



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2026/063318**

**PROPOSAL:** Dwelling

**LOCATION:** 23 Titara Avenue, Rokeby

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 14/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 14/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 14/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Planning Application

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Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: **New Dwelling**

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Location: **23 Titara Avenue, Rokeby**

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**Personal Information Removed**



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☐

#### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

#### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

**Personal Information Removed**



## Planning Application checklist

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### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

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- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

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### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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- ☐ Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
    - Location and capacity of any existing services or easements on/to the site.
    - Existing pedestrian and vehicle access to the site.
    - Location of existing and proposed buildings on the site.
    - Location of existing adjoining properties, adjacent buildings and their uses.
    - Any natural hazards that may affect use or development on the site.
    - Proposed roads, driveways, car parking areas and footpaths within the site.
    - Any proposed open space, communal space, or facilities on the site.
- 



- Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
  - Private open space for each dwelling.
  - External storage spaces.
  - Car parking space location and layout.
  - Major elevations of every building to be erected.
  - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
  - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
  - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
  - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
  - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

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This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



## SEARCH OF TORRENS TITLE

|                  |                               |
|------------------|-------------------------------|
| VOLUME<br>185273 | FOLIO<br>35                   |
| EDITION<br>2     | DATE OF ISSUE<br>01-Sept-2023 |

SEARCH DATE : 28-May-2026

SEARCH TIME : 04.19 pm

DESCRIPTION OF LAND

City of CLARENCE

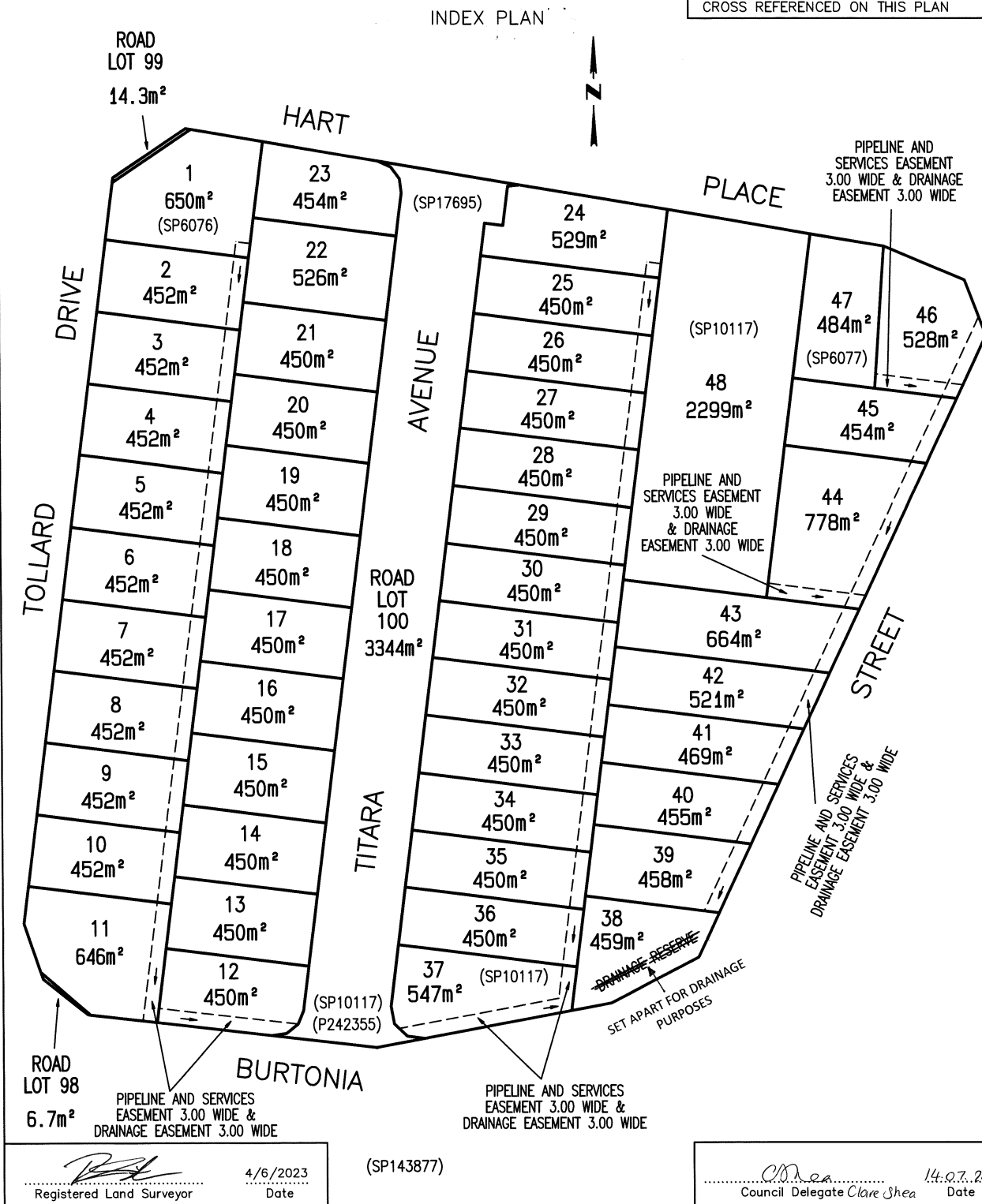
Lot 35 on Sealed Plan [185273](#)Derivation : Part of Lot 36312, 87.56ha Gtd. to The Director  
of Housing.Prior CT [242355/1](#)SCHEDULE 1[M957514](#) TRANSFER to MISSION AUSTRALIA HOUSING TASMANIA  
Registered 21-June-2022 at 12.02 pmSCHEDULE 2Reservations and conditions in the Crown Grant if any  
SP[185273](#) EASEMENTS in Schedule of Easements  
SP[185273](#) FENCING PROVISION in Schedule of EasementsUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

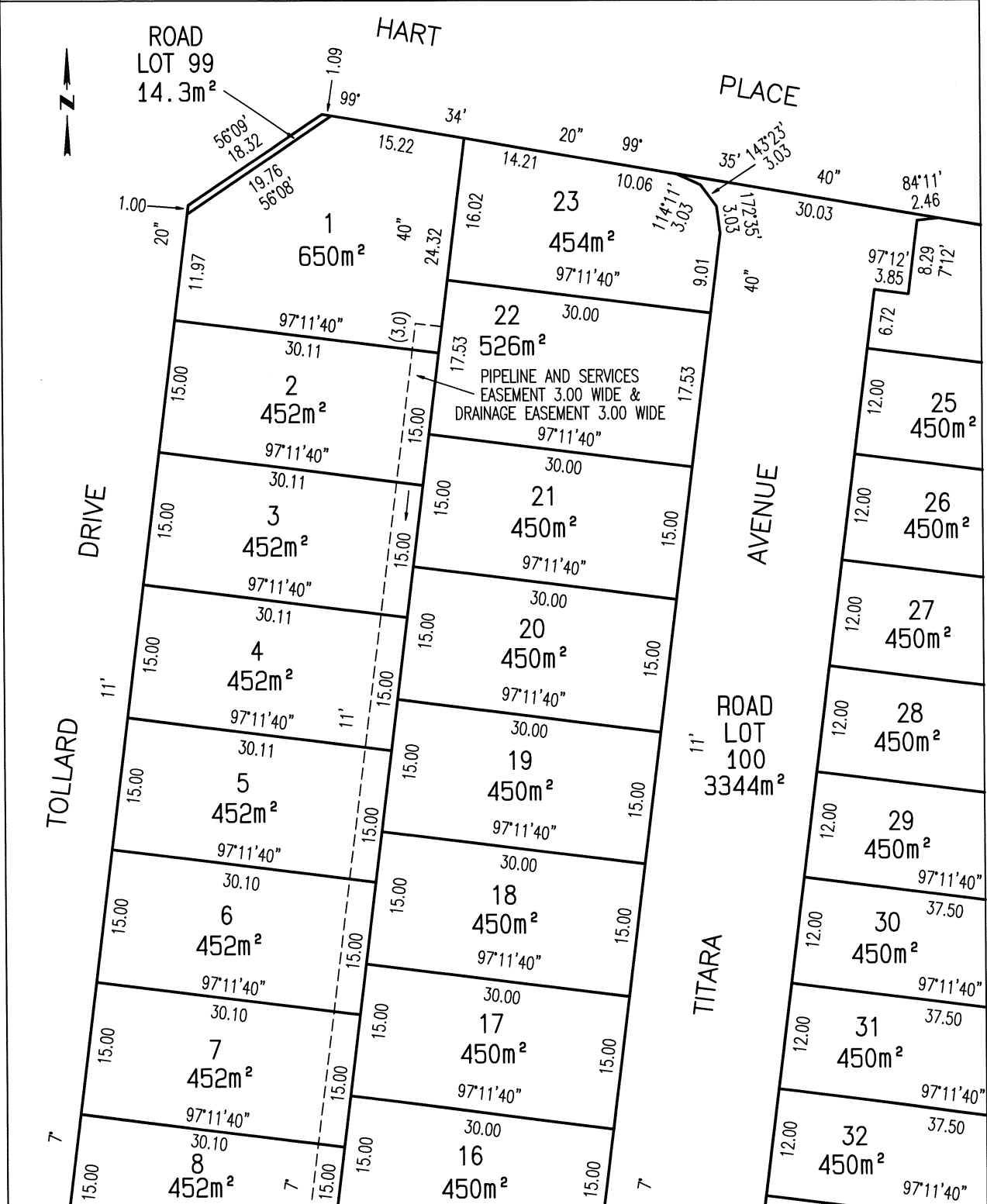
## PRIORITY FINAL PLAN

|                                                                                 |                            |                                                                                                                                                     |
|---------------------------------------------------------------------------------|----------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| OWNER: MISSION AUSTRALIA HOUSING TASMANIA                                       | <h1>PLAN OF SURVEY</h1>    | REGISTERED NUMBER                                                                                                                                   |
| FOLIO REFERENCE:<br>C/T 242355/1, C/T 17695/1, & C/T 10117/1                    |                            | BY SURVEYOR: RUSSELL JAMES SMITH                                                                                                                    |
| GRANTEE:<br><br>PART OF LOT 36312 87.56ha<br>GRANTED TO THE DIRECTOR OF HOUSING | LOCATION: CITY OF CLARENCE | APPROVED<br>EFFECTIVE FROM 31 JUL 2023<br><br>Recorder of Titles |
|                                                                                 | SCALE 1:750                | LENGTHS IN METRES                                                                                                                                   |

