



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/063152

PROPOSAL: Dwelling

LOCATION: 7 Ploughman Road, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 14/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 14/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 14/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: 3 Bedrrom + 1 Garage, Single Floor Residence.

Location: Lot 22, 7 Ploughman Road, Howrah TAS 7018

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **VACANT General Residential Zone**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



GRANTEE: PART OF 730 ACRES GRANTED TO FRANCIS BUTLER & JUSTIN McCARTHY BROWNE

PLAN OF SURVEY

BY SURVEYOR TIMOTHY LEIGH GOWLLAND
ROGERSON AND BIRCH SURVEYORS
 UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK
 PH 6248-5898 MOB. 0419-594-966

CITY OF CLARENCE

SCALE 1:1000

LENGTHS IN METRES

REGISTERED NUMBER

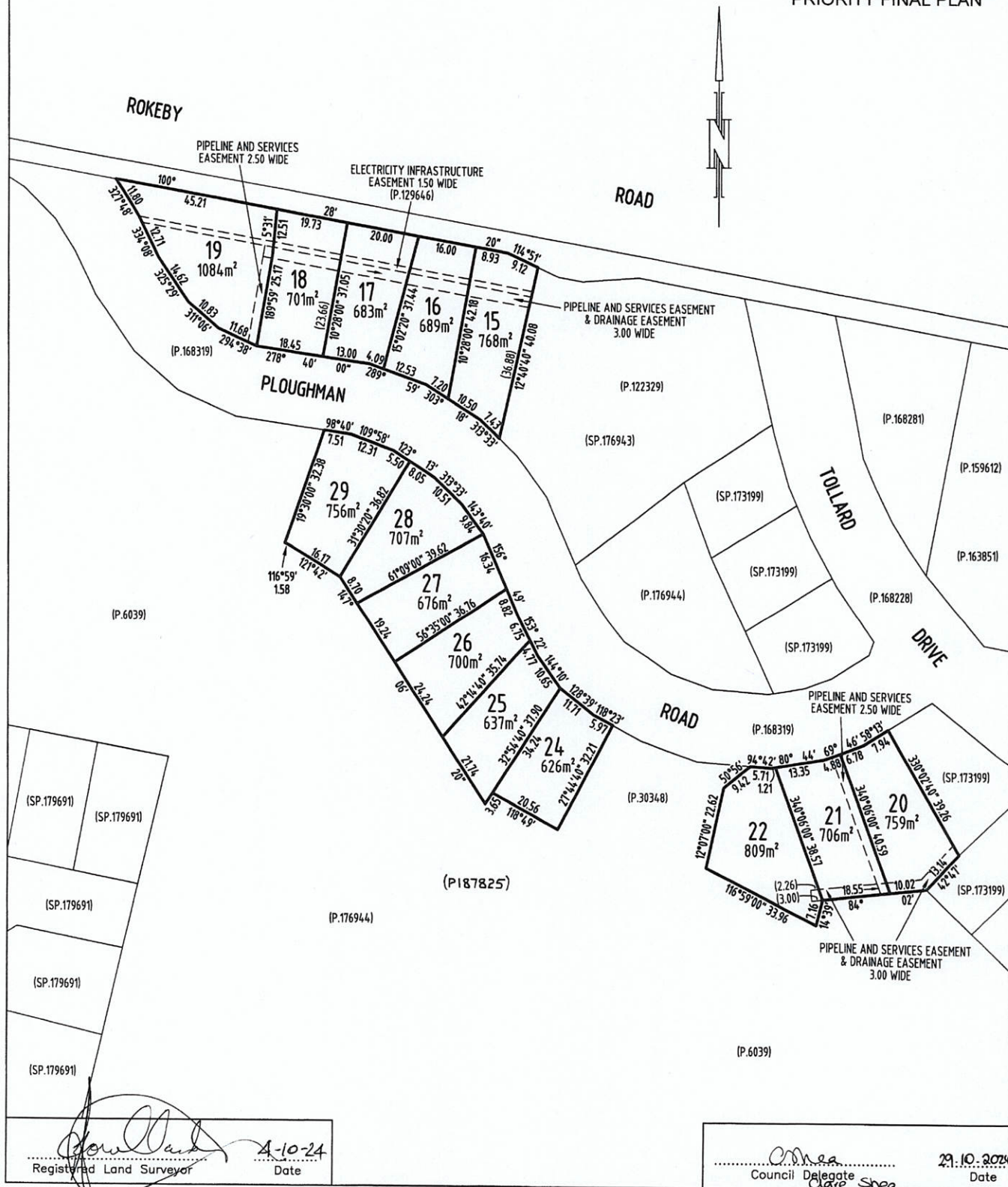
SP187824

APPROVED
EFFECTIVE FROM 15 NOV 2024

Recorder of Titles

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

PRIORITY FINAL PLAN



SCHEDULE OF EASEMENTS

Registered Number

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS
& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

SP 187824

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lot 15 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 16 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055
471 675

FOLIO REF: 176944/2

SOLICITOR
& REFERENCE: GCYG 2203595

PLAN SEALED BY: ~~COUNCIL SEALING PLAN~~

DATE: 29th October 2024 CLARENCE CITY COUNCIL

SD-2018/43

REF NO.

Council Delegate
Clare Shea

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 7 PAGES

Registered Number

SP 187824

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675
FOLIO REFERENCE: 176944/2

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 17 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 18 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of Drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.

Lot 19 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Pipeline & Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE on the Plan.

SUBJECT TO an Electricity Infrastructure Easement in gross in favour of Aurora Energy Pty Ltd over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 1.50 WIDE on the Plan and as created by and more fully set forth in C.135886.



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 3 OF 7 PAGES

Registered Number

SP 187824

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675
FOLIO REFERENCE: 176944/2

Lot 20 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan

Lot 21 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE on the Plan.

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

Lot 22 is:

SUBJECT TO a Pipeline and Services Easement in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

SUBJECT TO a Right of drainage in gross in favour of Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE on the Plan

FENCING PROVISION

In respect to each lot shown on the Plan the Vendor (Tranmere Point Pty Ltd ACN 055 471 675) shall not be required to fence.

DEFINITIONS

"**Easement Land**" means the land which is subject to an easement in favour of TasWater.

"**Infrastructure**" means-

Infrastructure owned or for which TasWater is responsible and includes but is not limited to-

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;



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02

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SCHEDULE OF EASEMENTS**

PAGE 4 OF 7 PAGES

Registered Number

SP 187824

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675
FOLIO REFERENCE: 176944/2

- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"Owner" means the registered proprietors of the lot in the folio of the Register from time to time.

"Pipeline and Services Easement" means-

FIRSTLY, THE FULL RIGHT AND LIBERTY for the TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and



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PAGE 5 OF 7 PAGES

Registered Number

SP 187824

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675
FOLIO REFERENCE: 176944/2

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

"TasWater" means the Tasmanian Water and Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors & assigns.

"Electricity Infrastructure Easement" means –

FIRSTLY all the full and free right and liberty for Aurora Energy Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called "Aurora") at all times hereafter:

- (1) **TO** maintain, lay, and install underground cables, in connection with the distribution of electricity (hereinafter called "electricity infrastructure") of such materials and type as Aurora may determine under the land respectively marked "Electricity Infrastructure" on Plan 129646 (hereinafter called the "servient land").
- (2) **TO** enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby.
- (3) **TO** erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of Aurora these are necessary for reasons of safety.
- (4) **TO** cause or permit electrical energy to flow or be transmitted or distributed through the electricity infrastructure.



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SCHEDULE OF EASEMENTS**

PAGE 6 OF 7 PAGES

Registered Number

SP 187824

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675
FOLIO REFERENCE: 176944/2

- (5) **TO** enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary and in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land.
- (6) **NOTHING** herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land **PROVIDED THAT** such use does not derogate from this grant or, in the reasonable opinion of Aurora compromise the safe operation of Aurora electricity infrastructure located on, above or under the servient land.

SECONDLY the benefit of a covenant for Aurora and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of Aurora to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.

"Vendor" means Tranmere Point Pty Ltd ACN 055 471 675.



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**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 7 OF 7 PAGES

Registered Number

SP 187824

SUBDIVIDER: TRANMERE POINT PTY LTD ACN 055 471 675
FOLIO REFERENCE: 176944/2

Signed by **TRANMERE POINT PTY LTD ACN 005
471 675** by their Attorney **ANGELO PAVLIDES**
under Power of Attorney PA38210 (and the said
Angelo Pavlides declares that he has received no
notice of revocation of the said Power of Attorney)
as registered proprietor of the land comprised in
Certificate of Title Volume 176944 Folio 2
in the presence of:



WITNESS: 
FULL NAME: Gina Goh Chia Yii
ADDRESS: 10 Victoria Street
Hobart Tas 7000
OCCUPATION: lawyer

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SEARCH OF TORRENS TITLE

VOLUME 187824	FOLIO 22
EDITION 1	DATE OF ISSUE 15-Nov-2024

SEARCH DATE : 30-July-2026

SEARCH TIME : 02.21 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 22 on Sealed Plan [187824](#)

