



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/063325

PROPOSAL: Secondary Residence (Single Dwelling)

LOCATION: 12 Maluka Street, Bellerive

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 16/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 16/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 16/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Planning Application

Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Proposed secondary residence

Location: 12 Maluka Street, Bellerive

Personal Information Removed



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Private residence**

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed



Planning Application checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☒ Details of the location of the proposed use or development.
- ☒ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☒ Full description of the proposed use or development.
 - ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☒ Declaration the owner has been notified if the applicant is not the owner.
 - ☐ Crown or Council consent (if publically-owned land).
 - ☐ Any reports, plans or other information required by the relevant zone or code.
 - ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☒ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
-



- Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
 - ☒ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
 - Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
 - ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
 - Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
 - ☐ Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 21055	FOLIO 20
EDITION 5	DATE OF ISSUE 25-Jan-2023

SEARCH DATE : 27-Feb-2026

SEARCH TIME : 12.16 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 20 on Plan [21055](#)

Being the land described in Conveyance No. 63/6226

Derivation : Part of 8A-3R-25Ps. Section L. Gtd. to W.S.
Gellibrand.Prior CT [4539/99](#)SCHEDULE 1

GERARD FRANCIS DILGER and BARBARA ANN DILGER

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[39/3457](#) CONVEYANCE: Benefiting Easement: Drainage right over
the drainage easement shown passing along the
southern boundary of Lot 21 shown on Plan No. [21055](#)
and over the drainage easement shown marked 'A.B.' on
the said Plan

[39/3457](#) CONVEYANCE - BURDENING EASEMENT: Drainage right over
the Drainage Easement shown on the said plan as
passing through Lot 20 thereon

[39/3457](#) CONVEYANCE Made Subject to Boundary Fences Condition

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

APPROVED FROM: <i>P. Broad</i> ACTING DEPUTY RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER P.21055
FILE NUMBER Y.1118	GRANTEE: PART OF (8.3.25) SEC. L WILLIAM ST. PAUL GELLIBRAND.	M. YOUNG 2.8.83

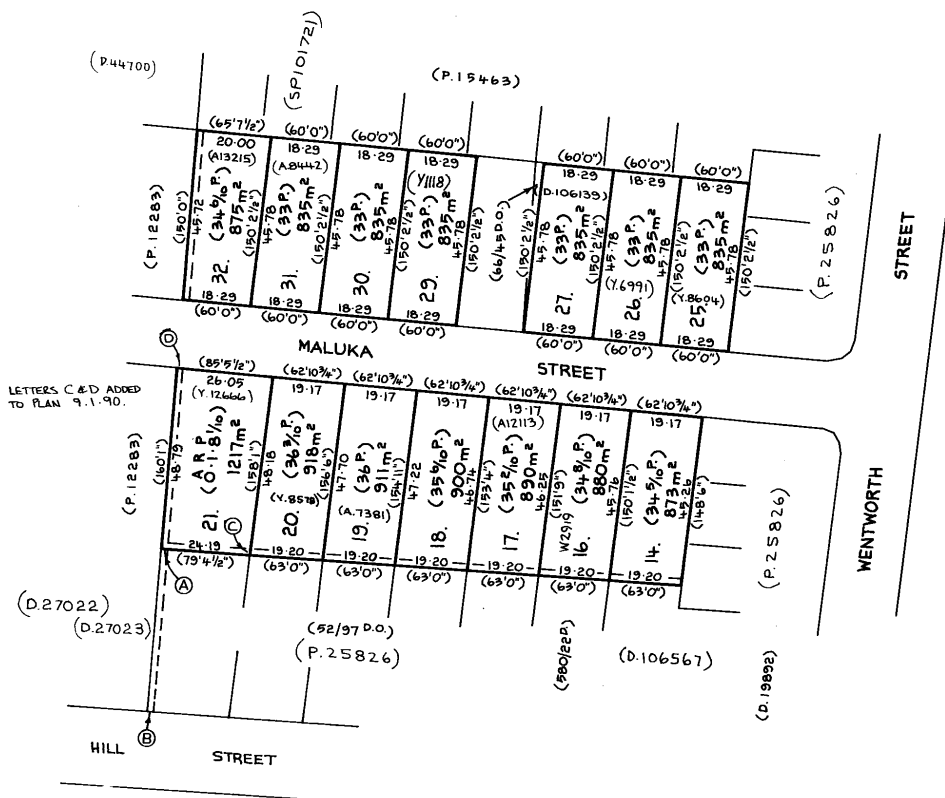
CITY OF CLARENCE

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF BELLERIVE
LAND DISTRICT OF
PARISH OF
LENGTHS ARE IN METRES. NOT TO SCALE.
LENGTHS IN BRACKETS IN FEET & INCHES.