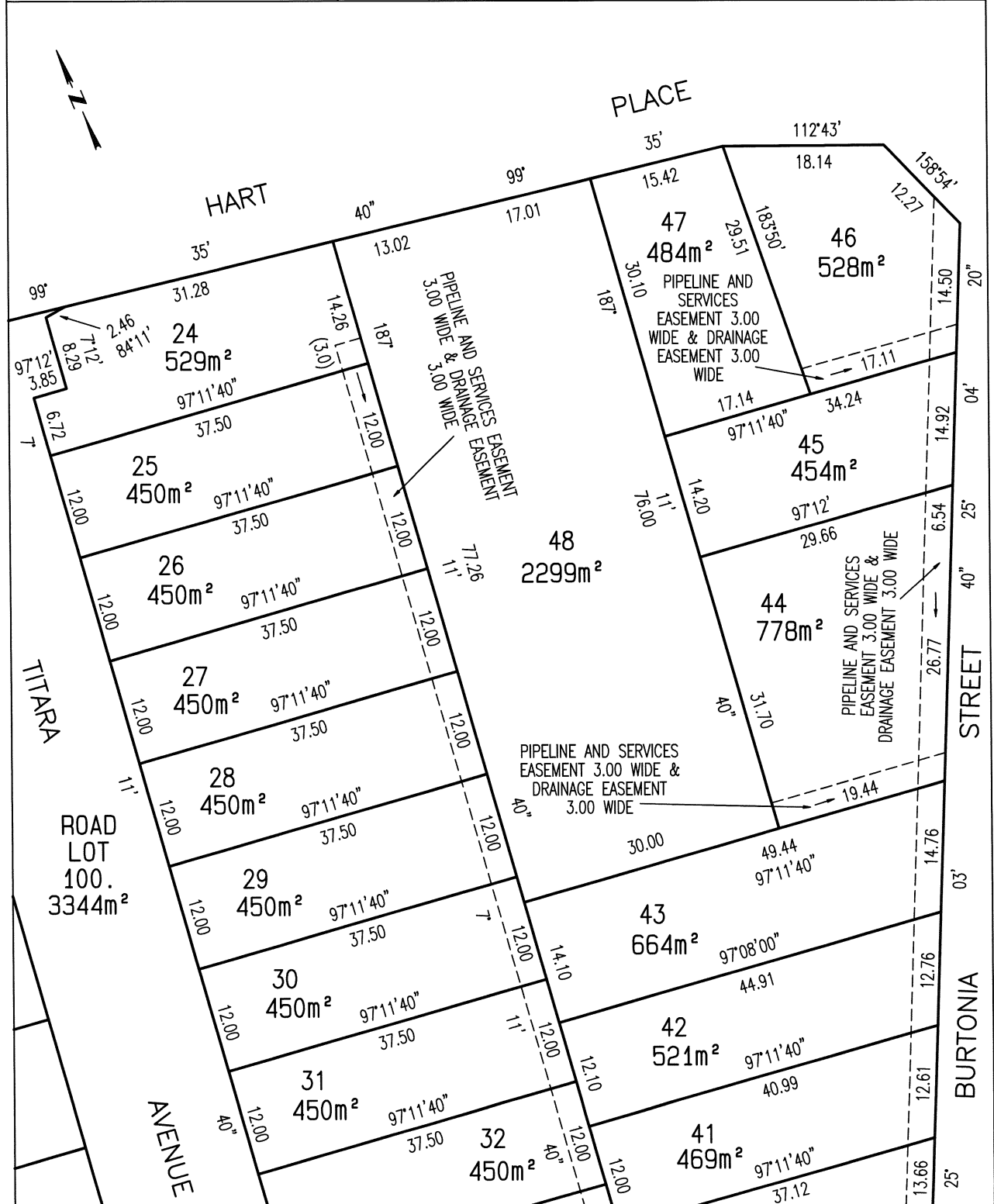
ALL EXISTING SURVEY NUMBERS TO BE  
CROSS REFERENCED ON THIS PLAN

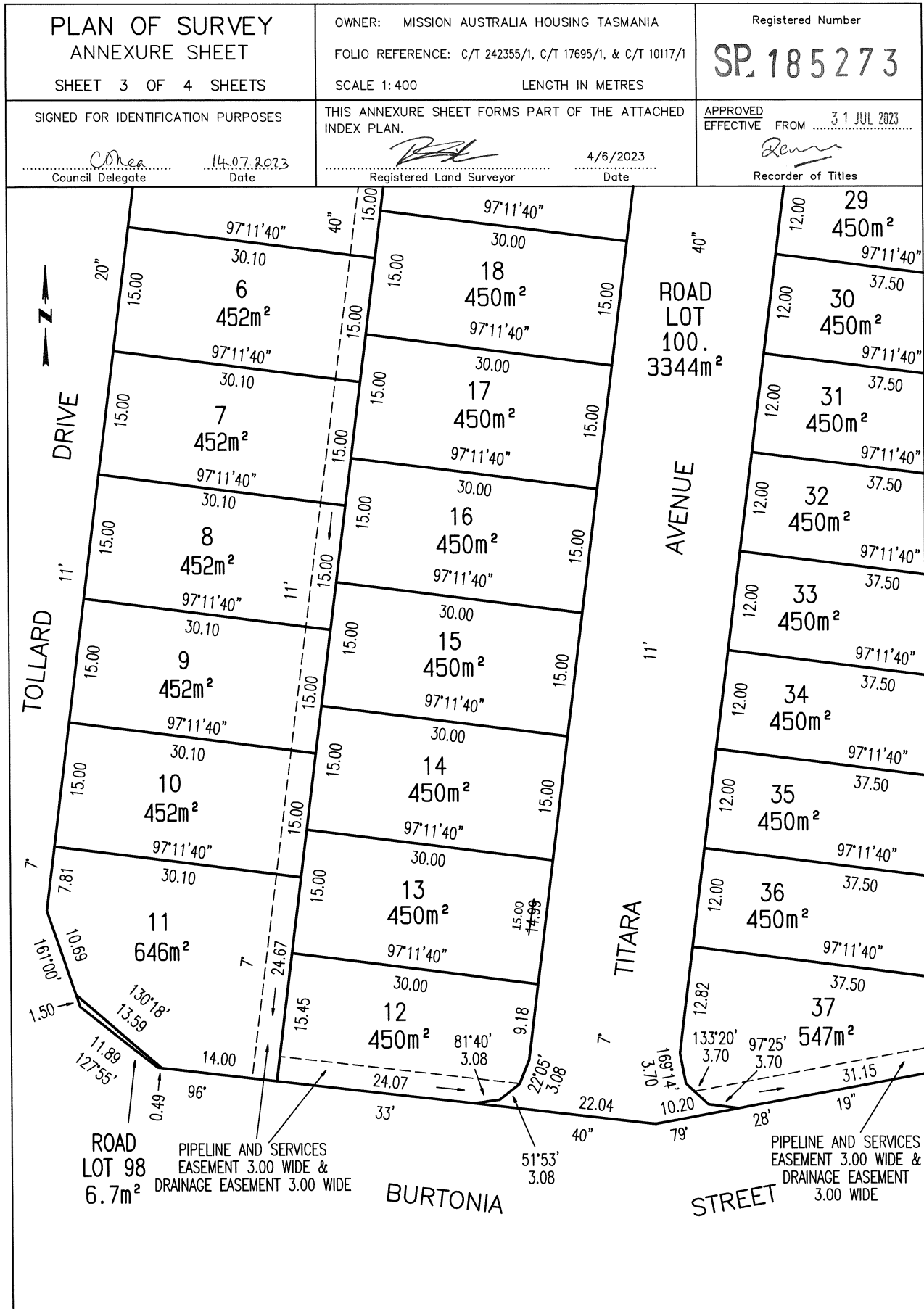


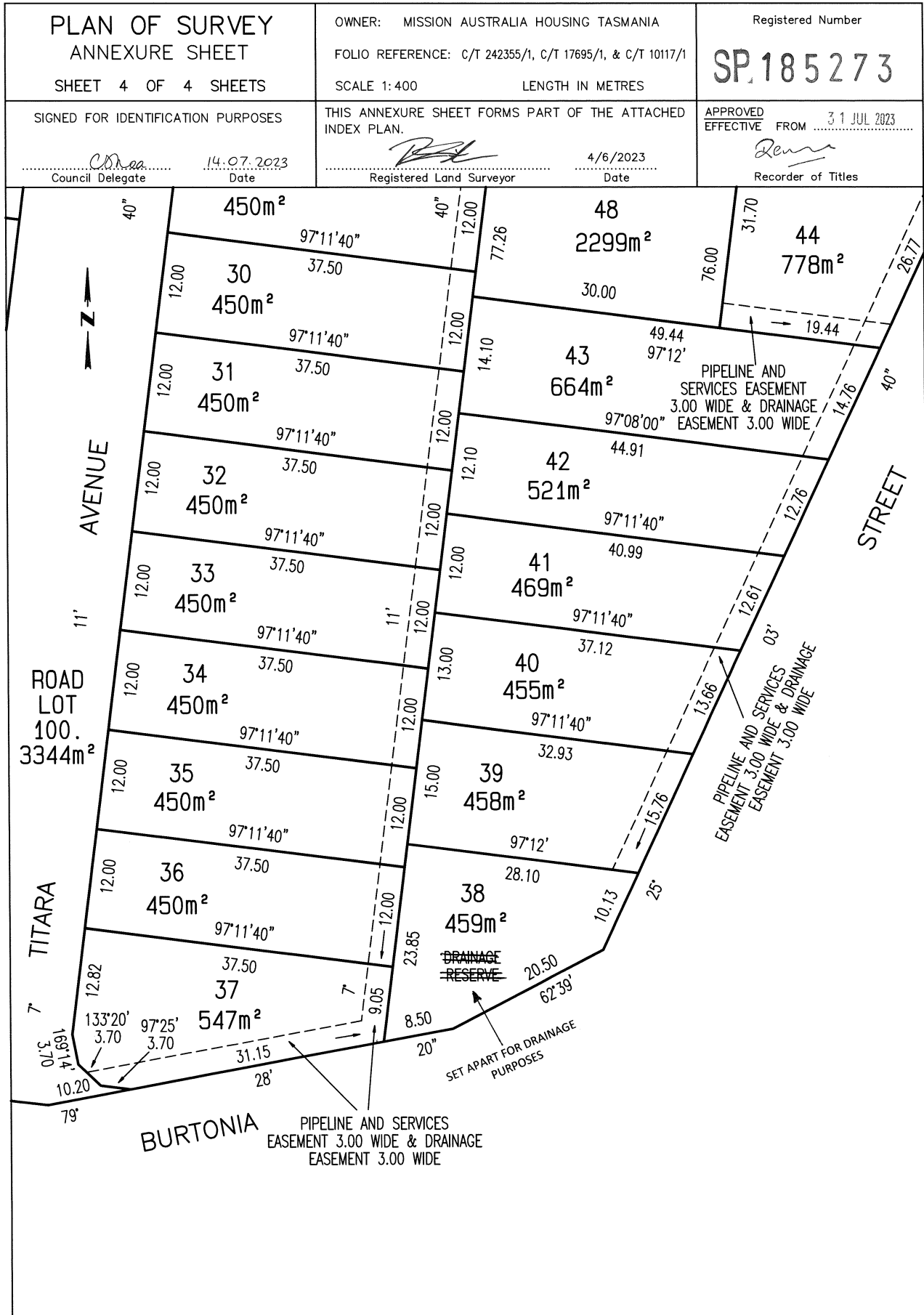
|                                                                                                      |                                                                                                                                                           |                                                                                             |
|------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
| <p><b>PLAN OF SURVEY</b><br/><b>ANNEXURE SHEET</b></p> <p>SHEET 1 OF 4 SHEETS</p>                    | <p>OWNER: MISSION AUSTRALIA HOUSING TASMANIA</p> <p>FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, &amp; C/T 10117/1</p> <p>SCALE 1:400 LENGTH IN METRES</p> | <p>Registered Number</p> <p><b>SP 185273</b></p>                                            |
| <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>C. Mees</i> 14/07/2023<br/>Council Delegate Date</p> | <p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 4/6/2023<br/>Registered Land Surveyor Date</p>                    | <p>APPROVED EFFECTIVE FROM 31 JUL 2023</p> <p><i>[Signature]</i><br/>Recorder of Titles</p> |



|                                                                       |                                                                                                                                        |                                                         |
|-----------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------|
| <b>PLAN OF SURVEY</b><br><b>ANNEXURE SHEET</b><br>SHEET 2 OF 4 SHEETS | OWNER: MISSION AUSTRALIA HOUSING TASMANIA<br>FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1<br>SCALE 1:400 LENGTH IN METRES | Registered Number<br><b>SP.185273</b>                   |
|                                                                       | SIGNED FOR IDENTIFICATION PURPOSES<br>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.                                       | APPROVED EFFECTIVE FROM 31 JUL 2023<br>4/6/2023<br>Date |
| Council Delegate<br>Date                                              | Registered Land Surveyor<br>Date                                                                                                       |                                                         |







|                                                                                                                        |                   |
|------------------------------------------------------------------------------------------------------------------------|-------------------|
| <b>SCHEDULE OF EASEMENTS</b>                                                                                           | Registered Number |
| <b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED. | SP 185273         |

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS**

Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE shown on the Plan ("the Easement Land").

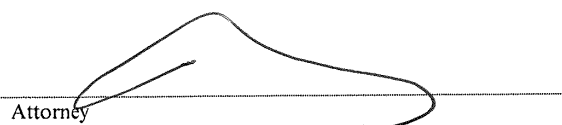
Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

**FENCING PROVISION**

In respect of the lots shown on the Plan, the Vendor (Mission Australia Housing Tasmania) shall not be required to fence.