Derivation : Part of 730 Acres Gtd. to Francis Butler & Justin

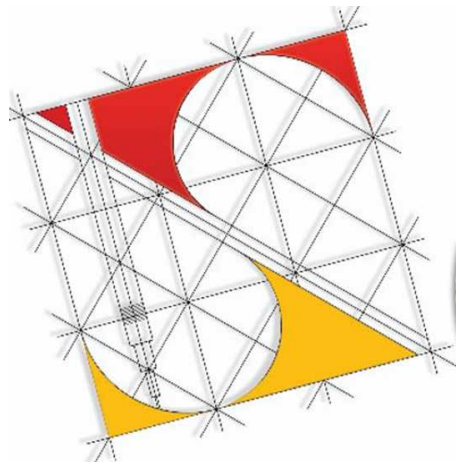
McCarthy Browne

Prior CT [176944/2](#)SCHEDULE 1[B775024](#) TRANSFER to TRANMERE POINT PTY LTDSCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP[187824](#) EASEMENTS in Schedule of EasementsSP[187824](#) FENCING PROVISION in Schedule of EasementsUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Urban Space Designers

Building Design and Drafting

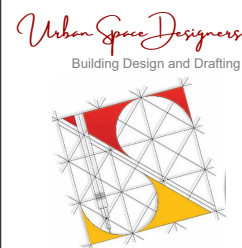
PROPOSED DWELLING

Lot 22, 7 Ploughman Rd, Howrah, TAS 7018

Sheet List		
Sheet No.	Sheet Name	Revision
A00	COVER SHEET	C
A01	NOTES	C
A02	SITE PLAN	C
A03	SURVEY PLAN	C
A04	DIMENSION PLAN	C
A05	ROOF PLAN	C
A06	ELEVATIONS	C
A08	SERVICE PLAN	C
A10	LANDSCAPE PLAN	C
A11	ELECTRICAL PLAN	C
A13	FLOOR FINISH PLAN	C
A22	SHADOW 9AM	C
A23	SHADOW 12PM	C
A24	SHADOW 3PM	C



3D VIEWS FOR ILLUSTRATION PURPOSE ONLY



Phone:
0402438170

Email:
info@urbanspacedesigners.com.au
Website:
www.urbanspacedesigners.com.au

Accreditation:
TAS - 381246362
VIC - DP-AD 72846

The information contained in this document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies to Urban Space Designers for direction prior to the commencement of work. Drawings to be read in conjunction with all other contract documents. Use figured dimensions only. **Do not scale from drawings.**
USD cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
IF IN DOUBT ASK.
The completion of the issued details checked and authorized section below is confirmation of the status of the drawing. The drawing shall not be used for the construction unless endorsed "for construction" and authorized for issue. Read these drawings in conjunction with drawings prepared by **USD**. Refer any discrepancies with the architect before proceeding with any building works.
The drawing is prepared as built and strict instructions to builders to have a physical measurement before referring this drawing and inform **USD** if there are any gaps in dimensions.

Client:
HK & GK

Project:
SINGLE STOREY DWELLING

Address:
LOT 22, 7 PLOUGHMAN RD,
HOWRAH, TAS - 7018

Rev	Description	Date	DRAWINGS
A	Dwgs. revised as per RFI dt. 10.08.2026	10.08.2026	CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings. ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.
B	Driveway Longitudinal Section shown. Concrete pavement shown on service plan.	18.08.2026	
C	Driveway spot levels shown as per section.	20.08.2026	

Sheet: COVER SHEET		
Drawn: GK		
Scale:	Size: A3	Date: 28/07/2026
Project: 22PR/TAS/ARCH-2026	Sheet No.: A00	Rev: C

GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING ACT 1993, BUILDING REGULATIONS 2018, NCC 2022 AND RELEVANT STANDARDS THE BUILDER AND SUBCONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, RELEVANT LEVELS AND DIMENSIONS ON-SITE PRIOR TO COMMENCING ANY BUILDING WORKS OR PREFABRICATION. ARCHITECTURAL DRAWING SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING COMPUTATIONS OR STRUCTURAL DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. BUILDER TO ADHERE TO ALL BUILDING PERMIT CONDITIONS AND PLANNING PERMIT CONDITIONS. PLEASE CONSULT ARCHITECT IF THERE ARE ANY DISCREPANCIES. ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH RELEVANT S.A.A CODES, NCC 2022 AND LOCAL COUNCIL BY- LAWS.

DO NOT SCALE DRAWINGS

PROVIDE IMPERVIOUS FLOOR & WALL FINISHES TO ALL WET AREAS INACCORDANCE WITH NCC PART 10.2
CONNECT STORMWATER AND SULLAGE DRAINS INTO LEGAL POINTS OF DISCHARGE ALL DRAINS SHALL COMPLY WITH LOCAL AUTHORITIES REGULATIONS AND AS3500.3-2015
PROVIDE 90MM DIA. AGRICULTURAL DRAINS TO THE BASE OF ALL EXCAVATIONS BANKS AND RETAINING WALLS. CONNECT TO STORMWATER VIA SILT PIT. SMOKE ALARMS TO COMPLY WITH AS3786-2014.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5. SMOKE ALARMS MUST BE INTERCONNECTED DIRECTLY TO MAINS POWERS. REFER TO SOIL REPORT FOR SOIL CLASSIFICATIONS AND FOUNDING DEPTHS. ALL EXPOSED STEEL TO BE HOT DIPPED GALVANISED.
PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH NCC PART 10.6 AS REQUIRED. ALL EXHAUST FANS ARE TO DISCHARGE TO THE EXTERIOR OF THE BUILDING.

PART 4 FOOTINGS & SLABS

REINFORCED CONCRETE STRIP FOOTINGS & PAD FOOTINGS TO ENGINEERS DESIGN. FOOTING CONSTRUCTION TO COMPLY WITH NCC PART 4.2 & AS2870-2011

PART 6 & 7 WALL FRAMING

TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES.
PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. ALL STRUCTURAL STEEL IS TO COMPLY WITH AS4100-1998 (R2016) WALL TIE DOWNS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 7 OF THE NCC 2022. THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS. ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL (PART 6.3 OF THE NCC 2022).

PART 5 MASONRY

ALL MASONARY WORK IS TO COMPLY WITH AS4773-SET:2015 AND NCC PART 5.2

PART 4 & 5 CONCRETE STRUCTURES

ALL CONCRETE STRUCTURES ARE TO COMPLY WITH AS 3600-2009 AND NCC PART 4 & 5

INSULATION

REFER TO ENERGY REPORT FOR INSULATION REQUIREMENTS IN WALLS AND CEILINGS.
PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS: 50 MM THICK FIBERGLASS BLANKETS. SISILATION FLAMMABILITY INDEX NO GREATER THAN 5. SUPPLY AND INSTALL.

PART 8 WINDOWS/GLAZING

ALL WINDOWS SHALL CONFORM TO AS2047-2014 AND ALL GLAZING TO AS1288 -2006 & NCC PART 8.3
GLAZING WITHIN 2000MM OF THE F.F.L IN BATHROOMS OR ENSUITES IS TO BE GRADE A SAFETY GLASS
ALL SIZES SHOWN ARE NOMINAL AND SHOULD BE COMPARED TO MANUFACTURERS STANDARD SCHEDULE BEFORE CONSTRUCTION COMMENCES. NON-STANDARD WINDOWS TO HAVE SIZES CHECKED ON SITE PRIOR TO MANUFACTURING. REFER TO ELEVATIONS FOR SASH ARRANGEMENT. ALL WINDOW SIZES & CLEARANCES TO BE CHECKED ON SITE PRIOR TO MANUFACTURING.
GRADE A SAFETY GLASS IS REQUIRED TO ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS, SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0 M ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, BOTTOM OF THE BATH, OR SHOWER BASE PLEASE NOTE THAT WINDOWS CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING AND GREATER THEN 500MM IN WIDTH, 1M IN HEIGHT AND WITHIN 700MM OF THE FINISHED FLOO ARE TO BE PROVIDED WITH A MID-HEIGHT MOTIF WITHIN ITS PANEL IN ACCORDANCE WITH PART 8.4 OF THE NCC 2022.

TIMBER FRAMING

TIMBER WALL FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES. PROVIDE DOUBLE STUD, STUMP & PAD UNDER ALL LOAD POINTS. WALL BRACING LAYOUT IN CONJUNCTION WITH THE WALL TIE DOWN DETAILS (TOP PLATES TO STUDS) ARE TO COMPLY WITH AS1684-2010. WALL TIE DOWNS (TOP PLATES TO STUDS) ARE TO BE INSTALLED AT MINIMUM 1800 CTRS (EVERY 4TH STUD). THE TYPES OF WALL TIES DOWNS MAY BE INCLUSIVE OF METAL STRAPS, BOLTS, SCREWS, COACH SCREWS AND FRAMING ANCHORS. WALL BRACING NO GREATER THEN 9M APART.

TRUSS/POSISTRUTT

PROVIDE AN ELECTRONIC COPY OF THE ROOF TRUSS/POSISTRUTT MANUFACTURER'S DESIGN AND LAYOUT OF THE BEAMS ARE TO BE SUBMITTED PRIOR TO THE FRAME INSPECTION BEING CARRIED OUT. NOTE: THE FRAME INSPECTION WILL NOT BE CARRIED OUT UNTIL SUCH TIME THAT COPY OF FULL TRUSS COMPUTATIONS AND LAYOUT PLANS ARE PROVIDED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR. NOTE DISCS WILL NOT BE ACCEPTED

DRAINAGE

ALL EXISTING UNDERGROUND SERVICES ARE TO BE LOCATED PRIOR TO EXCAVATION FOR NEW PIPES LINES AND NO EXISTING SERVICE SHALL BE DISCONNECTED OR DISTURBED WITHOUT APPROVAL FROM ENGINEER. STORM-WATER DRAINS SHALL BE 100MM DIAMETER AT A GRADE OF 1:100 UNLESS NOTED OTHERWISE.
ALL PIPE JUNCTIONS SHALL BE WITH A 45 DEGREE JOINT.
ALL U-PVC PIPES SHALL CONFORM TO AS1260-2009 "PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION"
THE SITE SHOULD BE DRAINED SO THAT THE WATER CANNOT POND AGAINST OR NEAR THE BUILDING. THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHOULD BE GRADED TO FALL 50MM OVER THE FIRST METER. WHERE THIS IS IMPRACTICABLE (I.E. SEVERAL SLOPING SITES) USE AGGIE DRAINS ADJACENT TO THE FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.
FLOORING
REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

SUB-FLOOR

SUB-FLOOR VENTILATION IS TO BE INSTALLED AT A MINIMUM OF EVERY 6000MM² PER METER RUN OF WALL IN COMPLIANCE WITH PART 6.2 OF THE NCC 2022. THE SUB-FLOOR ACCESS DOOR IS TO BE LOCATED IN A READILY ACCESSIBLE POSITION.