P.21055
SEC. L

DRAINAGE EASEMENTS (5'0") 1-52 WIDE
SHOWN THUS: ————



PROPOSED GRANNY FLAT

12 MALUKA STREET,

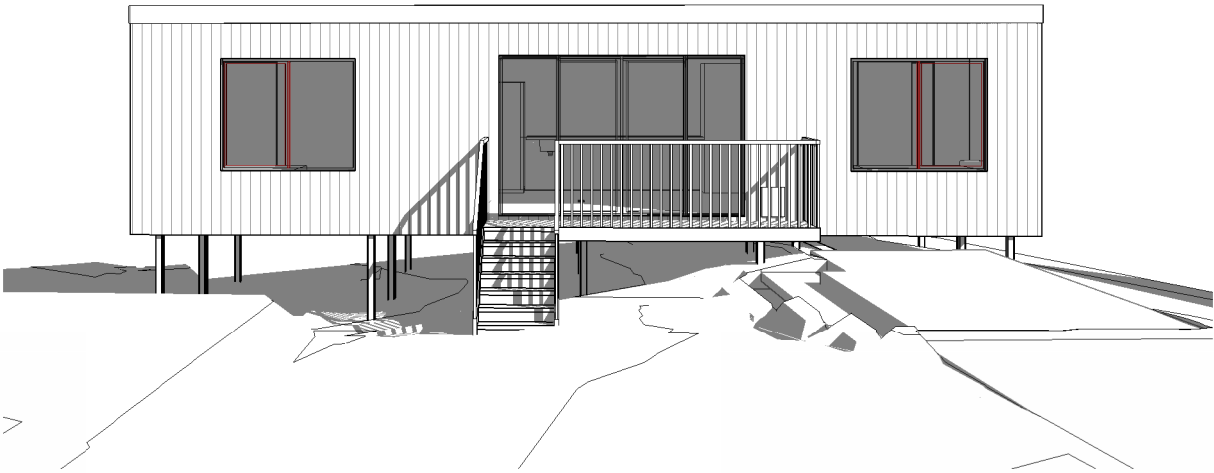
BELLERIVE

G.F. & B. DILGER

PD26063

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	LOCALITY PLAN
04	SHADOW DIAGRAMS
05	FLOOR PLAN
06	ELEVATIONS
07	ROOF PLAN
08	PERSPECTIVES



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 21055/20
SITE AREA: 918m2
DESIGN WIND SPEED: N1
SOIL CLASSIFICATION: P
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: HIGH
BAL RATING: N/A
OTHER KNOWN HAZARDS: AIRPORT OBSTACLE LIMITATION
AREA, FLOOD-PRONE AREAS



L: 10 Goodman Court , Invermay, 7248
p(0) + 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au
Accredited Building Practitioner:

bdqa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

primedesigntas.com.au
Frank Geskus -No CC246A

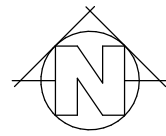


FLOOR AREA 59.72 m2 (6.43 SQUARES)

COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

REV. DATE DESCRIPTION

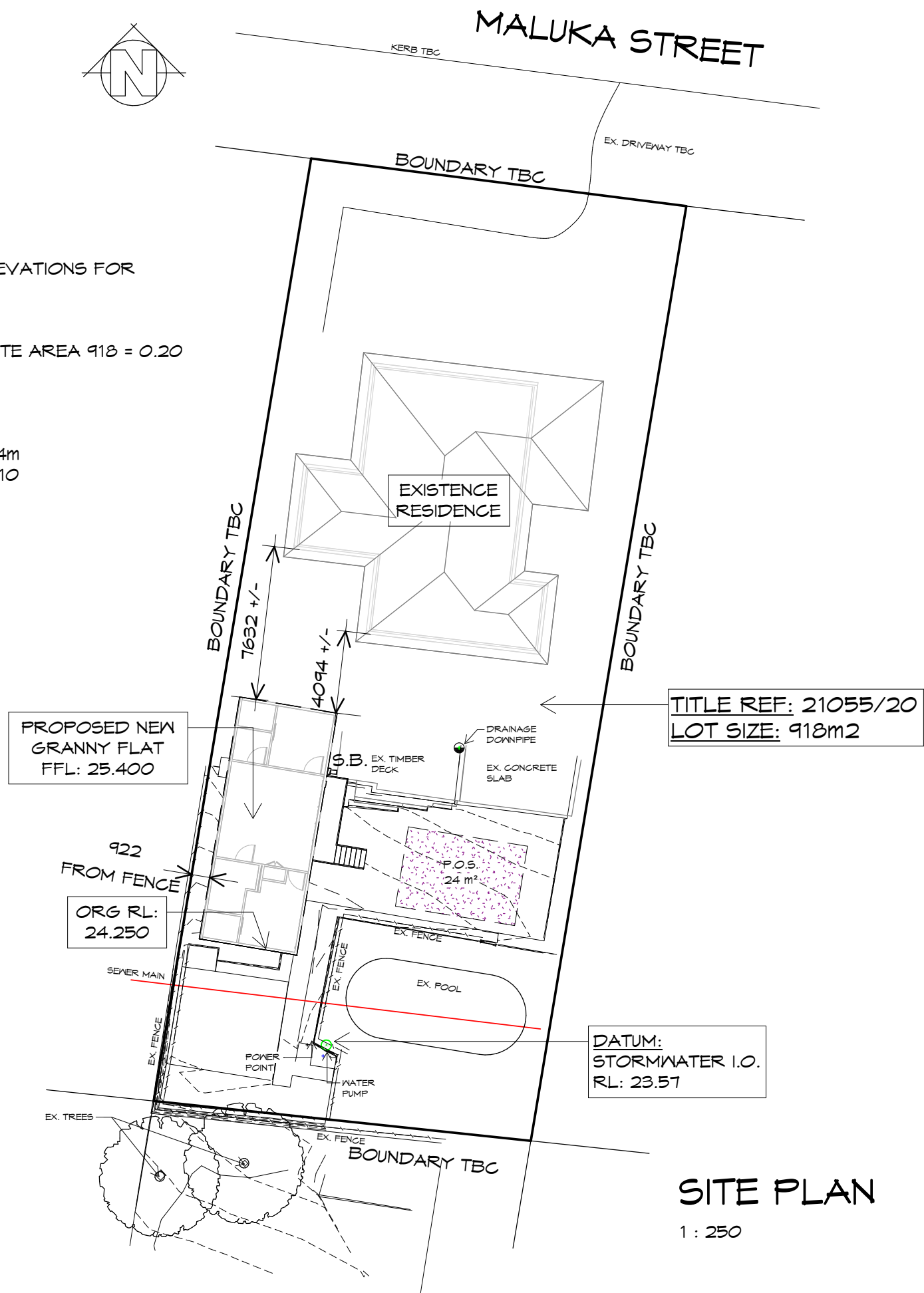
AUGUST 2026
PLANNING



SETBACKS
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.

SITE COVERAGE
BUILDING FOOTPRINT 184.29 / SITE AREA 918 = 0.20
TOTAL SITE COVERAGE 20%

PRIVATE OPEN SPACE
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10



- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION

- SURVEYOR NOTES**
- THIS PLAN HAS BEEN PREPARED FOR KNEST FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - UNDERGROUND SERVICES HAVE NOT BEEN LOCATED.
 - THE RELEVANT AUTHORITIES SHOULD BE CONTACTED REGARDING THE LOCATION OF UNDERGROUND UTILITIES (TELSTRA, WATER MAINS, SEWER, DRAINAGE, GAS) WHICH REQUIRE VERIFICATION ON SITE BEFORE CONSTRUCTION.
 - THIS DATA IS ON A PLANE COORDINATE SYSTEM
 - DISTANCES ARE WHAT WOULD BE MEASURED ON THE GROUND USING A TAPE MEASURE. THE COORDINATES HAVE AN MGA2020 ORIGIN PER SMARTNET THE COMBINED SCALE FACTOR (CSF) TO BE APPLIED TO CONVERT TO MGA2020 COORDINATE SYSTEM IS 0.99960686 USING CCC 1259 AS THE SCALE ORIGIN POINT.
 - DATUM: PLANE MGA2020 BASED ON SMARTNET
 - CONTOUR INTERVAL: 0.200m