**DEFINITIONS**

"**Drainage Easement**" means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away

  
Attorney

(USE ANNEXURE PAGES FOR CONTINUATION)

|                                                                                                 |                                       |
|-------------------------------------------------------------------------------------------------|---------------------------------------|
| SUBDIVIDER: Mission Australia Housing Tasmania                                                  | PLAN SEALED BY: CLARENCE CITY COUNCIL |
| FOLIO REF: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1                 | DATE: 14 <sup>th</sup> July 2023      |
| SOLICITOR                                                                                       | PD PLAN PMTD 2019/003802              |
| & REFERENCE: Page Seager (David Shelley) 200541                                                 | REF NO. Council Delegate Clare Shea   |
| <b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification. |                                       |

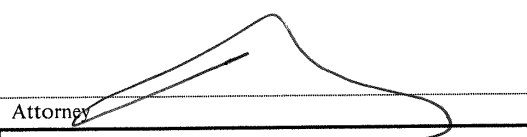
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|-----------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|
| <b>ANNEXURE TO<br/>SCHEDULE OF EASEMENTS</b><br>PAGE 2 OF 4 PAGES                                                                       | Registered Number<br><b>SP 185273</b> |
| SUBDIVIDER: Mission Australia Housing Tasmania<br>FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 |                                       |

stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“**Pipeline and Services Easement**” is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

  
Attorney

  
Attorney

CE

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

|                                                                                                                                         |                                       |
|-----------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|
| <b>ANNEXURE TO<br/>SCHEDULE OF EASEMENTS</b><br>PAGE 3 OF 4 PAGES                                                                       | Registered Number<br><b>SP 185273</b> |
| SUBDIVIDER: Mission Australia Housing Tasmania<br>FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 |                                       |

- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY**, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

**“Infrastructure”** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Attorney  Attorney 

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

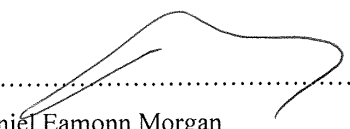
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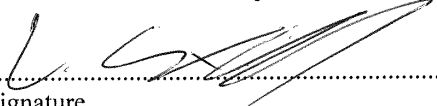
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|-----------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|
| <b>ANNEXURE TO<br/>SCHEDULE OF EASEMENTS</b><br>PAGE 4 OF 4 PAGES                                                                       | Registered Number<br><b>SP 185273</b> |
| SUBDIVIDER: Mission Australia Housing Tasmania<br>FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 |                                       |

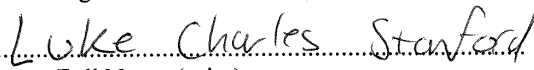
“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

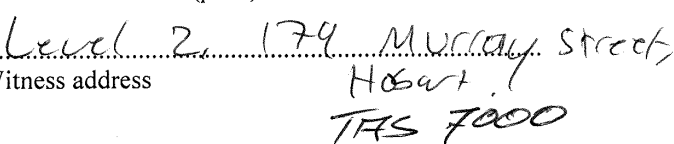
**EXECUTED** by **Mission Australia Housing Tasmania (ACN 648 587 017)**, as registered proprietor of the land comprised in Folios of the Register Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 by its attorneys **David Alexander Shelley** and **Daniel Eamonn Morgan** (each a Director of Page Seager Pty Ltd ACN 620 698 286) under registered Power of Attorney number PA139154 who hereby declare that no notice of alteration or revocation of this Power of Attorney has been received in the presence of:

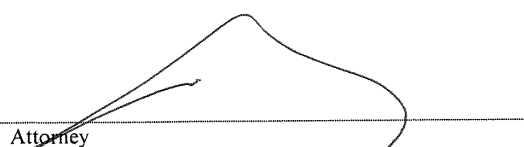
  
 .....  
 David Alexander Shelley  
 (Director Page Seager Pty Ltd ACN 620 698 286)

  
 .....  
 Daniel Eamonn Morgan  
 (Director Page Seager Pty Ltd ACN 620 698 286)

  
 .....  
 Witness Signature

  
 .....  
 Witness Full Name (print)

  
 .....  
 Witness address

  
 .....  
 Attorney

  
 .....  
 Attorney

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

CD

UNREGISTERED DEALINGS REPORT

SEARCH DATE : 05-Aug-2026

SEARCH TIME : 10:42 am

CT: 185273/35

N294943     PRIORITY NOTICE reserving priority for 90 days  
TRANSFER Mission Australia Housing Tasmania to Anuj  
Arora and Meenakshi Marwaha  
MORTGAGE Anuj Arora and Meenakshi Marwaha to Westpac  
Banking Corporation    Lodged by SOUTHERN PROPERTY &  
CONVEYANCING on 13-July-2026 BP: N294943

N294938     TRANSFER to MEENAKSHI MARWAHA of ten undivided 1/100  
shares and ANUJ ARORA of ninety undivided 1/100  
shares as tenants in common    Lodged by DOBSON  
MITCHELL ALLPORT on 03-Aug-2026 BP: N294938

E465159     MORTGAGE to Westpac Banking Corporation    Lodged by  
DOBSON MITCHELL ALLPORT on 03-Aug-2026 BP: N294938

## UNREGISTERED AND RECENTLY REGISTERED DEALINGS REPORT

SEARCH DATE : 05-Aug-2026

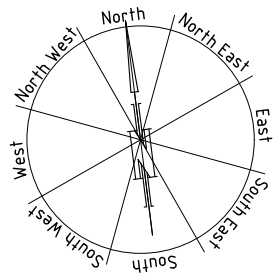
SEARCH TIME : 10:42 am

CT: 185273/35

| <u>Lodge Date</u> | <u>Type</u> | <u>DealingNo</u> | <u>Reg Date</u> |
|-------------------|-------------|------------------|-----------------|
| 13-July-2026      | PRIORITY    | N294943          |                 |
| 03-Aug-2026       | TRANSFER    | N294938          |                 |
| 03-Aug-2026       | MORTGAGE    | E465159          |                 |

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Search covers any dealings registered in the last 90 days and any dealings yet to be registered.



Volume/Folio: 185273/35  
Locality: Rokeby  
Municipality: Clarence

Planning Zones:  
General Residential,  
Planning Codes Overlay:  
Airport obstacle limitation area,  
Flood-prone areas,  
Planning Scheme: Tasmanian Planning Scheme

- Contents
1. Site Plan

2. Plan

3. Elevations

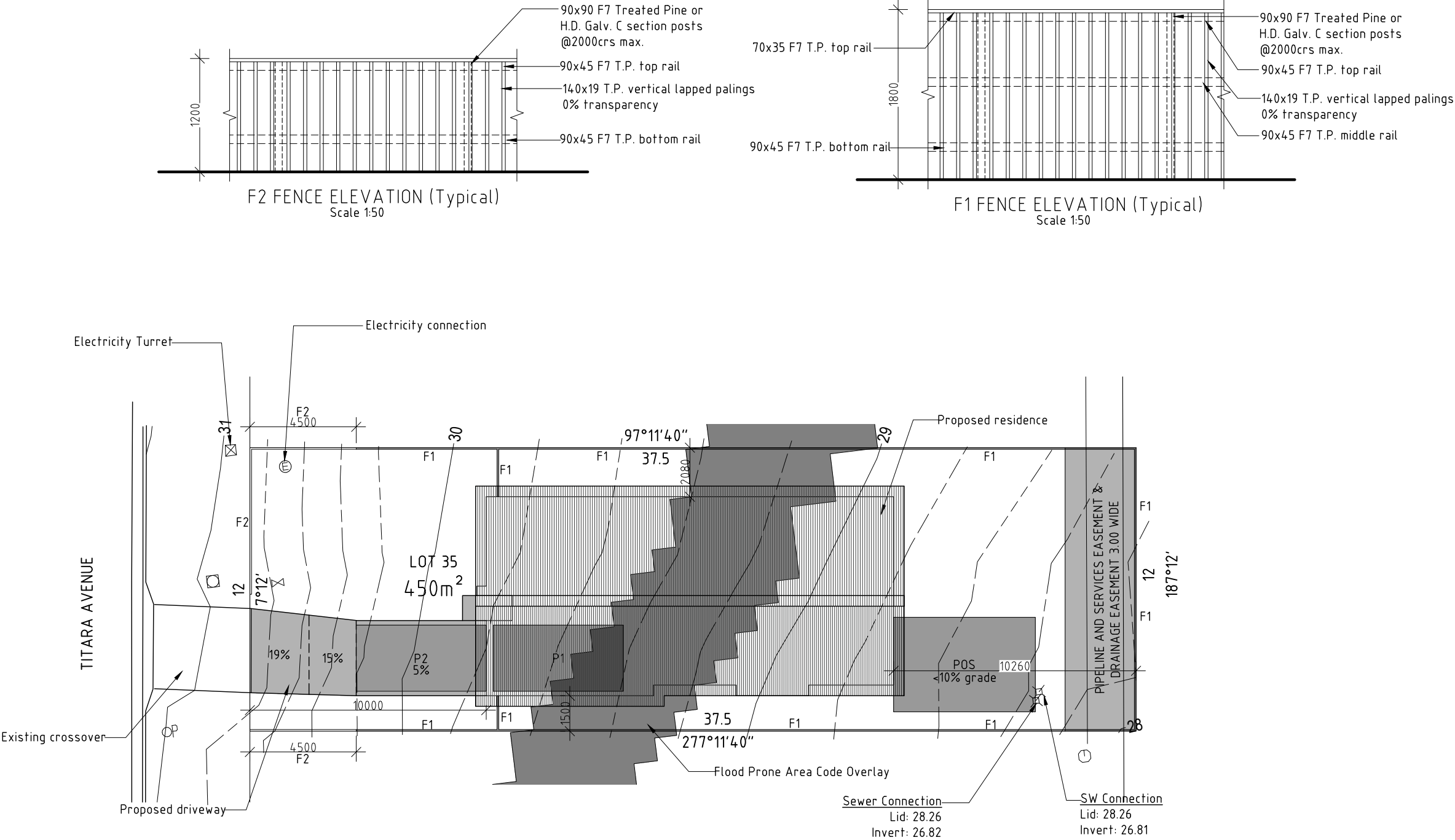
4. Reflected Ceiling Plan

5. Glazing Notes

6. Stormwater Concept Plan

7. Plumbing Notes

8. Plumbing Details



DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR  
SJM PROPERTY DEVELOPMENTS PTY LTD AT  
23 TITARA AVENUE ROKEBY 7019