ROOFING

TIMBER ROOF FRAMING IS TO COMPLY WITH AS1684.2-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION NON-CYCLONIC AREAS" AND OR AS1684.3-2010 "RESIDENTIAL TIMBER FRAMED CONSTRUCTION CYCLONIC AREAS" AND WITH SUPPLEMENTARY TABLES
TIMBER ROOF TRUSSES AT 900MM CTS TO MANUFACTURERS SPECIFICATIONS PROVIDE GALV. IRON CROSS BRACING OVER ROOF TRUSSES EXPOSED COLORBOND GUTTERS AND FASCIAS, INSTALLED PER NCC 2022 PART 7. ALL ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015 ENSURE ALL SARKING BENEATH ROOFS IS PROVIDED IN ACCORDANCE WITH PART 3.5 OF THE NCC, AND HAS A FLAMMABILITY INDEX OF NOT MORE THAN 5

STEEL PROTECTION

ALL EXTERNAL STEEL LINTELS ARE TO BE HOT DIPPED GALVANIZED AND THE WALL TIES PROVIDED ARE TO BE STAINLESS STEEL, PLEASE CONFIRM THIS ON PLAN. (PART6.3 OF THE NCC 2022).

STAIRS

STAIRS, STEPS & LANDINGS TO COMPLY WITH NCC. PART 11.2.
RISERS - 115MM MIN, 190MM MAX.
GOINGS - 240MM MIN 355MM MAX
HANDRAIL TO BE 865MM ABOVE NOSING OF TREAD
1000MM HIGH BALUSTRADING & 865 ABOVE STAIR NOSING
125MM MAXIMUM BETWEEN BALUSTERS
PROVIDE 2000MM MIN HEAD ROOM CLEARANCE FROM TREAD NOSING.
MAX 3 RISERS OR 570MM WITHOUT A LANDING TO DOOR OPENING.
SLOPE RELATIONSHIP 2R + G 550MIN - 700MAXTHE MAXIMUM GAP BETWEEN RISERS
IN OPEN STAIRS IS 125MM WHERE THE STAIR IS IN EXCESS OF 1000MM ABOVE THE ADJACENT FLOOR LEVEL.
ALL TREADS ARE TO HAVE A NON-SLIP FINISH OR A NON-SLIP STRIP IS TO BE PROVIDED TO THE NOSING.

HANDRAILS

A HANDRAIL IS TO BE PROVIDED ALONG AT LEAST ONE SIDE OF THE INTERNAL STAIRS. THE TOP SURFACE OF THE HANDRAIL IS TO BE NOT LESS THAN 865MM VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS AND HAVE NO OBSTRUCTION ON OR ABOVE.

CONCRETE:

ALL CONCRETE MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE AS3600-2009 CONCRETE STRUCTURES CODE.
ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS3600- 2009. ALL REINFORCEMENT TO BE LAID AND LAPPED TO MANUFACTURERS SPECIFICATIONS ON APPROVED BAR CHAIRS.
CONCRETE STRENGTH 25MPA (MIN) AT 28 DAYS.
ALL WORKS TO BE IN ACCORDANCE WITH AS2870-2011 - "RESIDENTIAL SLABS AND FOOTING CONSTRUCTION" OWNERS MUST RECOGNIZE THEIR RESPONSIBILITIES NOTED IN AS 2870-2011 AND MORE DETAIL IN C.S.I.R.O PUBLICATION "GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE."
ALL EXCAVATIONS SHOULD BE CAREFULLY INSPECTED BY A COMPETENT PERSON AND THIS OFFICE CONTACTED IMMEDIATELY IF CONDITIONS OTHER THAN THOSE DESCRIBED IN THE SOIL REPORT ARE ENCOUNTERED.
CONCRETE SLAB REINFORCED CONCRETE FLOOR SLAB TO ENGINEERS DESIGN. CONSTRUCTION OF CONCRETE SLAB TO COMPLY WITH NCC PART 4.2 & AS2870

SURFACE DRAINAGE

THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING UNDER THE BUILDING. TERMITE TREATMENT
SITE TO BE TREATED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS3660.1 TO LOCAL AUTHORITIES SATISFACTION AS3660.1 TERMITE MANAGEMENT REQUIRES A MINIMUM OF 400MM CLEARANCE FROM GROUND LEVEL TO THE UNDERSIDE OF THE BEARER (THIS CAN BE REDUCED TO 200MM ON A SLOPING SITE)

MECHANICAL VENTS

ANY CONTAMINATED AIR FROM A SANITARY COMPARTMENT OR BATHROOM MUST
A. EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS; OR
B. EXHAUST INTO THE ROOF SPACE PROVIDED-
(I) IT IS ADEQUATELY VENTILATED THAT COMPLIES WIT PART 10.8.3 OF THE NCC 2022
(II) THE ROOF IS CLAD IN ROOFING TILES WITHOUT SARKING OR SIMILAR MATERIALS WHICH WOULD PREVENT VENTING THROUGH GAPS BETWEEN TILES EXHAUST FAN DISCHARGE RATES TO BE
A. SANITARY COMPARTMENTS AND BATHROOMS - 25l/s
B. KITCHEN AND LAUNDRY - 40l/s

DOWNPIPES

100X50 OR 90MM DIAMETER DOWNPIPES ARE REQUIRED TO BE PROVIDED AT 12 METER MAXIMUM SPACING.
MINIMUM BOX GUTTER DIMENSIONS SHALL BE 200MM WIDE X 100MM DEEP .
ALL DOWNPIPES ARE TO BE CONNECTED TO THE APPROVED POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.

WASTE PIPE LAGGING

PROVIDE SOUND ABSORBING INSULATION AROUND ALL WASTE PIPES FROM FIRST FLOOR WET AREAS (BATHROOMS/ENSUITES/LAUNDRY) TOILET DOORS ARE TO BE FITTED WITH REMOVABLE HINGES, OR ARE TO SWING OUT, OR BE SLIDING WHERE THE HINGE IS WITHIN 1200MM OF THE PAN.

WEEPHOLES

OPEN PERPENDICULAR JOINTS 'WEEPHOLES' MUST BE PROVIDED ABOVE ALL OPENINGS OVER 1200MM WIDE AND 1200MM CTRS IMMEDIATELY ABOVE THE DPC.

WET AREAS

TO COMPLY WITH AS3740-2010

PLIABLE BUILDING MEMBRANE

PLIABLE BUILDING MEMBRANE TO BE PROVIDED IN ACCORANCE WITH PART 10.8.1 OF THE BCA AND TO BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE.
ALL PLIABLE BUILDING MEMBRANES SHALL COMPLY WITH AS4200.1 AND INSTALLED IN ACCORDANCE WITH AS4200.2

BUSHFIRE ATTACK LEVEL

CLASSIFICATION TO BE DETERMINED BY REGISTERED BUILDING SURVEYOR IF REQUIRED.

FLASHING

ALL FLASHING TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 2904-1995 AND COMPLY WITH THE BCA

ARTICULATION JOINTS

ARTICULATION JOINTS ARE TO COMPLY WITH PART 5.6.8 OF THE NCC 2022 (MINIMUM EVERY 5M CENTRES).

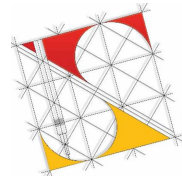
LOGS FOR PILES OR PIERS

UPON COMPLETION, PROVIDE A COMPLETE COPY OF THE RECORDS FOR THE PILE/PIER DRIVING OPERATIONS

LIGHTING

MAINS ELECTRICITY SUPPLY, TELSTRA AND OTHERS TO BE LOCATED IN ACCORDANCE WITH THE RESPONSIBLE AUTHORITIES REQUIREMENTS. ALL ELECTRICAL SWITCHES AND POINTS SHALL BE INSTALLED IN ACCORDANCE WITH AS3000-2018, NCC AND ELECTRICAL AUTHORITIES REQUIREMENTS. PROVIDE SAFETY SWITCHES (RCD) TO ALL LIGHTING AND POWER POINT CIRCUITS.

Waterproofing to be constructed in accordance with AS4654.2

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NOTES:
SOIL CLASSIFICATION
SOIL CLASSIFICATION TO BE CONFIRMED ON SITE.
SCRAPE SITE TO REMOVE SURFACE VEGETATION
AND PROVIDE LEVEL BUILDING PLATFORM.
SITE CLEARING
IT IS THE RESPONSIBILITY OF THE CLIENT TO UNDERTAKE
REMOVAL OF ANY
SITE SPOIL/STOCK PILES PRIOR TO COMMENCEMENT OF
CONSTRUCTION.
DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT
THE TIME OF DRAFTING.
VERIFY ON SITE PRIOR TO COMMENCEMENT OF
CONSTRUCTION..
CONDENSATION MANAGEMENT PART 10.8 IS ACHIEVED.
THIS IS ONLY REQUIRED, IF ALL EXHAUST FANS
(WC/KITCHEN
ETC.) DISCHARGE TO WITHIN ROOF SPACE. IF IT COMPLIES
WITH
PART 10.8.2 (2) THEN NO NEED FOR 'WHIRLY BIRDS'.