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
G.F. & B. DILGER

Project:
PROPOSED GRANNY FLAT
12 MALUKA STREET,
BELLERIVE

Drawing:
SITE PLAN

Date:	Drafted by:	Approved by:
12.08.2026	L.L.	Approver

Project/Drawing no:	Scale:	Revision:
PD26063 - 01	1 : 250	01

Accredited building practitioner: Frank Geskus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **DOES NOT** FALL WITHIN A BUSHFIRE PRONE AREAS OVERLAY, THEREFORE **DOES NOT** REQUIRE A BUSHFIRE ASSESSMENT.



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
G.F. & B. DILGER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED GRANNY FLAT
12 MALUKA STREET,
BELLERIVE

Drawing:
LOCALITY PLAN



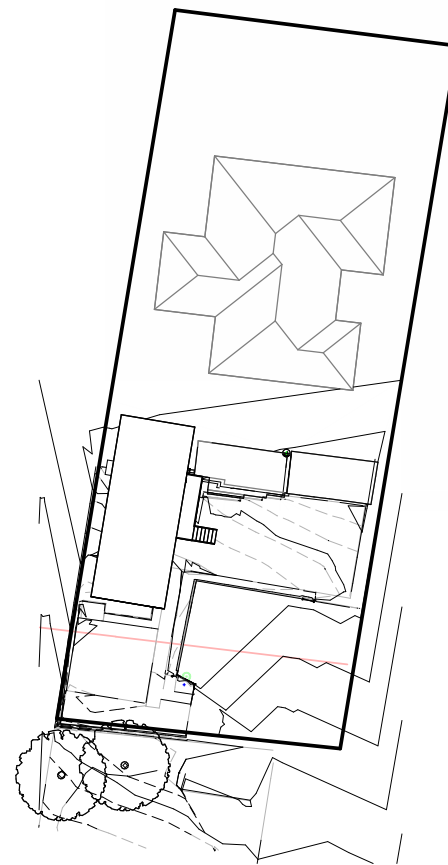
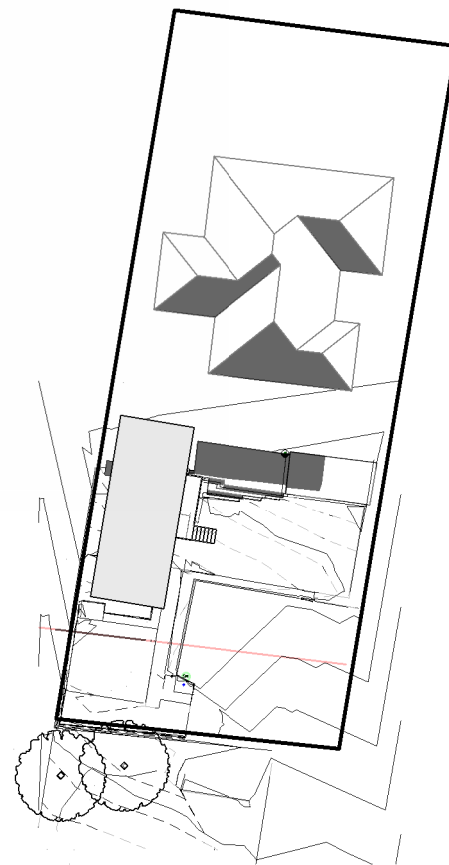
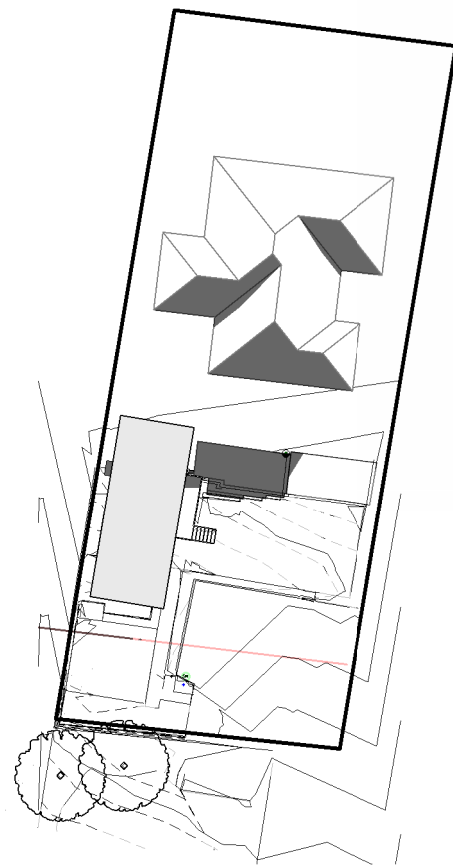
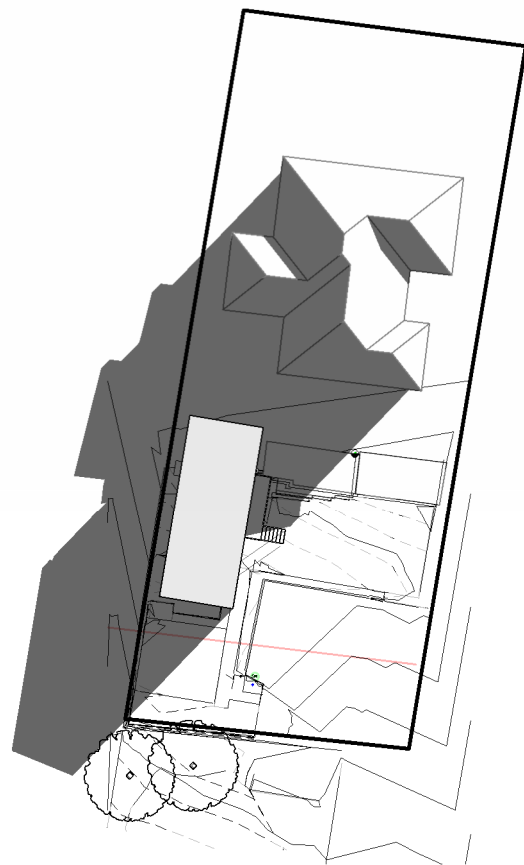
L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