SITE PLAN

SCALE 1:200  
0 2000 4000

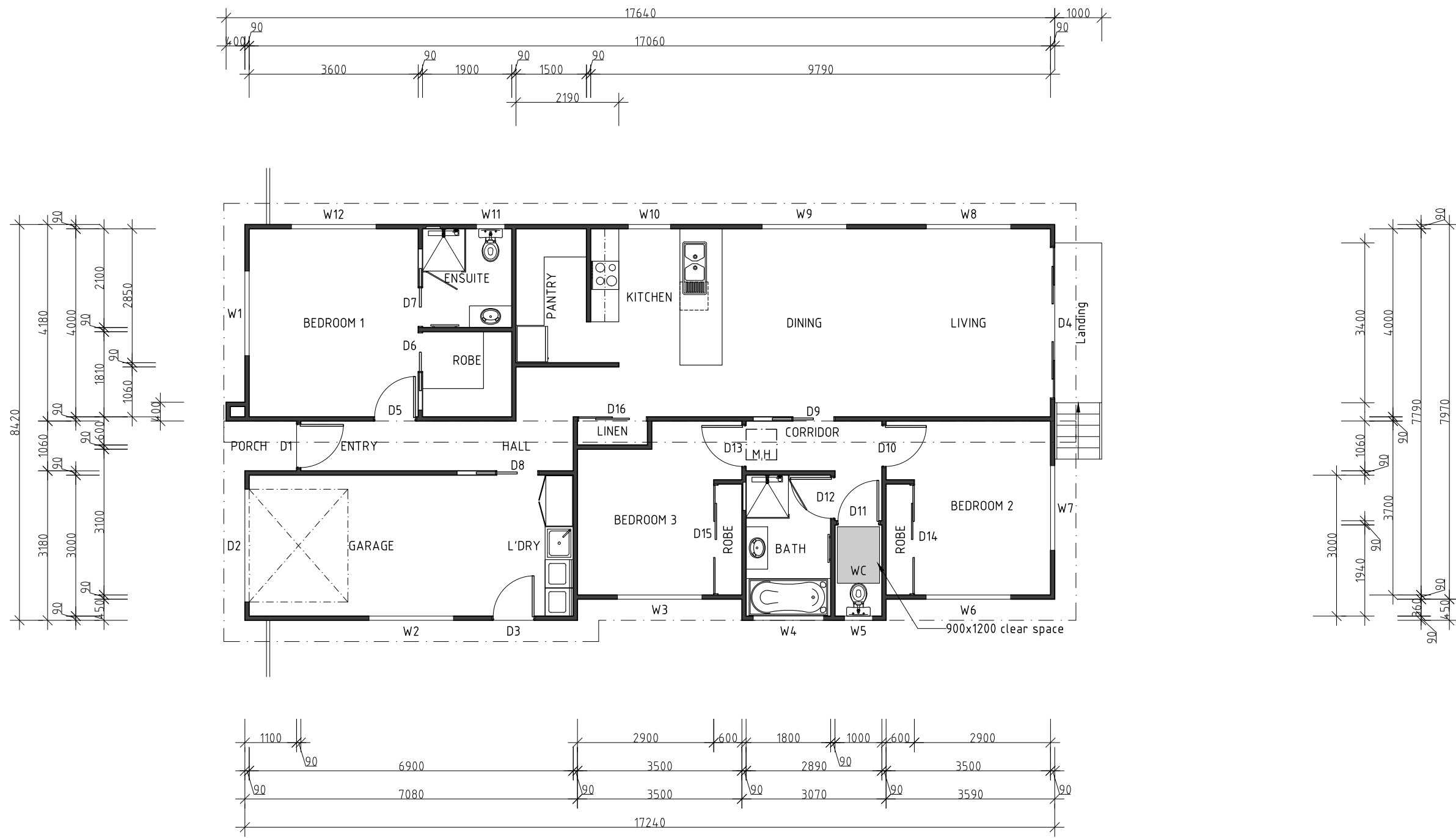
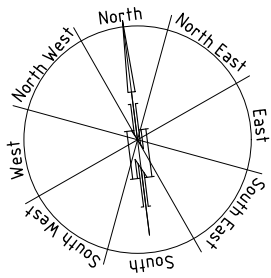
AMENDED

DATE  
05/08/2026

DRAWING NO.  
01 OF 08

DRAWN BY J.TILLEY  
email: jtilley7@gmail.com  
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H  
© copyright 2026 5726



|           |                      |
|-----------|----------------------|
| AREAS:    |                      |
| Residence | 140.96m <sup>2</sup> |
| Alfresco: | 20.10m <sup>2</sup>  |

DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR  
SJM PROPERTY DEVELOPMENTS PTY LTD AT  
23 TITARA AVENUE ROKEBY 7019

PLAN

SCALE 1:100  
0 1000 2000

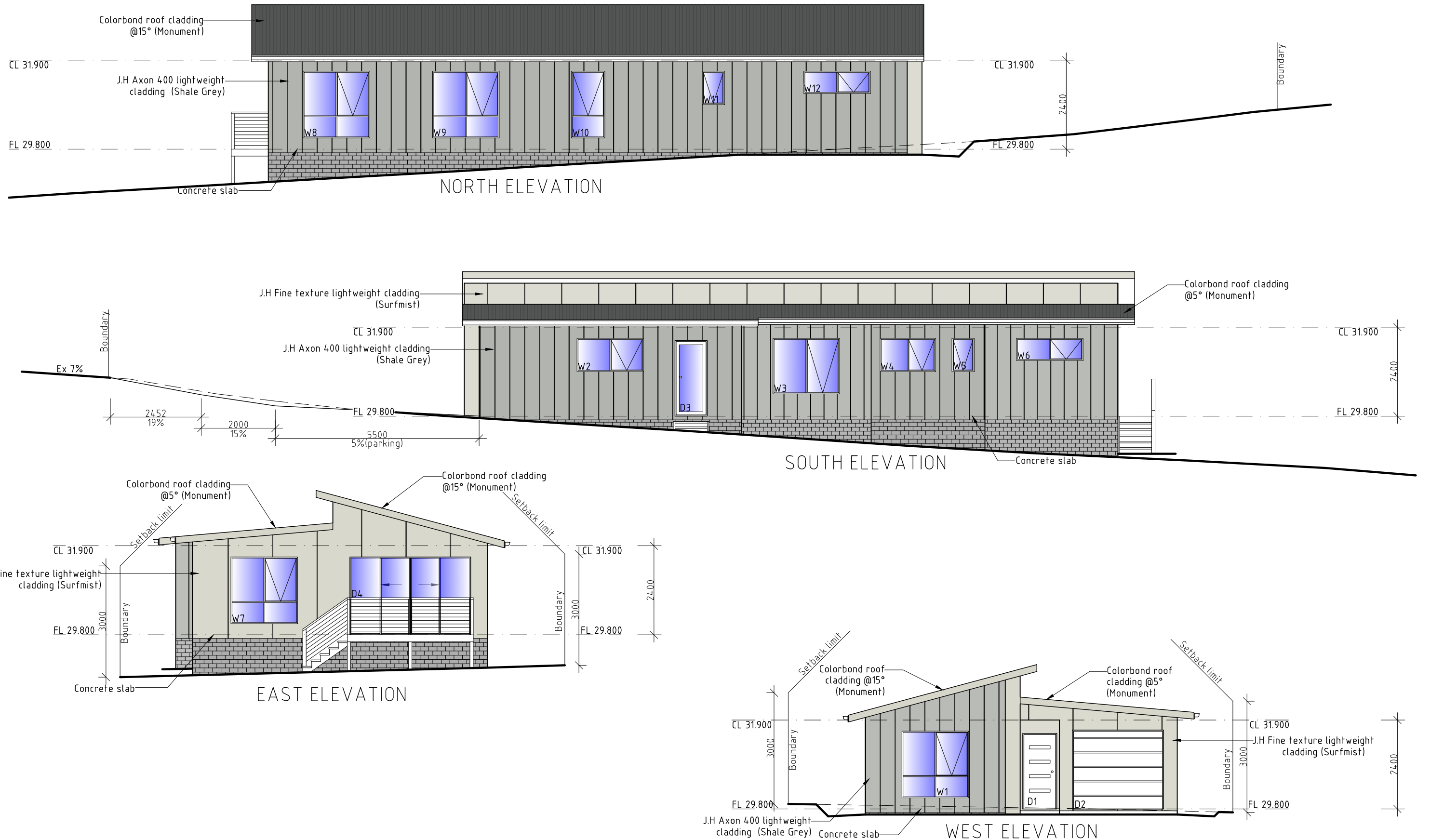
AMENDED

DATE  
05/08/2026

DRAWING NO.  
02 OF 08

DRAWN BY J.TILLEY  
email: jtilley7@gmail.com  
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H  
C copyright 2026 5726



DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR  
SJM PROPERTY DEVELOPMENTS PTY LTD AT  
23 TITARA AVENUE ROKEBY 7019

ELEVATIONS

SCALE 1:100  
0 1000 2000

AMENDED

DATE  
05/08/2026

DRAWING NO.  
03 OF 08

DRAWN BY J.TILLEY  
email: jtilley7@gmail.com  
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H  
© copyright 2026 5726

- Downlight point  
Recessed downlights to be MARTEC, GENISIS  
Fully sealed recessed downlight 100° beam or similar
- Surface mounted batten light fitting  
with 12 watt LED globe
- Combination light, fan & heat lamp unit  
4/200 watt heat lamps (not included in calculation)
- Up/down exterior wall light 12 watt LED,  
1800mm above FL.
- Surface or wall mounted external security sensor  
light with 20 watt LED globes

RH Range hood

For dimmer switch location, refer to lighting calculations.  
External lights to be controlled by daylight sensor, or have an average light source efficacy of not less than 40 Lumens/watt.  
All Bathroom fans to be fitted with backdraught dampers/shutters, and to be ducted directly to outdoor air.  
See attached Lighting calculation.

Interconnected photoelectric smoke alarms.

A.C Wall mounted reverse cycle heat pump, indoor unit. Size based off 6kW system

A.C Inv Ground based reverse cycle heat pump outdoor unit. Size based off 6kW system.

HW Hot Water Cylinder

TV connection point

| ROOM                    | AREA m <sup>2</sup> |
|-------------------------|---------------------|
| Entry/Hall              | 8.57                |
| Garage & L'dry          | 20.70               |
| Bedroom 1               | 14.40               |
| Robe                    | 3.43                |
| Ensuite                 | 3.99                |
| Bedroom 2               | 11.48               |
| Bedroom 3               | 10.53               |
| Bathroom                | 5.40                |
| Corridor                | 4.12                |
| WC                      | 1.94                |
| Kitchen, Dining, Living | 38.72               |
| Pantry                  | 4.27                |
| Alfresco                | 20.40               |

#### ROOF VENTILATION

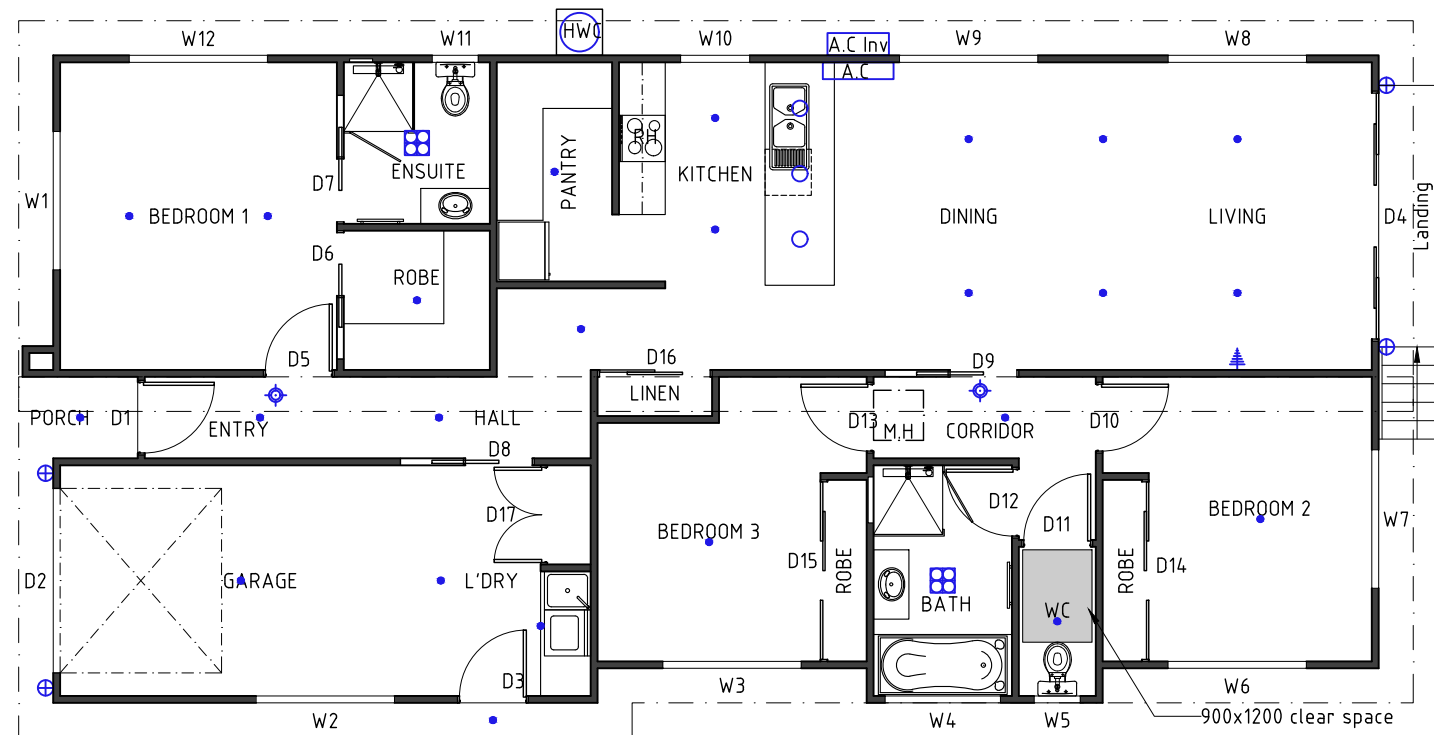
##### SUPPLY

Continuous gap at eaves it:  
25mm for <16° pitch  
10mm for >16° pitch

##### EXHAUST

Continuous gap at ridge is min.  
5mm for all roof pitches.