SITE PLAN NOTES
STORM WATER AND SEWER TO BE CONNECTED TO LEGAL
POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL
AUTHORITIES REQUIREMENTS
DOWNPIPES (DP) TO APPROX. LOCATION MAX 12M CNTRS
CONNECTED TO S/WATER SYS. IN
ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. ALL
S/WATER DRAINS THAT PASS
UNDER CONC. SLABS AND TRAFFICABLE AREAS TO BE
LAID IN HEAVY DUTY SEWER PIPE.

BUILDER TO PROVIDE AGI DRAIN TO BASE OF BATTERS /
RETAINING WALLS & WHERE EVER DEEMED NECESSARY.
PROVIDE SILT PITS TO BASE OF BATTER, CONNECTED TO
S/WATER SYSTEM.
PROVIDE CUT - OFF (AGI) DRAIN AS REQUIRED TO BASE OF
ANY EXCAVATION AND CONNECT INTO STORM WATER VIA
SILT PITS
PROPERTY LAYOUT IS BASED UPON INFORMATION
PROVIDED BY BUILDER OR OWNER AND THEREFORE ALL
DIMENSIONS, OFFSETS AND DETAILS MUST BE VERIFIED
ONSITE PRIOR TO COMMENCING ANY SETOUTS AND OR
BUILDING WORKS.
LEVELS MUST BE VERIFIED ON SITE TO DETERMINE DEPTH
OF EXCAVATIONS AND AFFECTED WALL HEIGHTS

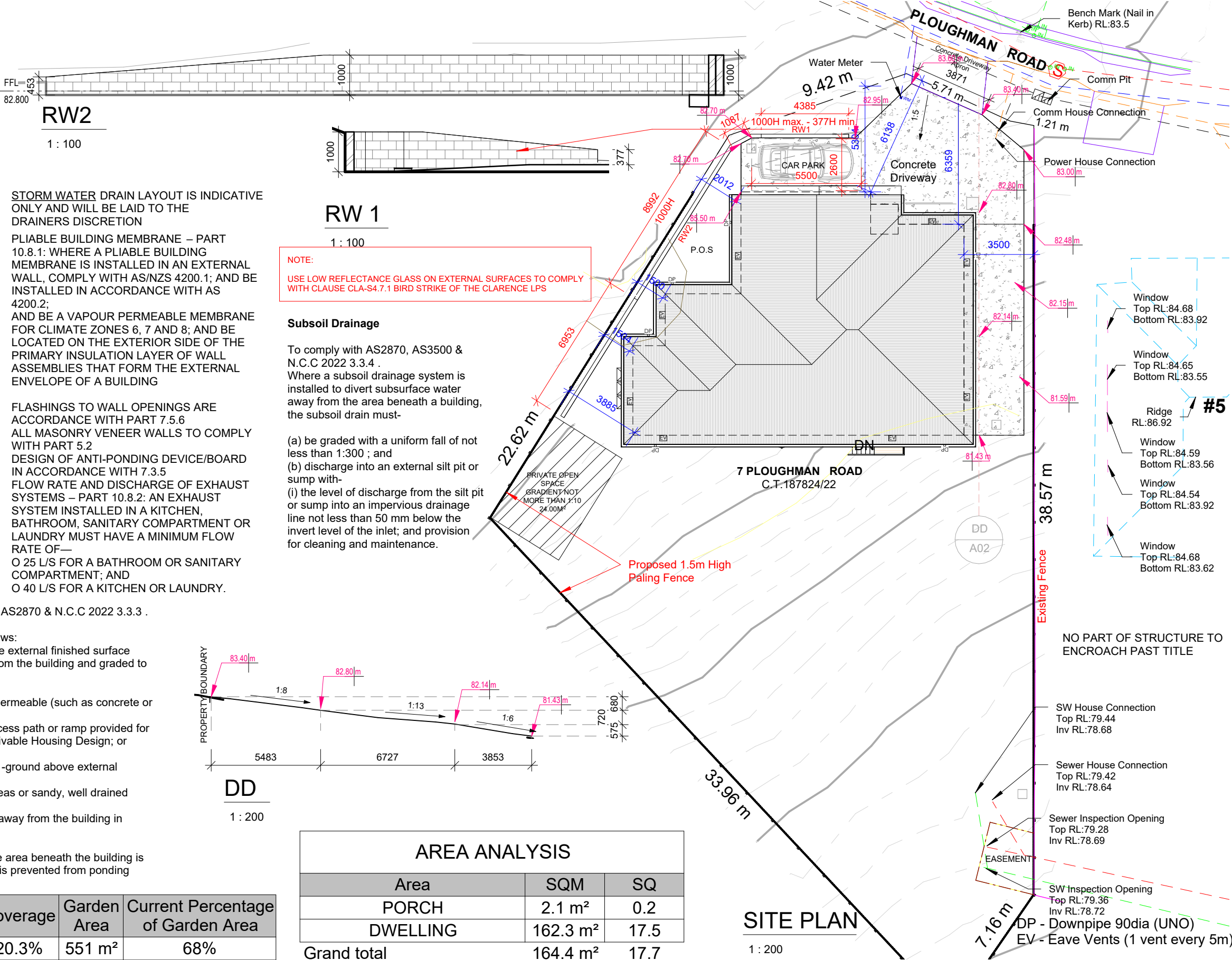
Surface Water Drainage

Ground to fall away from building in all Directions in compliance with AS2870 & N.C.C 2022 3.3.3 .

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on -ground - Finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
(i) 25 mm over the first 1m from the building
(A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
(B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
(ii) 50 mm over the first 1m from the building in any other case.
(b) Slab-on -ground - finished slab heights: the height of the slab-on -ground above external finished surfaces must not be less than:
(i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well drained areas; or
(ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or
(iii) 150 mm in any other case.
(c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Total Area	SQM	SQ	Lot Area	Coverage	Garden Area	Current Percentage of Garden Area
GROUND FLOOR	164.4 m ²	17.7	808 m ²	20.3%	551 m ²	68%



AREA ANALYSIS		
Area	SQM	SQ
PORCH	2.1 m ²	0.2
DWELLING	162.3 m ²	17.5
Grand total	164.4 m ²	17.7

SITE PLAN

1 : 200



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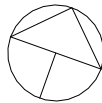
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Client:
HK & GK
Project:
SINGLE STOREY DWELLING
Address:
LOT 22, 7 PLOUGHMAN RD,
HOWRAH, TAS - 7018

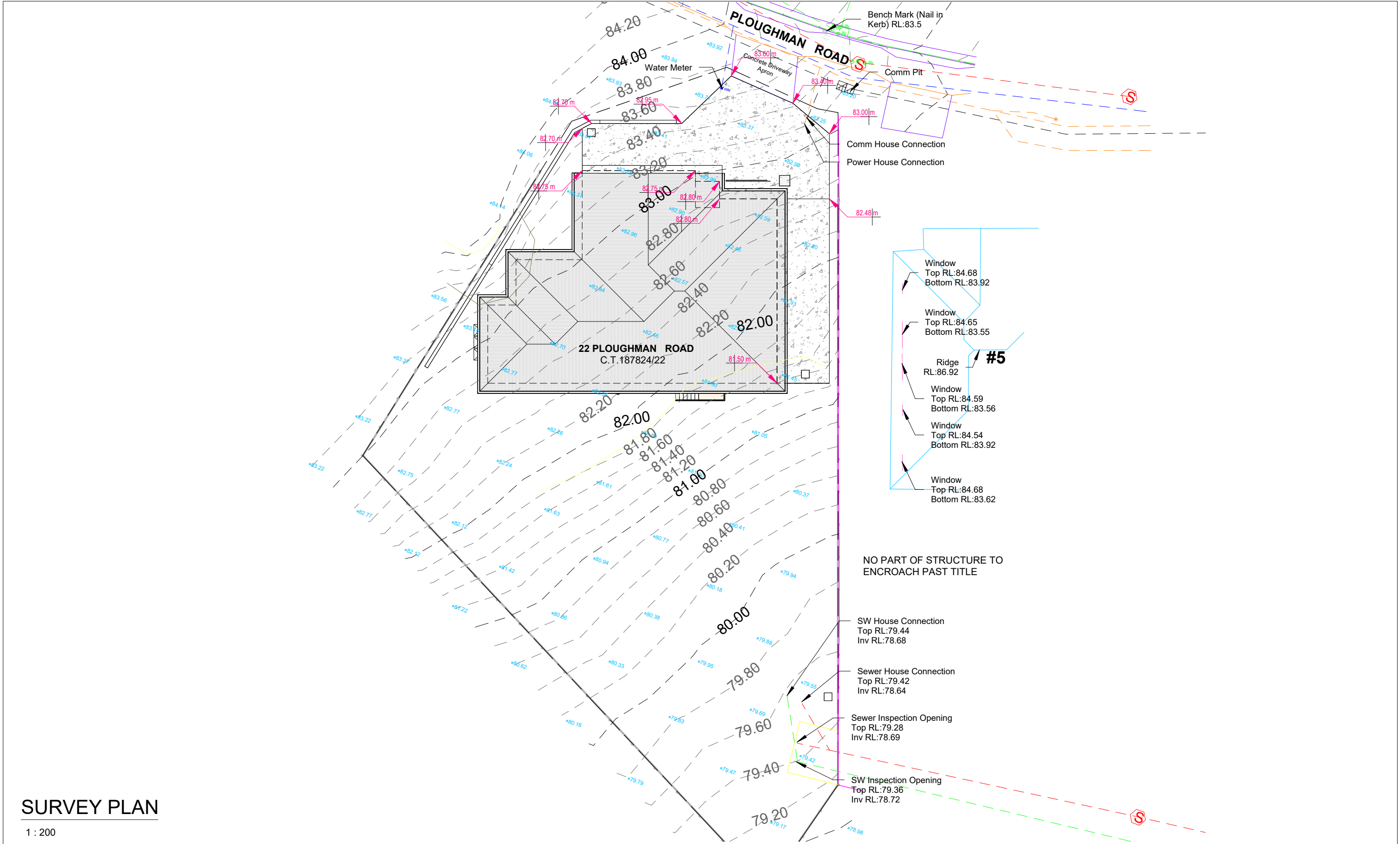
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C	Driveway spot levels shown as per section.	20.08.2026