Date:	Drafted by:	Approved by:
12.08.2026	L.L.	Approver

Project/Drawing no:	Scale:	Revision:
PD26063 - 03	1 : 2000	01

Accredited building practitioner: Frank Gekus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd

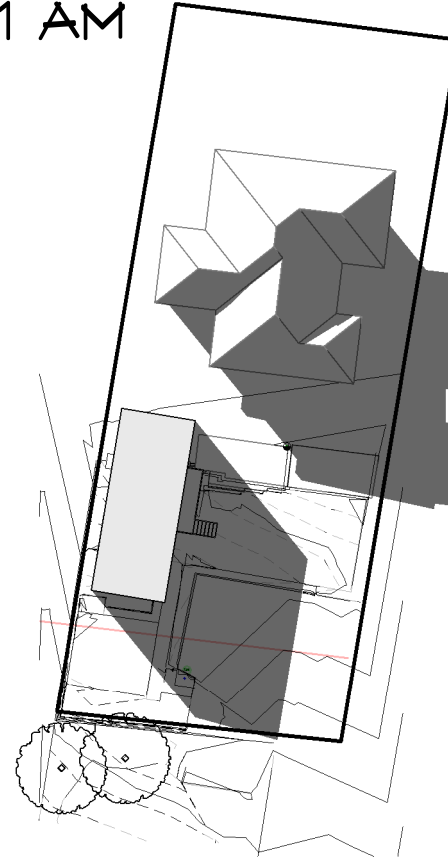
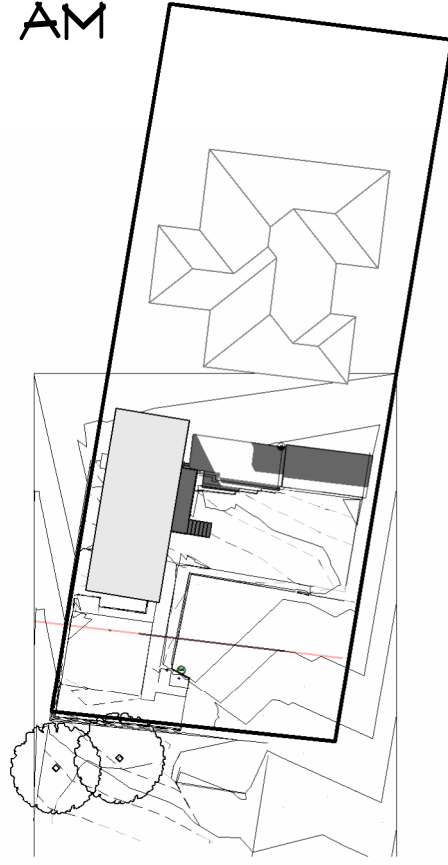
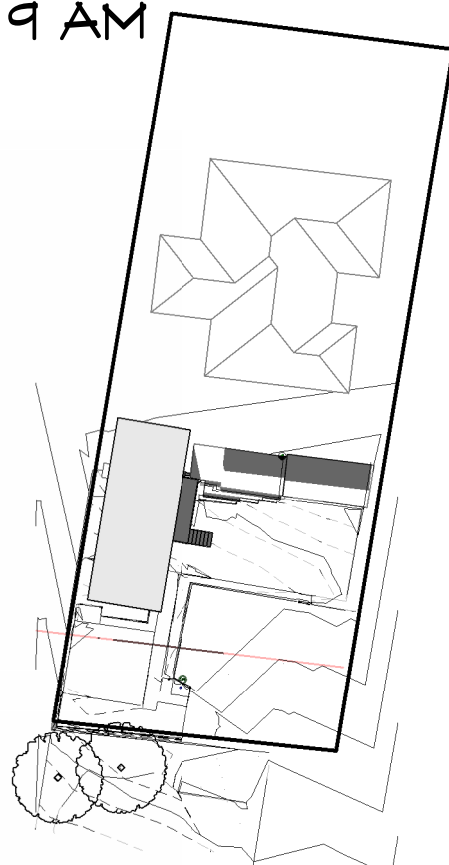


SHADOW 9 AM
1 : 500

SHADOW 10 AM
1 : 500

SHADOW 11 AM
1 : 500

SHADOW 12 PM
1 : 500



SHADOW 1 PM
1 : 500

SHADOW 2 PM
1 : 500

SHADOW 3 PM
1 : 500



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
G.F. & B. DILGER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