Refer to ABCB Housing Provisions  
Table 10.8.3 for alternative.



PROPOSED RESIDENCE FOR  
SJM PROPERTY DEVELOPMENTS PTY LTD AT  
23 TITARA AVENUE ROKEBY 7019

REFLECTED CEILING PLAN

DATE  
05 / 08 / 2026

DRAWN BY J.TILLEY  
email: jtilley7@gmail.com  
phone ph 0400 671 582

SCALE 1:100  
0 1000 2000

AMENDED

DRAWING NO.  
04 OF 08

Certified: G. Tilley Accreditation No.CC620H  
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NCC Vol. 2 2022  
 ABCB Housing Provisions Part 11.3.7 Protection of openable windows – bedrooms  
 (1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2m or more above the surface beneath.  
 (2) Where the lowest level of the window opening covered by (1) is less than 1.7 m above the floor, the window opening must comply with the following:  
 (a) The openable portion of the window must be protected with -  
 (i) a device capable of restricting the window opening; or  
 (ii) a screen with secure fittings.  
 (b) A device or screen required by (a) must -  
 (i) not permit a 125mm sphere to pass through the window opening or screen; and  
 (ii) resist an outward horizontal action of 250N against the -  
 (A) window restrained by a device; or  
 (B) screen protecting the opening; and  
 (iii) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.  
 (3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865mm above the floor is required to an openable window in addition to window protection.  
 (4) A barrier covered by (3) must not -  
 (a) permit a 125mm sphere to pass through it; and  
 (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

ABCB Housing Provisions Part 11.3.8 Protection of openable windows – rooms other than bedrooms  
 (1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.  
 (2) The openable part of the window covered by (1) must be protected with a barrier with a height of not less than 865mm above the floor.  
 (3) A barrier required by (2) must not -  
 (a) permit a 125mm sphere to pass through it; and  
 (b) have any horizontal or near horizontal elements between 150mm and 760mm above the floor that facilitate climbing.

LEGENDS & NOTES  
 Flyscreens to be fitted to all openable windows and doors.  
 Glazing requirement as outlined in the attached Glazing Calculator.  
 Alternative options from glazing supplier may be presented to the Designer and Building Surveyor in the form of a new Glazing Calculator.  
 Glazing types available in Tasmania can be access at www.wers.net  
 Shower screens:  
 1800H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.2 & AS 1288:2021. Minimum 4mm thick Grade A toughened & toughened laminated safety glass, labelled to comply with industry standards.  
 Opaque bands:  
 Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible in accordance with ABCB Housing Provisions Part 8.4.7, as follows:  
 - Marking in the form of an opaque band not less than 20mm in height;  
 - The upper edge is not less than 700mm above the floor;  
 - The lower edge is not more than 1200mm above the floor.  
 Flashings to wall openings:  
 All openings must be adequately flashed using materials that comply with AS/NZS 2904.

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047:2014. ALL OTHER GLASS TO COMPLY WITH AS 1288:2021

PROVIDE WEATHER STRIPPING TO ALL EXTERNAL DOORS & WINDOWS.

WINDOW SCHEDULE

| Window | Size (w) | Size (h) | Setout                     | Operation | Area (m²) | Vent. (m²) | Glass value                                 | Glass type             | Frame     | Orientation | Notes | Lintel |
|--------|----------|----------|----------------------------|-----------|-----------|------------|---------------------------------------------|------------------------|-----------|-------------|-------|--------|
| W.1    | 1800     | 1800     | Sill @ 300<br>Head @ 2100  | Awning    | 3.24      | 1.15       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | W           |       |        |
| W.2    | 1800     | 900      | Sill @ 1200<br>Head @ 2100 | Awning    | 1.62      | 0.79       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | S           |       |        |
| W.3    | 1800     | 1500     | Sill @ 600<br>Head @ 2100  | Awning    | 2.7       | 1.33       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | S           |       |        |
| W.4    | 1500     | 900      | Sill @ 1200<br>Head @ 2100 | Awning    | 1.35      | 0.66       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Frosted double glazing | Aluminium | S           |       |        |
| W.5    | 600      | 900      | Sill @ 1200<br>Head @ 2100 | Awning    | 0.54      | 0.54       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Frosted double glazing | Aluminium | S           |       |        |
| W.6    | 1800     | 600      | Sill @ 1500<br>Head @ 2100 | Awning    | 1.08      | 0.53       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | S           |       |        |
| W.7    | 1800     | 1800     | Sill @ 300<br>Head @ 2100  | Awning    | 3.24      | 1.15       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | E           |       |        |
| W.8    | 1800     | 1800     | Sill @ 300<br>Head @ 2100  | Awning    | 3.24      | 1.15       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | N           |       |        |
| W.9    | 1800     | 1800     | Sill @ 300<br>Head @ 2100  | Awning    | 3.24      | 1.15       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | N           |       |        |
| W.10   | 900      | 1800     | Sill @ 300<br>Head @ 2100  | Awning    | 1.62      | 1.17       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | N           |       |        |
| W.11   | 600      | 900      | Sill @ 1200<br>Head @ 2100 | Awning    | 0.54      | 0.54       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Frosted double glazing | Aluminium | N           |       |        |
| W.12   | 1800     | 600      | Sill @ 1500<br>Head @ 2100 | Awning    | 1.08      | 0.53       | U-Value 4.24 or less<br>SHGC = 0.56 or less | Clear double glazing   | Aluminium | N           |       |        |

DOOR SCHEDULE

| Door | Size        | Setout                   | Operation            | Area (m²) | Vent. | Glass value                                 | Glass type           | Frame     | Orientation | Notes | Lintel |
|------|-------------|--------------------------|----------------------|-----------|-------|---------------------------------------------|----------------------|-----------|-------------|-------|--------|
| D.1  | 920×2040    | Sill @ 00<br>Head @ 2040 | Hinged               | TBD       | 2.2   | N/A                                         | N/A                  | Timber    | W           |       |        |
| D.2  | 2400×2100   | Sill @ 00<br>Head @ 2100 | Garage Panel<br>lift | N/A       | N/A   |                                             |                      | N/A       | W           |       |        |
| D.3  | 870x2040    | Sill @ 00<br>Head @ 2040 | Hinged               | TBD       | 2.08  | U-Value 4.35 or less<br>SHGC = 0.55 or less | Clear double glazing | Aluminium | S           |       |        |
| D.4  | 4/3200×2100 | Sill @ 00<br>Head @ 2100 | Glass Slider         | 7.27      | 3.60  | U-Value 3.84 or less<br>SHGC = 0.65 or less | Clear double glazing | Aluminium | N           |       |        |
| D.5  | 870x2040    | Sill @ 00<br>Head @ 2040 | Hinged               |           |       |                                             |                      |           |             |       |        |
| D.6  | 820x2040    | Sill @ 00<br>Head @ 2040 | Cavity Slider        |           |       |                                             |                      |           |             |       |        |
| D.7  | 820x2040    | Sill @ 00<br>Head @ 2040 | Cavity Slider        |           |       |                                             |                      |           |             |       |        |
| D.8  | 870x2040    | Sill @ 00<br>Head @ 2040 | Cavity Slider        |           |       |                                             |                      |           |             |       |        |
| D.9  | 870x2040    | Sill @ 00<br>Head @ 2040 | Cavity Slider        |           |       |                                             |                      |           |             |       |        |
| D.10 | 870x2040    | Sill @ 00<br>Head @ 2040 | Hinged               |           |       |                                             |                      |           |             |       |        |
| D.11 | 870x2040    | Sill @ 00<br>Head @ 2040 | Hinged               |           |       |                                             |                      |           |             |       |        |
| D.12 | 870x2040    | Sill @ 00<br>Head @ 2040 | Hinged               |           |       |                                             |                      |           |             |       |        |
| D.13 | 870x2040    | Sill @ 00<br>Head @ 2040 | Hinged               |           |       |                                             |                      |           |             |       |        |
| D.14 | 3(770×2040) | Sill @ 00<br>Head @ 2040 | Robe Slider          |           |       |                                             |                      |           |             |       |        |
| D.15 | 3(770×2040) | Sill @ 00<br>Head @ 2040 | Robe Slider          |           |       |                                             |                      |           |             |       |        |
| D.16 | 2(720×2040) | Sill @ 00<br>Head @ 2040 | Robe Slider          |           |       |                                             |                      |           |             |       |        |

PROPOSED RESIDENCE FOR  
 SJM PROPERTY DEVELOPMENTS PTY LTD AT  
 23 TITARA AVENUE ROKEBY 7019

GLAZING NOTES

SCALE N/ A

AMENDED

DATE  
 05/ 08/ 2026

DRAWING NO.  
 05 OF 08

DRAWN BY J.TILLEY  
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Certified: G. Tilley Accreditation No.CC620H  
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WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740

WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:  
FLOOR: Waterproof entire floor if no preformed shower base provided  
WALLS: Waterproof to not less than 1800mm above the floor substrate  
WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction  
WALL/FLOOR JUNCTIONS: Waterproof internal and external corners and joints  
PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:  
FLOORS: Entire floor to be water resistant  
WALLS/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:  
FLOORS: Waterproof entire floor  
WALL/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):  
FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.  
WALLS: Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.  
WALL JUNCTIONS AND JOINTS:Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction  
WALL/FLOOR JUNCTIONS: Waterproof for the extent of the vessel

AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):  
FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.  
HORIZONTAL SURFACES: Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip  
WALLS: Waterproof walls to not less than 150mm above the lip of the vessel  
WALL JUNCTIONS AND JOINTS: Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction  
WALL/FLOOR JUNCTIONS: Waterproof wall/floor junctions 25mm above finished floor level  
PENETRATIONS: Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

OTHER AREAS (LAUNDRIES AND WCs):  
FLOOR: Water resistant floor to entire room  
WALLS: Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of wall  
WALL JUNCTIONS AND JOINTS: Waterproof junctions where a vessel is fixed to a wall  
WALL/FLOOR JUNCTIONS: Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used  
PENETRATIONS: Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

WATERPROOFING SYSTEMS:  
Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.

FALLS TO WET AREA FLOORS:  
Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.

STEPDOWN SHOWERS:  
Where stepdown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.

HOB CONSTRUCTION:  
Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.

ENCLOSED SHOWERS WITH LEVEL THRESHOLD:  
Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

UNENCLOSED SHOWERS:  
Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joins and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

PENETRATIONS:  
All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

FLASHINGS/JUNCTIONS:  
All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

SHOWER SCREENS:  
1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

HYDRAULIC NOTES:  
1. All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.  
2. The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.  
3. Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.  
4. Refer to designers drawings and fixture and equipment technical specifications for pipework connections.