DRAWINGS

CHECK all dimensions and measurements on site prior to fabrication and or construction. Dimensions are in millimeters "frame to frame" and do not allow for interior linings.
ALL work in Accordance with The Building Code of Australia (BCA) as amended, relevant Australian Standards (AS) Codes and good building practices. Drawings to be read in conjunction with specifications and schedules.



Sheet: SITE PLAN			
Drawn: GK			
Scale: As indicated	Size: A3	Date: 28/07/2026	
Project: 22PR/TAS/ARCH-2026		Sheet No.: A02	Rev: C

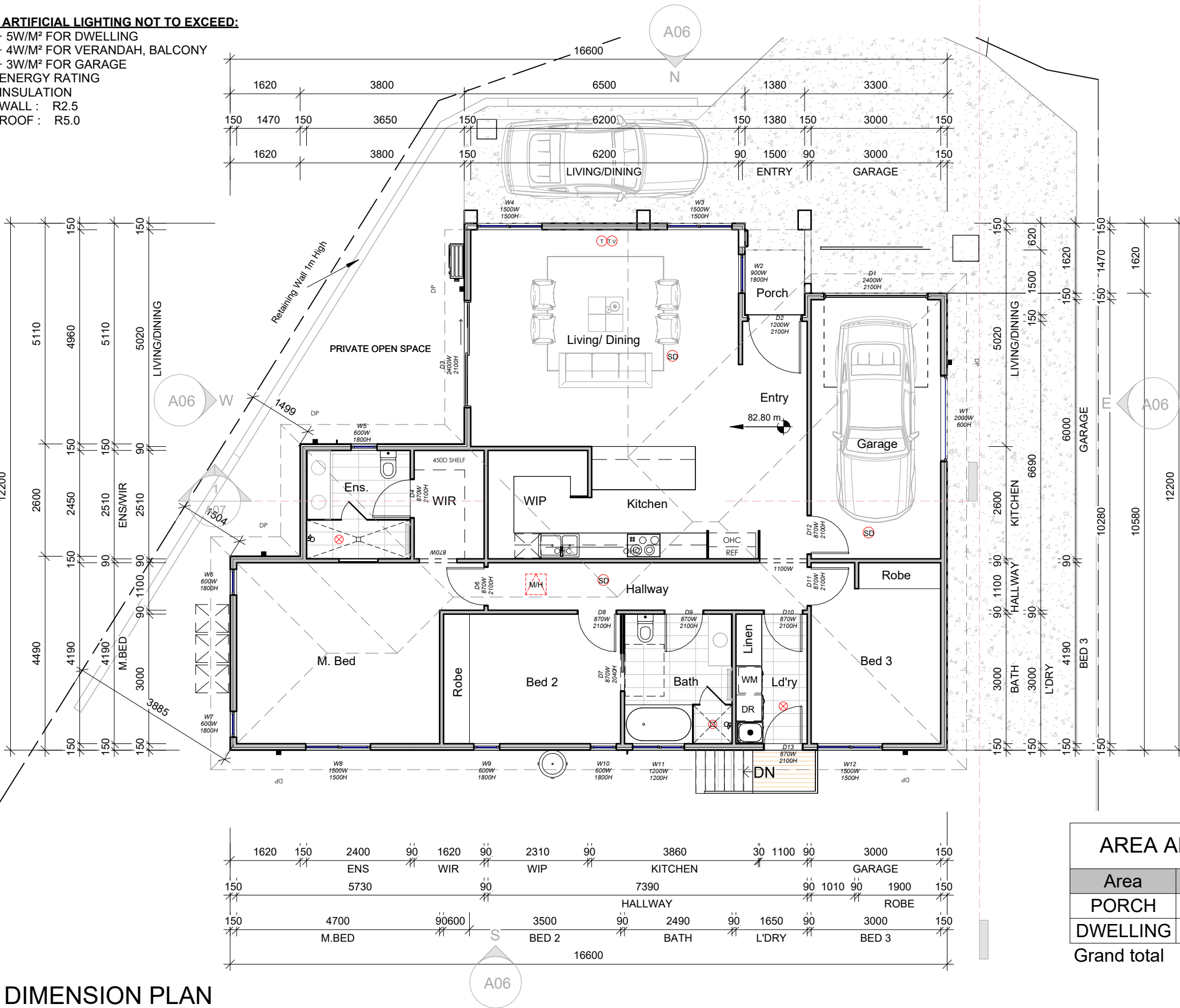


SURVEY PLAN

1 : 200

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				C	Driveway spot levels shown as per section.	20.08.2026			Project: 22PR/TAS/ARCH-2026	Sheet No.: A03	Rev: C

ARTIFICIAL LIGHTING NOT TO EXCEED:
· 5W/M² FOR DWELLING
· 4W/M² FOR VERANDAH, BALCONY
· 3W/M² FOR GARAGE
ENERGY RATING
INSULATION
WALL : R2.5
ROOF : R5.0



DIMENSION PLAN

1 : 100

Heights of rooms & other spaces 10.3.1 of NCC 2022
Heights of rooms and other spaces must not be less than;
(a) in a habitable room excluding a kitchen - 2.4 m ; and
(b) in a kitchen - 2.1 m ; and
(c) in a corridor, passageway or the like - 2.1 m ; and
(d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m ; and
(e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
(f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.
If required onsite , the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact USD before undertaking works.

Construction of Sanitary Compartments 10.4.2 of NCC 2022
compartments 10.4.2 of NCC 2022
The door to a fully enclosed sanitary compartment must -
· open outwards; or
· slide; or
· be readily removable from the outside of the compartment.
unless there is a clear space of at least 1 .2 m , measured in accordance with Figure 1 0 .4 .2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

Note: Safe Movement & Egress
Openable windows greater than 4 m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125 mm sphere cannot pass through. Except for Bedrooms , where the requirement is for heights above 2m . Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information.

Note: Paved Areas
All paths and patios to fall away from the building.

Note: Stair Construction
All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2 :
Riser: Min 115 mm - Max 190mm
Going: Min 240 mm - Max 355mm
Slope (2R + G) : Max 550 - Min 700
For stairways serving non-habitable room used infrequently, refer to table 1 1 .2 .2 (b) .
Landings to comply with Clause 1 1 .2 .5 and be a minimum of 750 mm deep measured 500 mm from the inside edge of the landing.
Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4 .

AREA ANALYSIS...		
Area	SQM	SQ
PORCH	2.1 m²	0.2
DWELLING	162.3 m²	17.5
Grand total	164.4 m²	17.7

- INSULATION: R5.0 TO CEILINGS AND R2.5 TO EXTERNAL WALLS.
- REFER ENGINEERING DRAWING FOR SLAB/ FOOTING/ ROOF/ STRUCTURAL DETAILS
- WINDOWS / DOORS: BUILDING GENERALLY WILL BE SEALED TO PREVENT AIR LEAKAGE.
- A/C SERVICES, DUCTING & FIXTURE LOCATIONS TO BE DETERMINED ON SITE
- EXHAUST RANGEHOOD EXTERNALLY -CONFIRM ON SITE
- FLOOR WASTES TO KITCHEN, L'DRY & PDR TO BE CONFIRMED ON SITE



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Client:
HK & GK
Project:
SINGLE STOREY DWELLING
Address:
LOT 22, 7 PLOUGHMAN RD,
HOWRAH, TAS - 7018

Rev	Description	Date
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Sheet: DIMENSION PLAN		
Drawn: GK		
Scale: 1 : 100	Size: A3	Date: 28/07/2026
Project: 22PR/TAS/ARCH-2026	Sheet No.: A04	Rev: C

- Colorbond metal fascias and gutters.
- Eaves gutters installed with a fall of 1:500 (normally).
- Box gutters fall of 1:100.
- Spacing between downpipes maximum 12m.
- Downpipes to be located 1.2m from a valley or provisions made for overflow.
- Gutters and downpipes to be selected in accordance with NCC Vol 2 Part

clips/brackets shall be attached to fascia /barge at a max 1.2m centres using recommended fasteners.

(ii) located immediately underneath the roof tiles or an unsarked tiled roof.