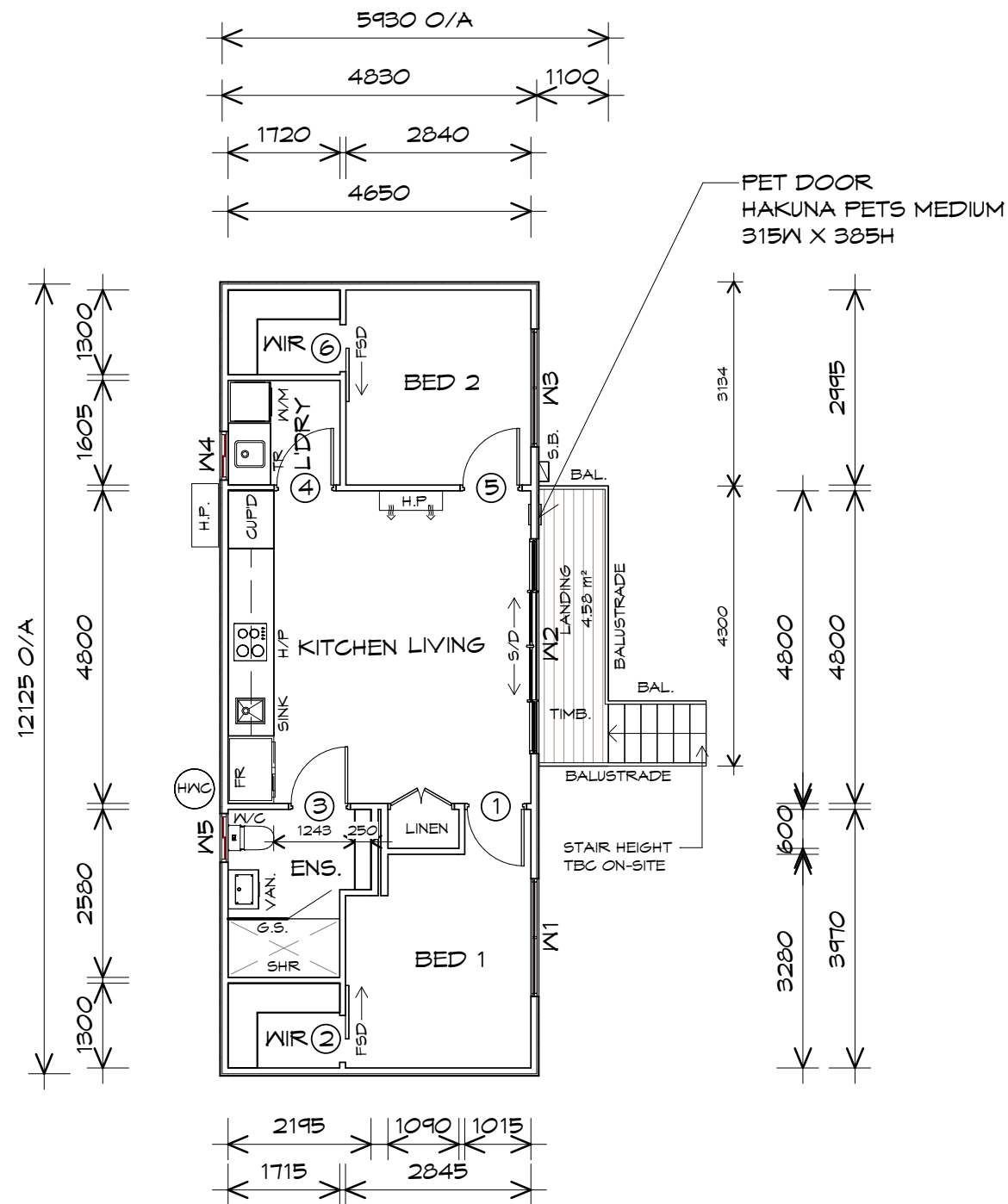
Project:
PROPOSED GRANNY FLAT
12 MALUKA STREET,
BELLERIVE
Drawing:
SHADOW DIAGRAMS



L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date:	Drafted by:	Approved by:
12.08.2026	L.L.	Approver
Project/Drawing no:	Scale:	Revision:
PD26063 - 04	1 : 500	01

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	870	INTERNAL TIMBER DOOR	
2	720	FACE SLDING DOOR	
3	870	INTERNAL TIMBER DOOR	
4	870	INTERNAL TIMBER DOOR	
5	870	INTERNAL TIMBER DOOR	
6	720	FACE SLDING DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	1810	AWNING WINDOW	
W2	2140	3300	DOUBLE SLIDING DOOR	
W3	1500	1810	AWNING WINDOW	
W4	900	750	SLIDING WINDOW	OPAQUE
W5	900	750	SLIDING WINDOW	OPAQUE

- ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS.
- THERMAL BREAK
- U-VALUE 3.3, SHGC: 0.45
- ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

FLOOR PLAN

1 : 100

FLOOR AREA 59.72 m2 (6.43 SQUARES)

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

LEGEND

- FSD FACE SLIDING DOOR
S/D SLIDING DOOR
G.S. GLASS SCREEN
HWC HOT WATER CYLINDER



REV. DATE DESCRIPTION

Client name:
G.F. & B. DILGER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED GRANNY FLAT
12 MALUKA STREET,
BELLERIVE