- 5. Make good all disturbed surfaces to match existing.
- 6. Remove all excess soil and surplus materials from site.
- 7. All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.  
All plumbing & drainage to be in accordance with local Council requirements.  
Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.  
Stormwater line (100mm uPVC)  
Sewer line (100mm uPVC)

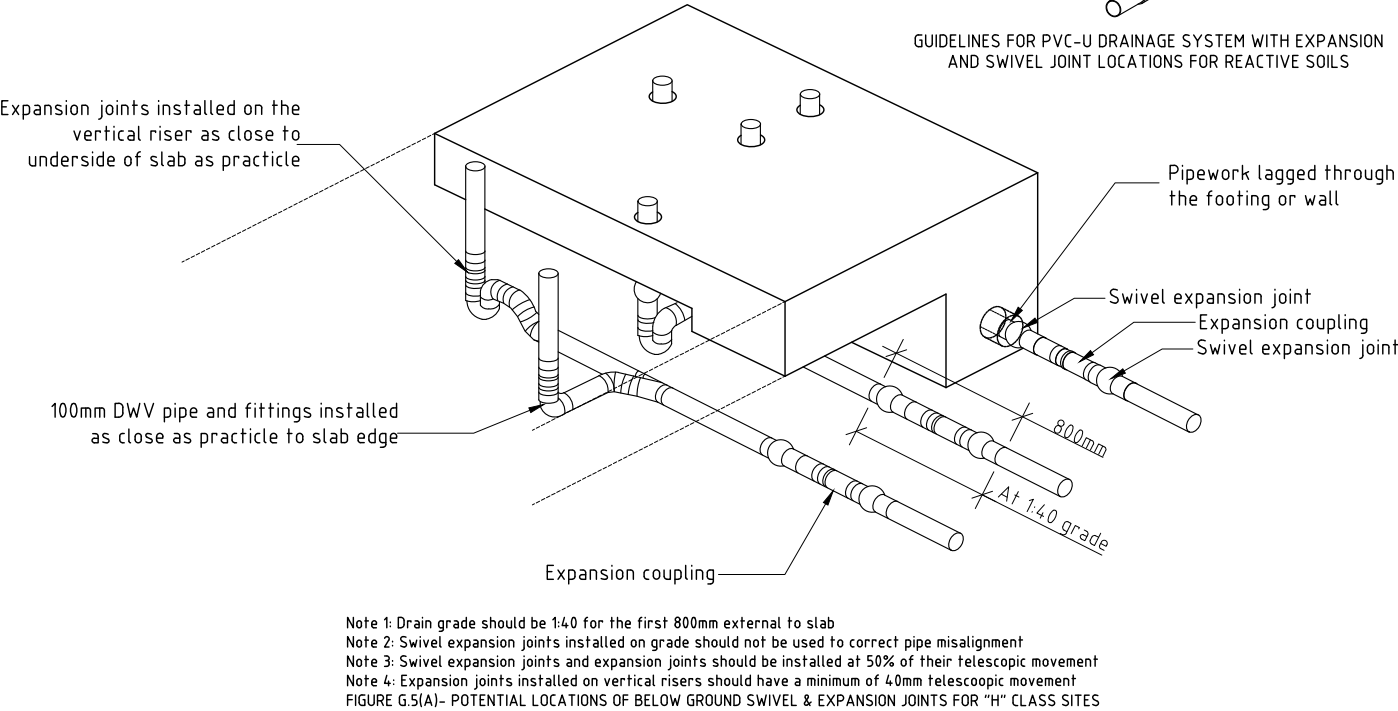
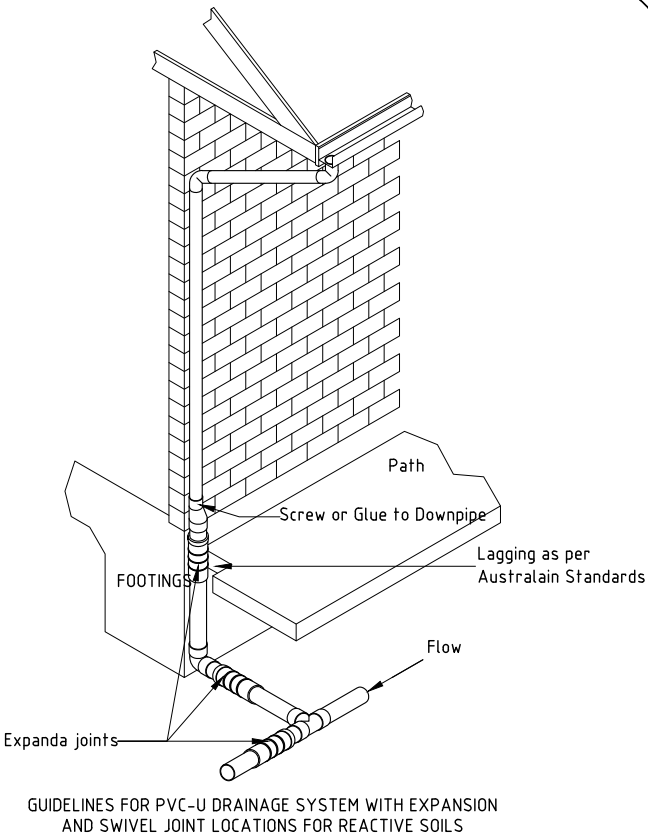
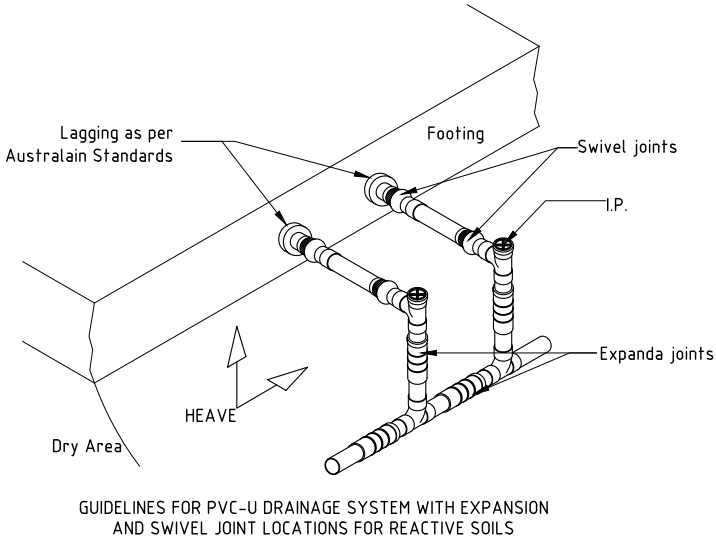
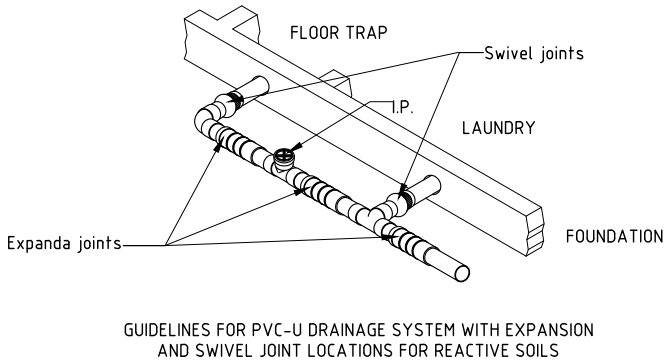
SERVICES  
The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia  
Thermal insulation for heated water piping must:  
a) be protected against the effects of weather and sunlight; and  
b) be able to withstand the temperatures within the piping; and  
c) use thermal insulation in accordance with AS/NZS 4859.1

- Heated water piping that is not within a conditioned space must be thermally insulated as follows:
- Internal piping:
    - All flow and return internal piping that is -
      - within an unventilated wall spaces
      - within an internal floor between storeys, or
      - between ceiling and insulation and a ceilingMust have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
  - Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
    - All flow and return piping
    - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system  
Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
  - Piping located outside the building or in an unenclosed building sub-floor or roof space:
    - All flow and return piping.
    - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system  
Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

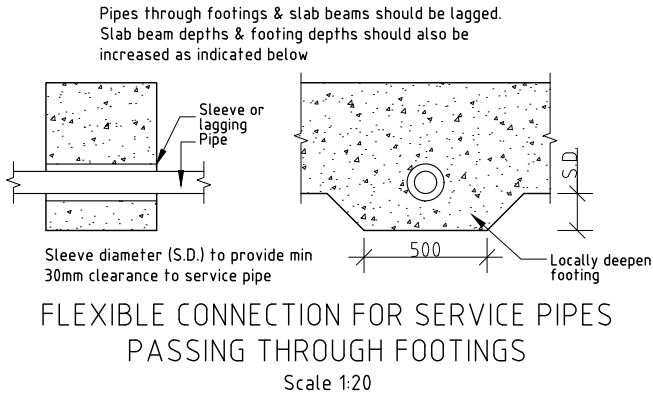
| Hot & Cold Water Nominal Diameters |           |  |
|------------------------------------|-----------|--|
| Branch off takes                   | Min. DN20 |  |
| Max. off take length 6m            | DN18      |  |
| Max. off take length 3m            | DN15      |  |
| Max. off take length 1m            | DN10      |  |

| Insulation Schedule           |            |                              |
|-------------------------------|------------|------------------------------|
| Heated Water Pipes Type       | Size Range | Insulation                   |
| Circulating Line              | 32-40      | 25mm Rockwool with foil wrap |
| Branch Line                   | 20-25      | 19mm Bradflex                |
| Offtake                       | 18         | 13mm Bradflex                |
| Cold Water Pipes Exposed Type | Size Range | Insulation                   |
| All                           | >20        | 13mm Bradflex                |
| Other Cold Water Pipes Type   | Size Range | Insulation                   |
| All                           | All        | Not required                 |

NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



Note 1: Drain grade should be 1:40 for the first 800mm external to slab  
Note 2: Swivel expansion joints installed on grade should not be used to correct pipe misalignment  
Note 3: Swivel expansion joints and expansion joints should be installed at 50% of their telescopic movement  
Note 4: Expansion joints installed on vertical risers should have a minimum of 40mm telescopic movement  
FIGURE G.5(A)- POTENTIAL LOCATIONS OF BELOW GROUND SWIVEL & EXPANSION JOINTS FOR "H" CLASS SITES



Surface drainage to conform with NCC Vol. 2 Part H2D2.  
NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:  
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR  
SJM PROPERTY DEVELOPMENTS PTY LTD AT  
23 TITARA AVENUE ROKEBY 7019

PLUMBING NOTES

SCALE N/A

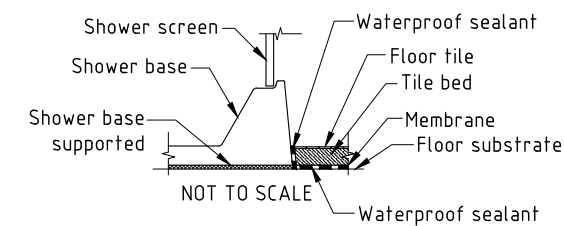
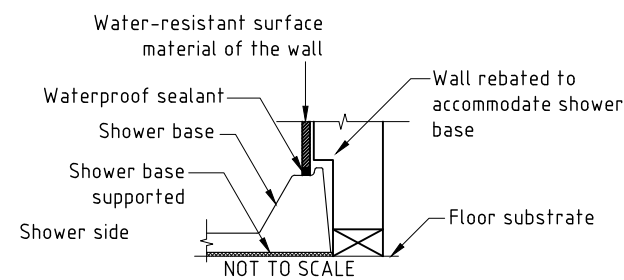
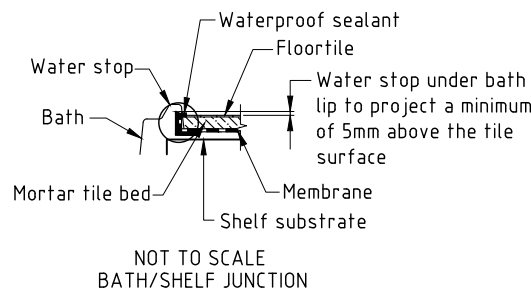
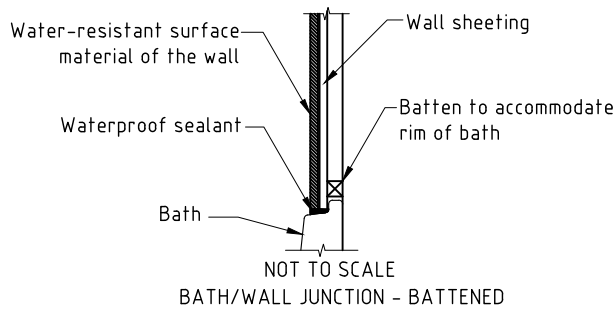
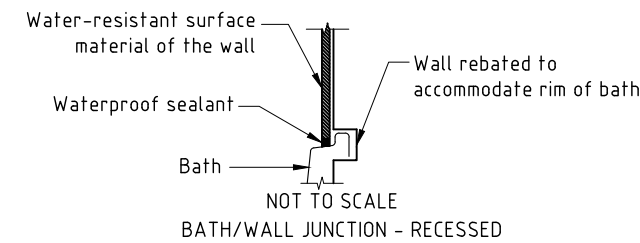
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DATE  
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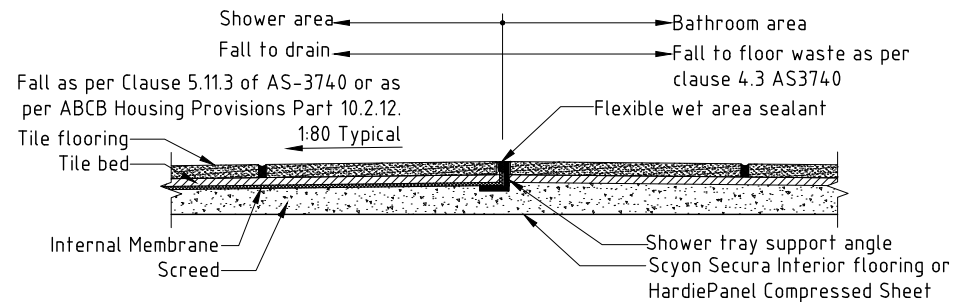
DRAWING NO.  
07 OF 08