F8D3(2)(b)

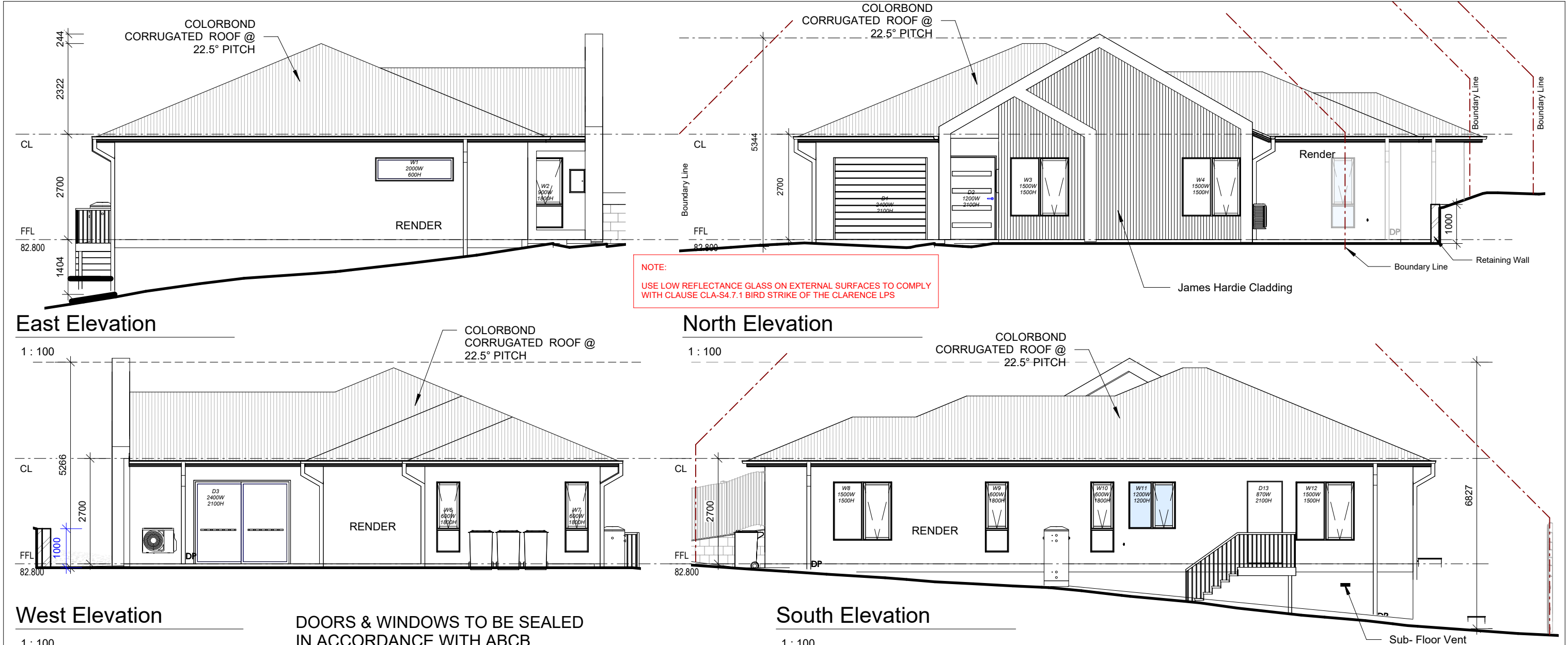
All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

[illegible]

1 : 100





West Elevation

DOORS & WINDOWS TO BE SEALED
IN ACCORDANCE WITH ABCB
HOUSING PROVISIONS PART 13.4

NOTE:
CLEARANCES BETWEEN CLADDING AND GROUND SHALL COMPLY WITH CLAUSE 7.5.7 OF THE NCC 2022 AND SHALL BE A MINIMUM CLEARANCE OF:
100MM IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS; OR
50MM ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY FROM THE BUILDING;
OR 150MM IN ANY OTHER CASE.

WALL CLADDING MUST EXTEND A MINIMUM OF 50 MM BELOW THE BEARER OR LOWEST HORIZONTAL PART OF THE SUSPENDED FLOOR FRAMING.

U.N.O IN BUILDER'S SPECIFICATIONS OR LOCATED IN SALINE ENVIRONMENTS OR IF USING A GLAZED FINISH BRICK, BRICKWORK IS TO BE INSTALLED IN STRETCHER BOND PATTERN WITH RAKED JOINTS.

AS PER NCC PARTS 11.3.7 AND 11.3.8, OPENABLE WINDOWS GREATER THAN 4M ABOVE GROUND LEVEL ARE TO BE FITTED WITH A DEVICE TO LIMIT THE OPENING OR A SUITABLE SCREEN SO THAT A 125MM SPHERE CANNOT PASS THROUGH, AND WITHSTAND A FORCE OF 250N.
EXCEPT FOR BEDROOMS, WHERE THE REQUIREMENT IS FOR HEIGHTS ABOVE 2M.
ALL STAIRS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 2022 VOL II PART 11.2.2
· RISER: MIN 115MM - MAX 190MM
· GOING: MIN 240MM - MAX 355MM
· SLOPE (2R+G): MAX 550 - MIN 700

STRUCTURAL ENGINEERING DISCLAIMER:
ALL STRUCTURAL METHODS SET OUT IN THIS ARCHITECTURAL DOCUMENTATION PACKAGE, EITHER DIAGRAMMATICAL OR ANNOTATED ARE NEITHER EXCLUSIVELY OR EXHAUSTIVE, AND ARE IN ALL CASES SUPERSEDED BY THE RELEVANT STRUCTURAL ENGINEERING DOCUMENTATION. REFER TO STRUCTURAL ENGINEERS DOCUMENTATION AND COMPUTATIONS FOR ALL ENGINEERING METHODS.

ALL ROOF PENETRATIONS AND FLASHINGS AS PER THE NCC 2022 PART 7.2.7
WET AREA COMPLIANCE WITH AS3740.
THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING.

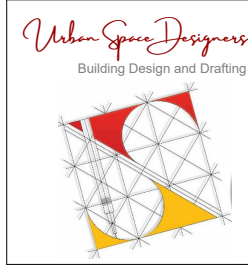
WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE

AJ : DENOTES CONTROL JOINT TO FULL HEIGHT OF BRICKWORK @5M MAX. CENTRES. ALL JOINTS TO CONFIRM TO NOTE CN9 OF THE BRICKWORK AND CONCRETE ASSOCIATION.

INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES RECEDENCE.

WEEPHOLES -
PROVIDE WEEPHOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENINGS

Window Schedule Unit 1				
Number	Height	Width	Head Height	Sill Height
1	600	2000	2100	1500
2	1800	900	2100	300
3	1500	1500	2100	600
4	1500	1500	2100	600
6	1800	600	2100	300
7	1800	600	2100	300
8	1500	1500	2100	600
9	1800	600	2100	300
10	1800	600	2100	300
11	1200	1200	2100	900
12	1500	1500	2100	600



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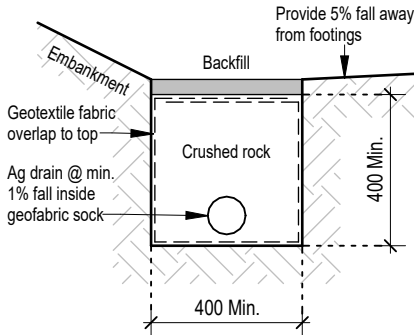
Sheet:
ELEVATIONS

Drawn: GK

Scale: 1 : 100	Size: A3	Date: 28/07/2026
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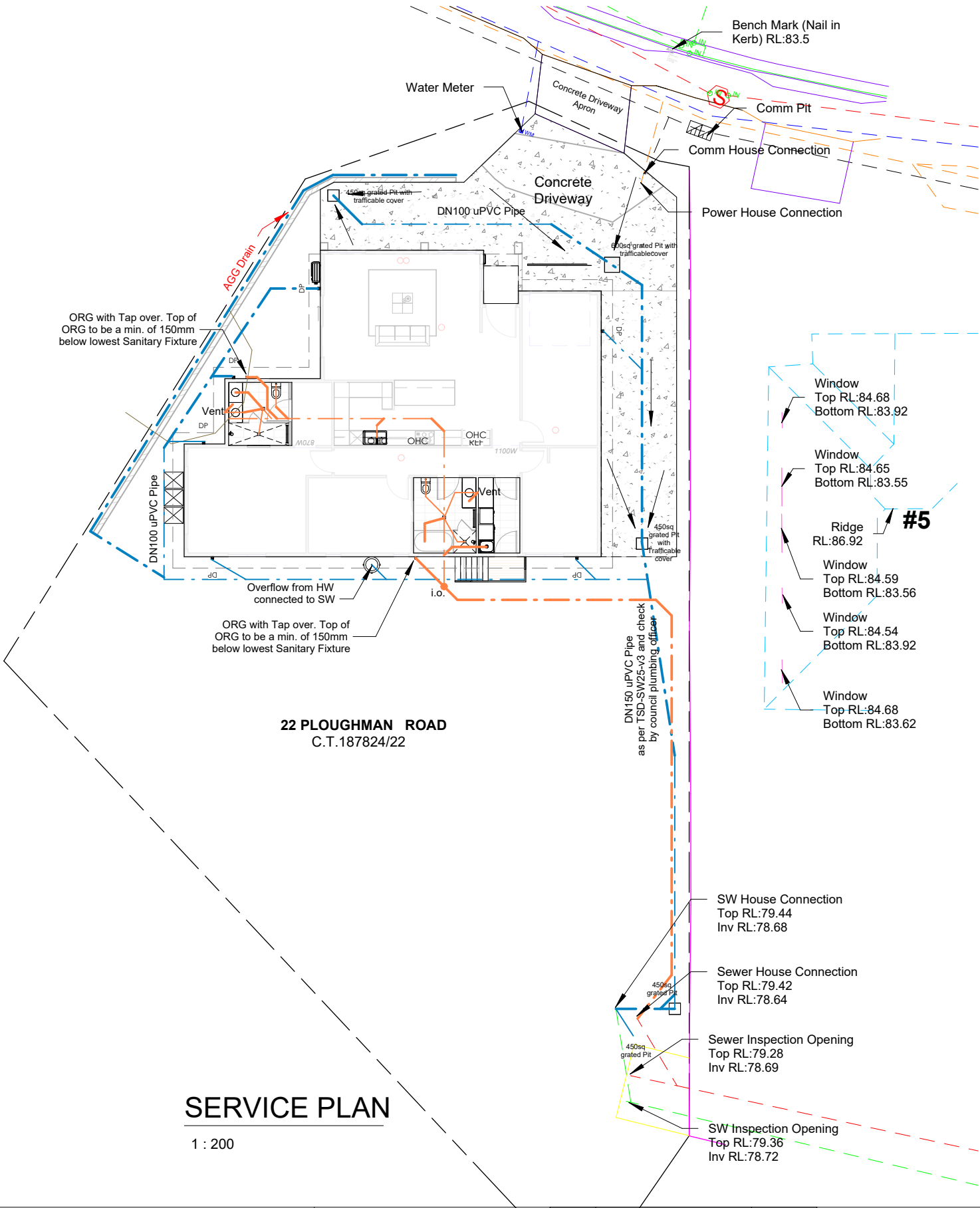
Project: 22PR/TAS/ARCH-2026	Sheet No.: A06	Rev: C
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DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size (dia)
B	BASIN	40
BTH	BATH	40
SHR	SHOWER	40
S	SINK	50
TR	TROUGH	40
WC	WATER CLOSET PAN	100
DP	DOWNPIPE	90
NOTES: Waterproof Membrane not required below Pre - Formed Shower Bases, but still required at Penetrations (including floor waste)		



