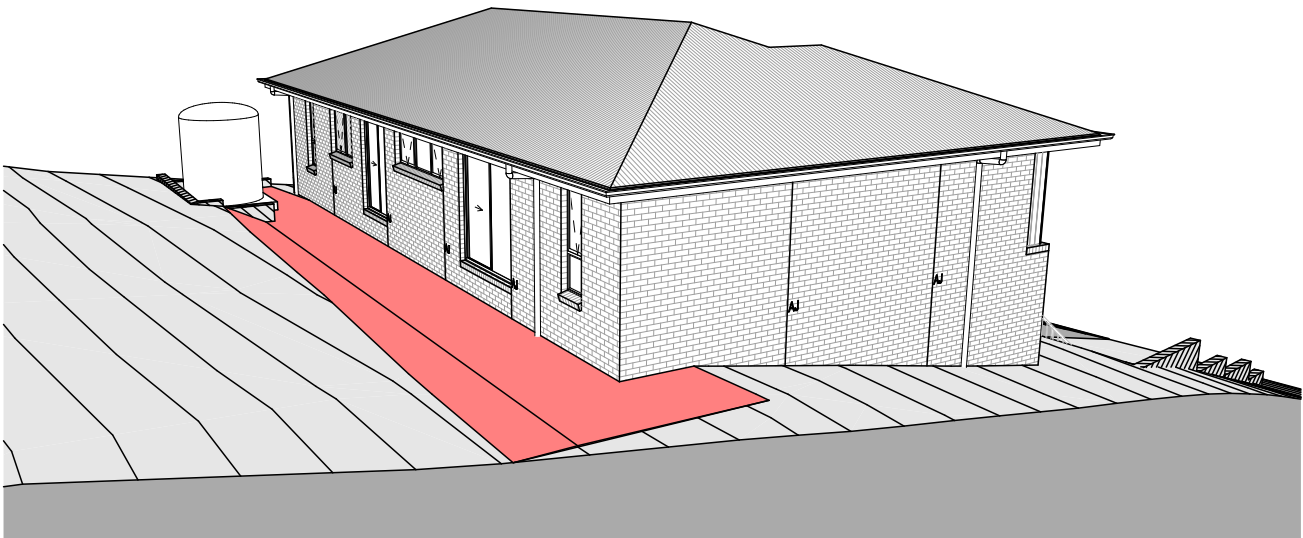
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				CLARENCE	FLOOR COVERINGS	14 / 21	1:100	714777



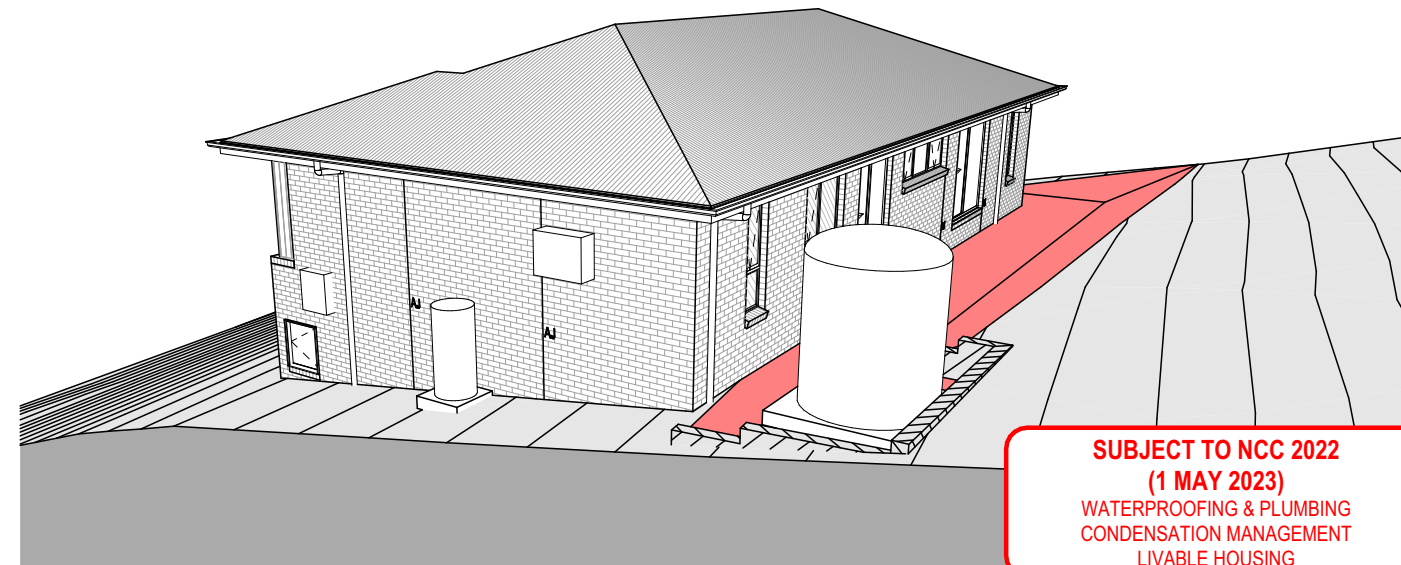
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

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WATERPROOFING & PLUMBING
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			6	PRELIM PLANS - PLAN CORRECTIONS	NVO	20/08/2026	120 / - / 183235	CLARENCE	3D VIEWS	19 / 21			
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