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email: jtilley7@gmail.com  
phone ph 0400 671 582

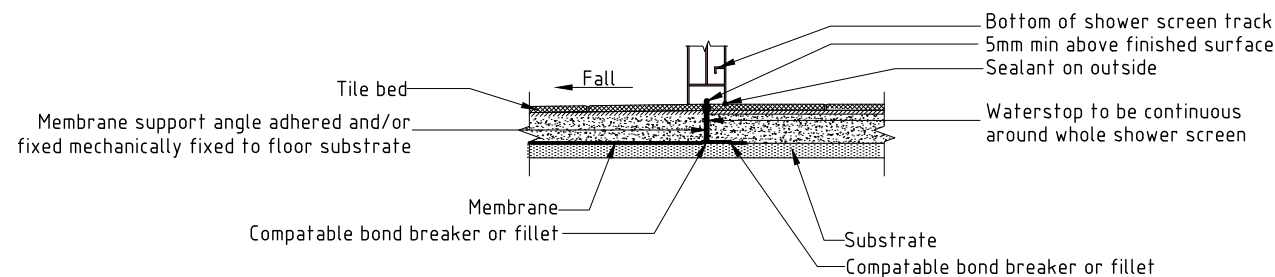
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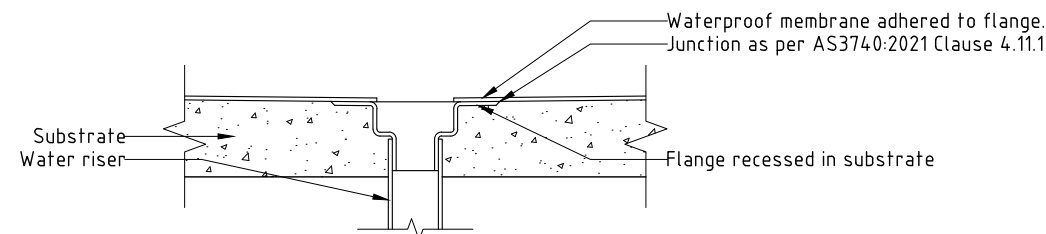
TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION ON TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER MATERIALS



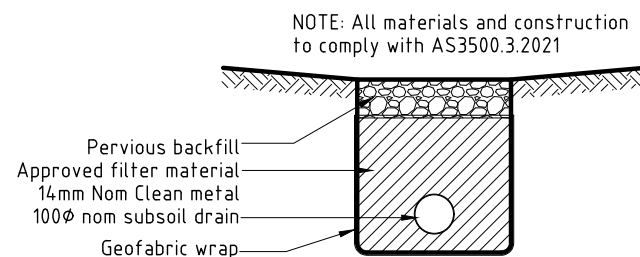
TYPICAL TERMINATION OF MEMBRANE AT EXTENT OF SHOWER AREA - UNENCLOSED  
Scale 1:5



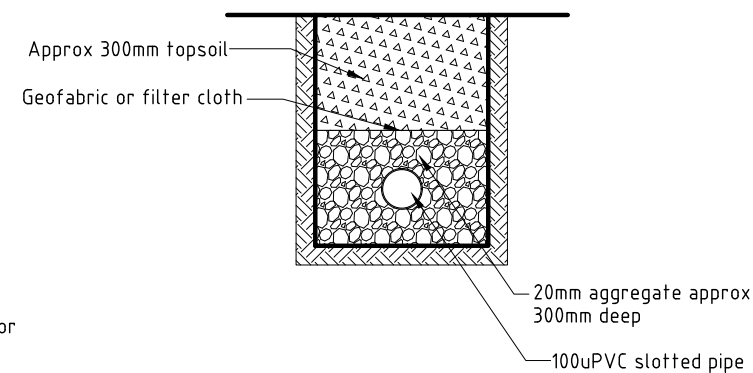
ENCLOSED LEVEL THRESHOLD SHOWER - EDGE FINISHING DETAIL  
Scale 1:10



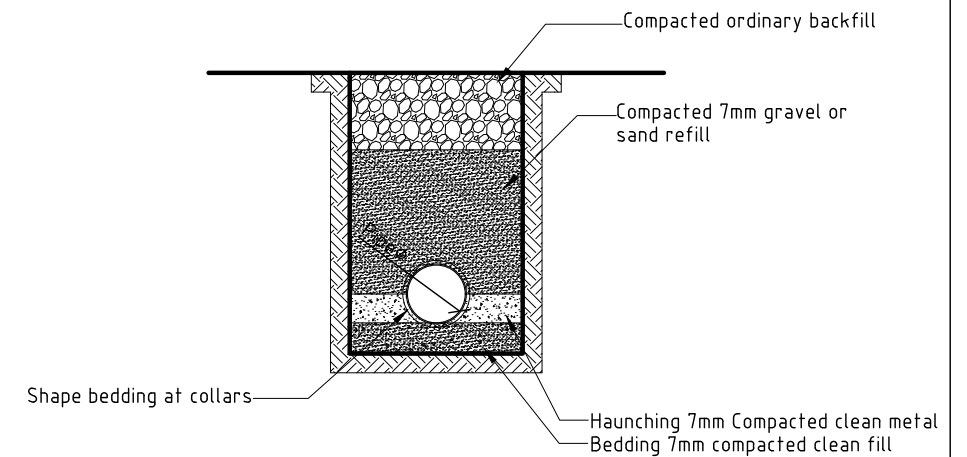
TYPICAL MEMBRANE TERMINATION AT LEAK CONTROL FLANGE  
Scale 1:10



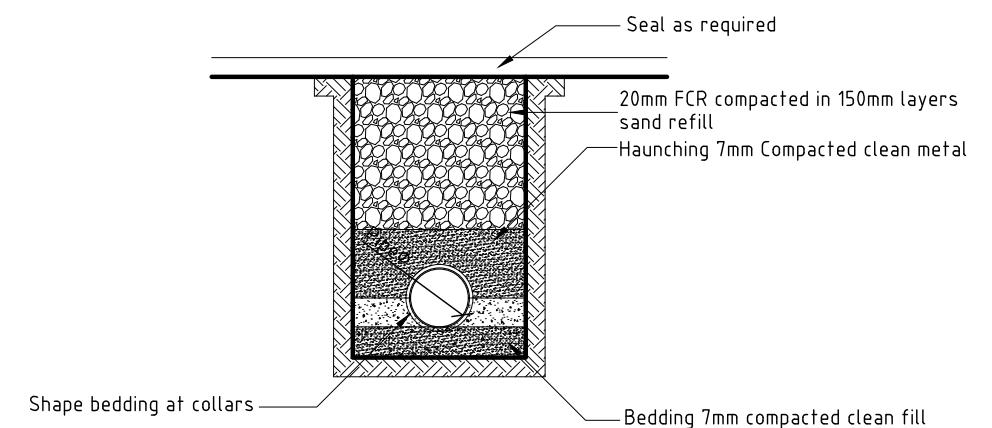
AGG DRAIN DETAIL (TYPICAL)  
Scale 1:20



ABSORPTION TRENCH (TYPICAL)  
Scale 1:20



PIPE TRENCH DETAIL TO NON-TRAFFICABLE AREAS (TYPICAL)  
Scale 1:20



PIPE TRENCH DETAIL TO TRAFFICABLE AREAS (TYPICAL)  
Scale 1:20

| TRENCH WIDTHS  |                  |
|----------------|------------------|
| Pipe diameter  | Min trench width |
| Less than 50mm | 250              |
| 75-100mm       | 450              |
| 150-300mm      | 600              |
| >300mm         | φ plus 300mm     |

Surface drainage to conform with NCC Vol. 2 Part H2D2.  
NOTE: 50mm fall required over first 1m from building.

**IMPORTANT NOTICE FOR ATTENTION OF OWNER:**  
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSRIO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

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PROPOSED RESIDENCE FOR  
SJM PROPERTY DEVELOPMENTS PTY LTD AT  
23 TITARA AVENUE ROKEBY 7019