DETAIL - AG DRAIN

1 : 20



22 PLOUGHMAN ROAD
C.T.187824/22

SERVICE PLAN

1 : 200

DRAINAGE PLAN LEGEND

SEWER LINE (100mm DIA UPVC PIPE)	
STORMWATER LINE (100/150mm DIA UPVC PIPE)	
AG DRAIN (100mm SOCKET SLOTTED PIPE)	
INSPECTION OPENING	
RODDING END	
OVERFLOW RELIEF GULLY	
VENT	
DOWNPIPE (90mm)	
WET AREA (REFER TO WATERPROOFING NOTES)	

DRAINAGE PLAN NOTES

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

ALL PLUMBING & DRAINAGE TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

- 1. INTERNAL PIPING**
A) ALL FLOW AND RETURN INTERNAL PIPING THAT IS -
I) WITHIN AN UNVENTILATED WALL SPACE
II) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS;
OR
III) BETWEEN CEILING INSULATION AND A CEILING

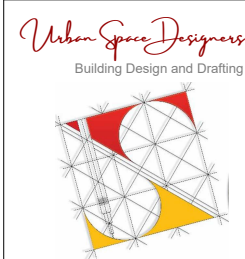
MUST HAVE A MINIMUM R-VALUE OF 0.2 (IE 9MM OF CLOSED CELL POLYMER INSULATION)

- 2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE**
A) ALL FLOW AND RETURN PIPING
B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.45 (IE 19MM OF CLOSED CELL POLYMER INSULATION)

- 3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB-FLOOR OR ROOF SPACE**
A) ALL FLOW AND RETURN PIPING
B) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500MM OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6 (IE 25MM OF CLOSED CELL POLYMER INSULATION)

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

DOWNPIPES MUST NOT SERVE MORE THAN 12M GUTTER LENGTH FOR EACH DOWNPIPE. AS PER BCA 3.5.2.5. DOWNPIPES MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY UTTERS AND, IF THE DOWNPIPE IS MORE THAN 1.2M FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.

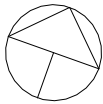


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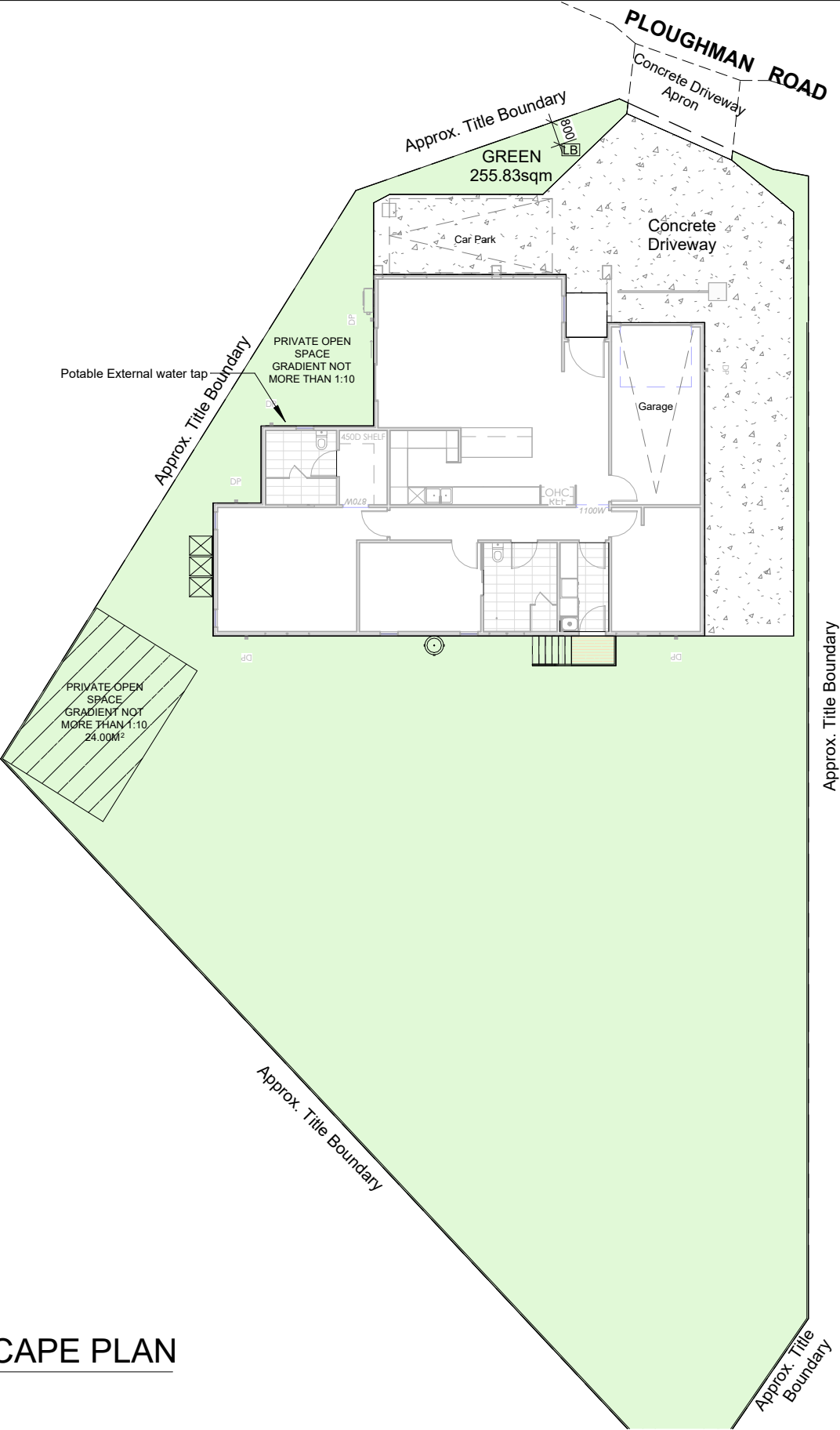
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Sheet: SERVICE PLAN			
Drawn: GK			
Scale: As indicated	Size: A3	Date: 28/07/2026	
Project: 22PR/TAS/ARCH-2026	Sheet No.: A08	Rev: C	



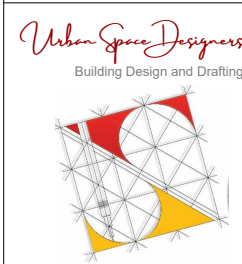
CONCRETE : 92.40 sqm
TOTAL GREEN: 550.88 sqm



Letter Box (Indicative only)

LANDSCAPE PLAN

1 : 200

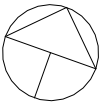


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Drawn: GK			
Scale: 1 : 200	Size: A3	Date: 28/07/2026	
Project: 22PR/TAS/ARCH-2026	Sheet No.: A10	Rev: C	



NOTE: HATCHED PATTERNS ARE INDICATIVE OF TILED AREA AND ARE TO BE USED AS A GUIDE ONLY

-  CONCRETE
-  HYBRID FLOORING
-  TILE WET AREA

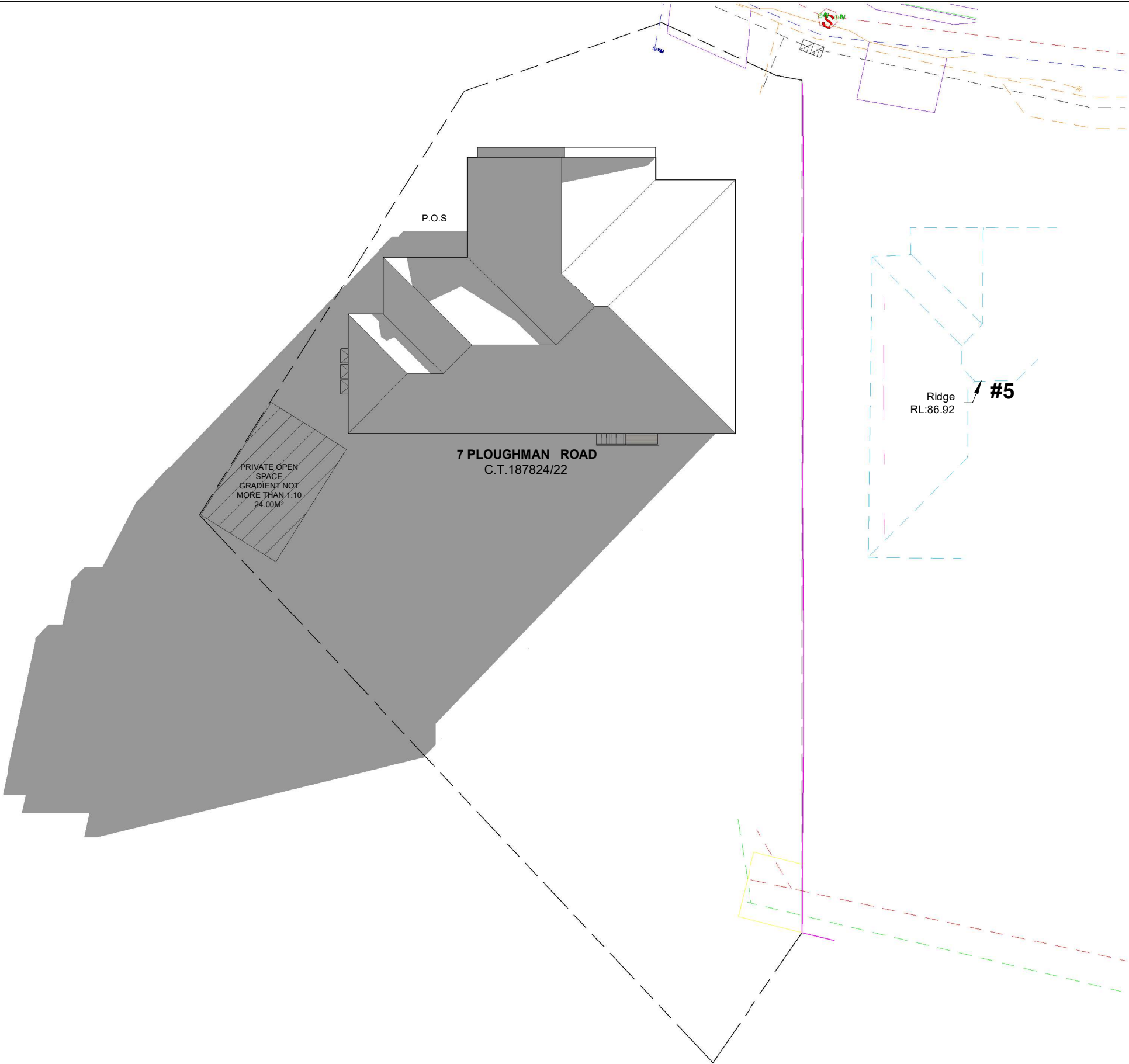
Floor Finishes Totals		
Level	Floor Finish	Area
FFL	CONCRETE	20 m²
FFL	HYBRID FLOORING	112 m²
FFL	TILE WET AREA	18 m²

FLOOR FINISH PLAN

1 : 100

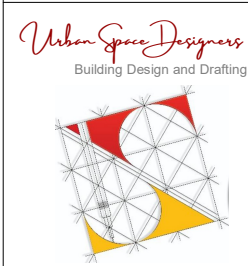
Floor Finishes			
Level	Name	Floor Finish	Area
FFL	Garage	CONCRETE	18 m²
FFL	Porch	CONCRETE	2 m²
FFL	Robe	HYBRID FLOORING	1 m²
FFL	Robe	HYBRID FLOORING	2 m²
FFL	M. Bed	HYBRID FLOORING	21 m²
FFL	WIR	HYBRID FLOORING	4 m²
FFL	WIP	HYBRID FLOORING	6 m²
FFL	Kitchen	HYBRID FLOORING	13 m²
FFL	Bed 3	HYBRID FLOORING	11 m²

Floor Finishes			
Level	Name	Floor Finish	Area
FFL	Bed 2	HYBRID FLOORING	11 m²
FFL	Living/ Dining	HYBRID FLOORING	31 m²
FFL	Entry	HYBRID FLOORING	5 m²
FFL	Hallway	HYBRID FLOORING	8 m²
FFL	Linen	TILE WET AREA	1 m²
FFL	Ens.	TILE WET AREA	6 m²
FFL	Ld'ry	TILE WET AREA	4 m²
FFL	Bath	TILE WET AREA	7 m²



SHADOW 9AM

1 : 200



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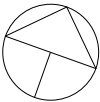
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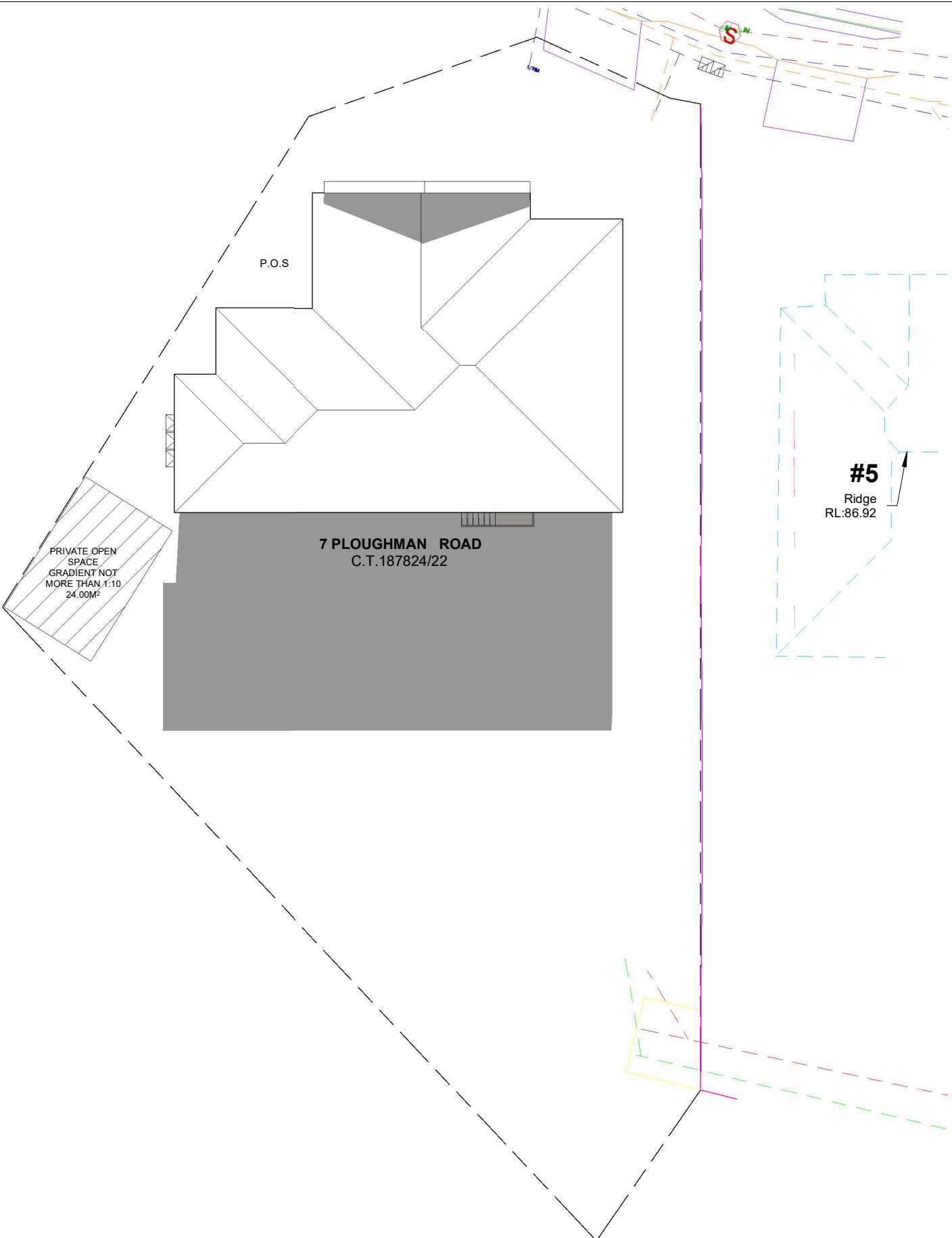
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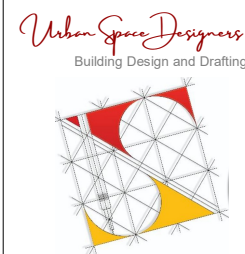


Sheet: SHADOW 9AM			
Drawn: GK			
Scale: 1 : 200	Size: A3	Date: 28/07/2026	
Project: 22PR/TAS/ARCH-2026	Sheet No.: A22	Rev: C	



SHADOW 12PM

1 : 200



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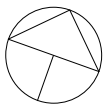
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Drawn: GK			
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SHADOW 3PM

1 : 200



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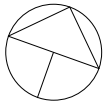
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Scale: 1 : 200	Size: A3	Date: 28/07/2026
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