PLUMBING DETAILS

SCALE 1:20  
0 200 400

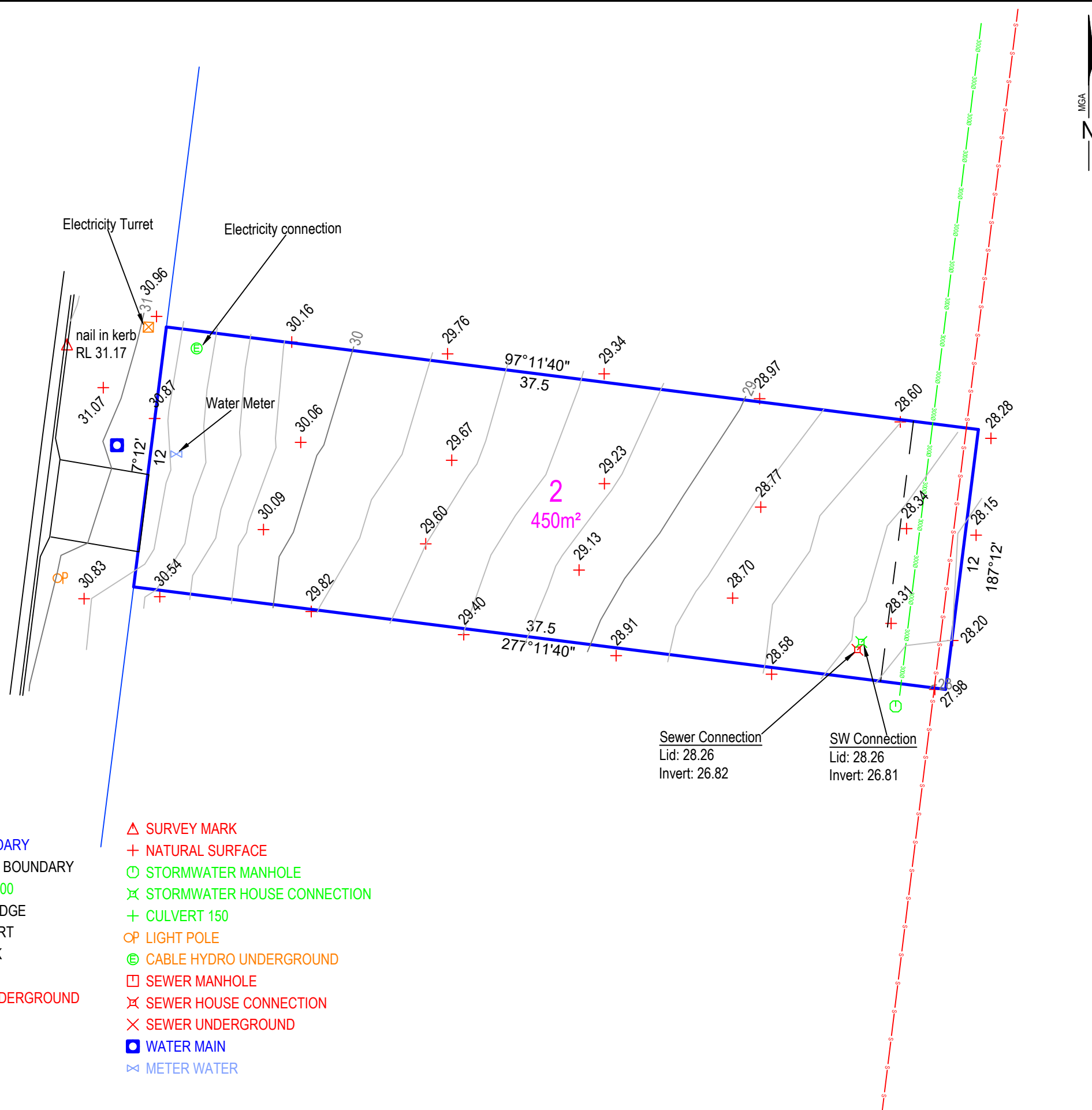
AMENDED

DATE  
05/08/2026

DRAWING NO.  
08 OF 08

DRAWN BY J.TILLEY  
email: jtilley7@gmail.com  
phone ph 0400 671 582

Certified: G. Tilley Accreditation No.CC620H  
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At the time of this survey, CT.185273/35 was owned by MISSION AUSTRALIA HOUSING TASMANIA  
Date of Survey : 17/06/26

- |                                                                                     |                   |                                                                                     |                             |
|-------------------------------------------------------------------------------------|-------------------|-------------------------------------------------------------------------------------|-----------------------------|
|  | LOT BOUNDARY      |  | SURVEY MARK                 |
|  | EASEMENT BOUNDARY |  | NATURAL SURFACE             |
|  | CULVERT 300       |  | STORMWATER MANHOLE          |
|  | BITUMEN EDGE      |  | STORMWATER HOUSE CONNECTION |
|  | KERB INVERT       |  | CULVERT 150                 |
|  | KERB BACK         |  | LIGHT POLE                  |
|  | DRIVEWAY          |  | CABLE HYDRO UNDERGROUND     |
|  | SEWER UNDERGROUND |  | SEWER MANHOLE               |
|                                                                                     |                   |  | SEWER HOUSE CONNECTION      |
|                                                                                     |                   |  | SEWER UNDERGROUND           |
|                                                                                     |                   |  | WATER MAIN                  |
|                                                                                     |                   |  | METER WATER                 |

| <u>AMENDMENTS</u> |                |      |
|-------------------|----------------|------|
| No.               | Revision/Issue | Date |
|                   |                |      |
|                   |                |      |
|                   |                |      |
|                   |                |      |
|                   |                |      |



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**Project Name and Address**

23 TITARA AVENUE,  
ROKEBY

Drawing Title

DETAIL PLAN

|        |                                           |
|--------|-------------------------------------------|
| Client | SJM PROPERTY DEVELOPMENTS<br>CT 185273/35 |
|--------|-------------------------------------------|



|        |                  |              |
|--------|------------------|--------------|
| 3<br>4 | Contour Interval | 0.200 m      |
|        | Date             | 17 / 06 / 26 |

FILE REF:

FILE REF:  
**15221**

|              |                            |
|--------------|----------------------------|
| Geocivil Ref | 1456401                    |
| AutoCAD Ref  | 1522101                    |
| DATUM        | Horz: GDA2020<br>Vert: AHD |

Document Set ID: 6001669  
Version: 1, Version Date: 06/08/2026

Attention: Roxy Goss, SJM Property Developments  
1/37 Ascot Dve  
Huntingfield TAS 7055

### **23 Titara Avenue, Rokeby – Letter of Assessment**

| Rev No. | Description                                         | Prepared by | Date       |
|---------|-----------------------------------------------------|-------------|------------|
| 00      | 23 Titara Avenue, Rokeby, Flood Desktop Assessment. | MM          | 21/08/2026 |

#### **1. Purpose of this letter**

Flüssig Engineers has prepared this letter of assessment in relation to the proposed works at **23 Titara Avenue, Rokeby**, which has been identified as being within a mapped flood prone area as identified in the TheLIST and Clarence City Council flood prone hazard overlay.

This letter has been prepared following a desktop flood risk review to assess whether any proposed development of this lot would require a full Flood Inundation Hazard Report. This review is based solely on publicly available flood data, LiDAR terrain, and aerial imagery, noting that the current ListMap flood mapping overlay, was developed prior to the subdivision and does not include the updated ground model. No site-specific hydraulic or hydrologic modelling has been undertaken, and this summary is intended only to support Council's review process, not for detailed design or certification purposes.

#### **2. Information reviewed**

The mapping extract provided shows the subject site in relation to the mapped flood prone overlay and an overland flow path originating from Titara Avenue flowing in a north-easterly direction. The property appears to be located near the edge of the mapped overland flow extent, rather than within a significant flood storage or major watercourse corridor.

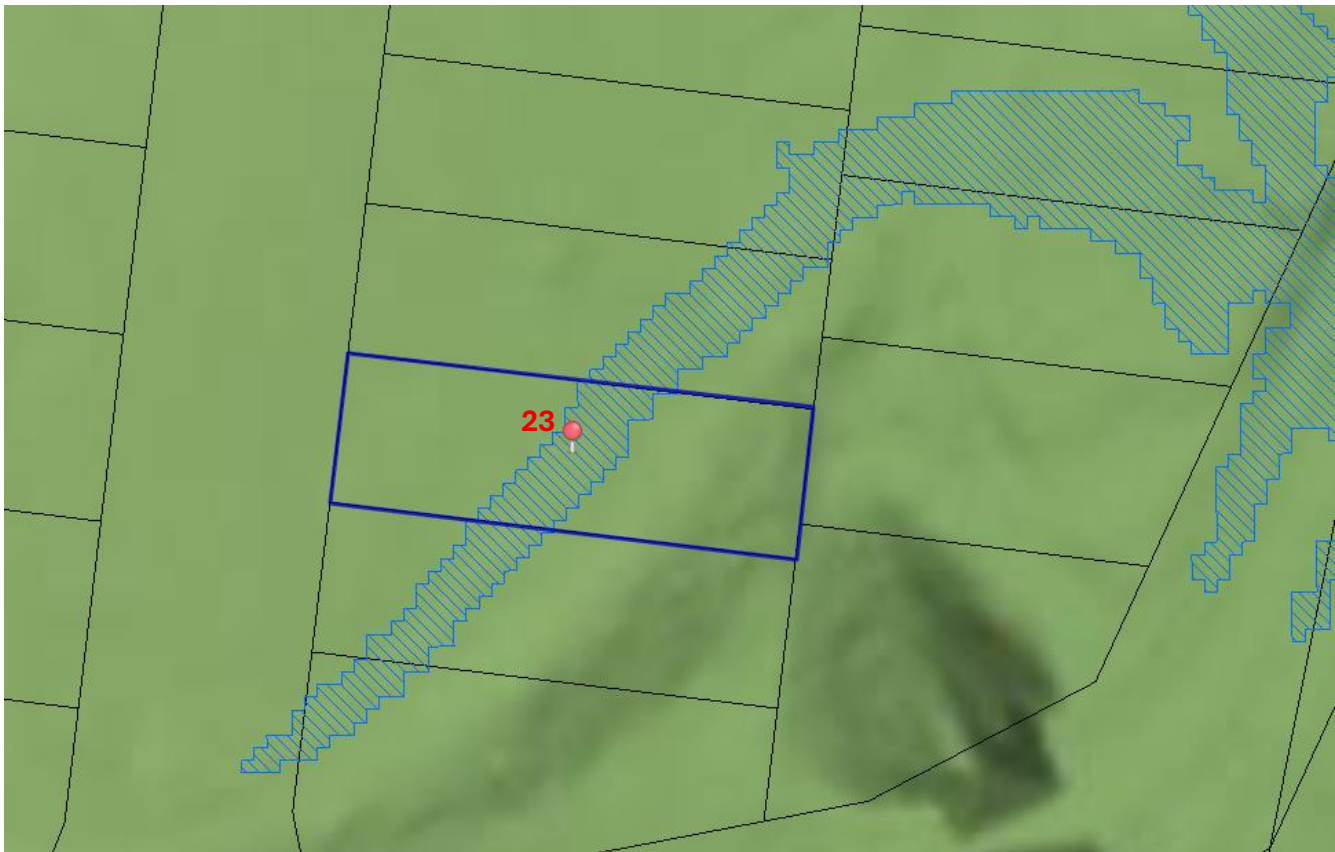
This assessment has been based on the following information:

- LISTmap Tasmania – flood-prone land overlay
- Topographic and aerial imagery (via LISTmap)
- State Emergency Services (SES) Tasmanian Strategic Flood Map data

#### **3. Site and flood mapping context**

Based on the information reviewed, the mapped flood affectation appears to be associated with a shallow overland flow path through the subdivision. When inspecting the existing hillshade data in

TheLIST as shown in Figure 1, it is evident that the raised ground area to the south of the subject lot resulted in a minor overland flow path forming and flowing to the north-east.



**Figure 1. Hillshade of subdivision at Titara Avenue Rokeby obtained from TheLIST**

However, when inspecting more recent images as shown in Figure 2 and Figure 3, the available information indicates that the subdivision roads and individual lots appear to have been constructed after the flood mapping was prepared. As a result, the existing ground levels, road formation, kerb and channel, drainage infrastructure and lot grading would redirect this shallow overland flow towards the newly developed stormwater infrastructure which is not represented in the older flood mapping.

For this reason, the mapped flood overlay should be interpreted with caution at an individual lot scale. The flood mapping appears to provide a relatively minor indication of potential overland flow behaviour, but it may not accurately reflect the final constructed subdivision surface or the current drainage conditions at 23 Titara Avenue, Rokeby.



Figure 2. 23 Titara Avenue, Rokeby showing TPS Flood Prone Area



Figure 3. Google images (2024) showing approx. location of 23 Titara Avenue

## 4. Assessment Opinion

Based on the shallow nature of the mapped overland flow path, and noting that the subdivision appears to have been constructed after the flood mapping was prepared, Flüssig Engineers considers that a full flood report would not be warranted in this instance, unless Council requests further hydraulic modelling, detailed flood levels, finished floor level confirmation, or a more detailed site specific assessment.

In addition, State Emergency Services (SES) Tasmanian Strategic Flood Map data established in 2022 does not identify this lot as being affected by flooding.

## 6. Conclusion

Based on the information provided, Flüssig Engineers considers that the flood affectation at **23 Titara Avenue, Rokeby** appears to be relatively minor and most likely not representative of the current conditions of the site.

The subdivision roads and lots appear to have been constructed after the flood mapping was prepared, meaning the available flood overlay may not fully represent the current finished surface conditions of the subdivision.

The assessment concludes that the subject site has been significantly modified by previous subdivision works, and the former overland flow path has been replaced by constructed drainage infrastructure.

## 7. Limitations

This letter is a desktop letter of assessment only. It is based on the information supplied by the client, Council correspondence, available mapping, and the levels identified in the information provided.

No detailed hydraulic modelling, site survey verification, flood model refinement, road design assessment or civil engineering design has been undertaken as part of this letter. If future works alter ground levels, obstruct overland flow paths, change the driveway alignment, or introduce new development within a mapped flood prone area, further assessment may be required.

Any further questions regarding this assessment, please feel free to contact me.

Regards,



### Max W. Moller

*BEng, FIEAust, EngExec, CPEng, NER, APEC Engineer, IntPE(Aus)*

**Managing Director / Senior Principal Civil, Hydraulic and Coastal Engineer**



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