Drawing:
FLOOR PLAN

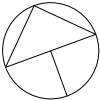


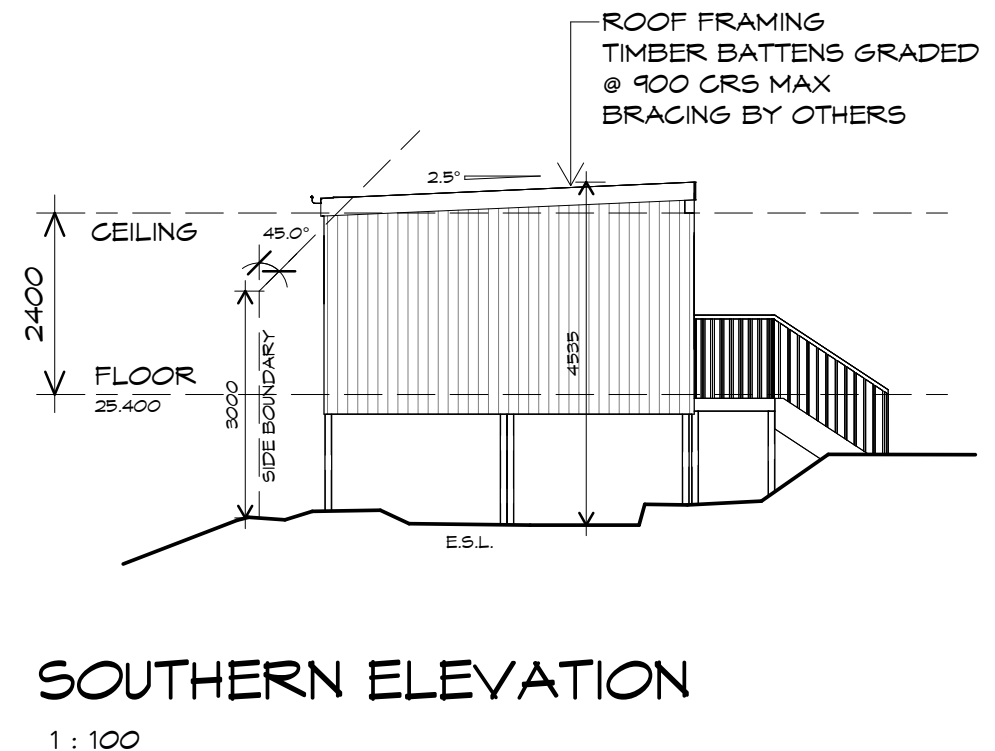
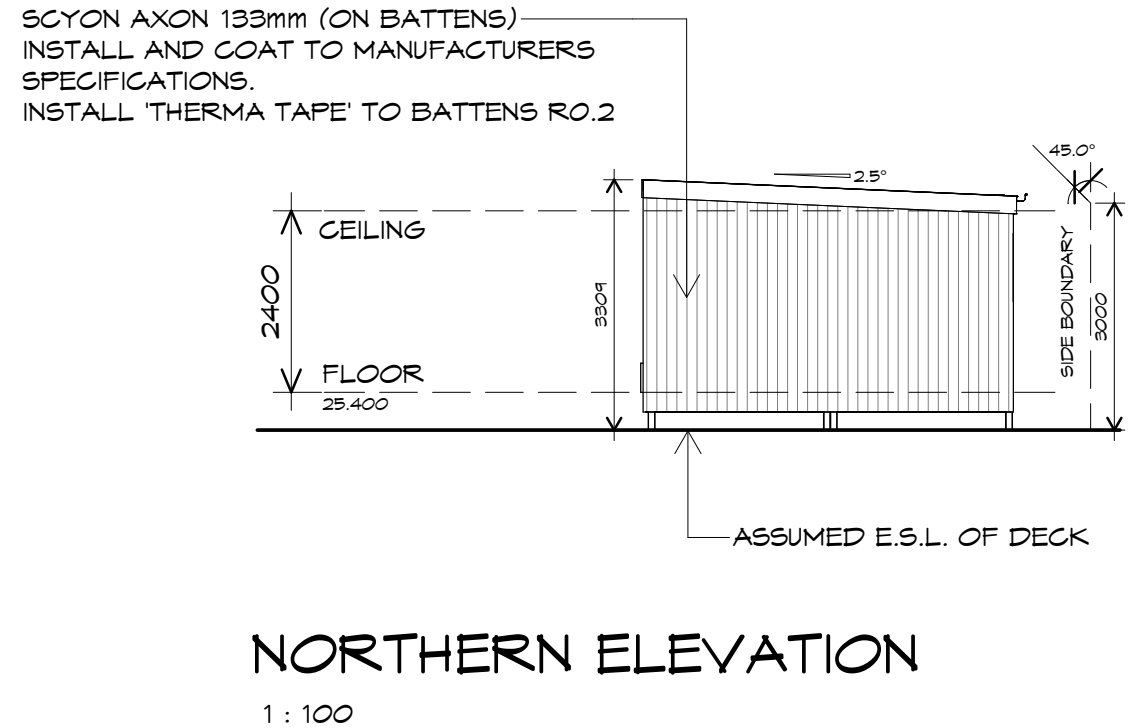
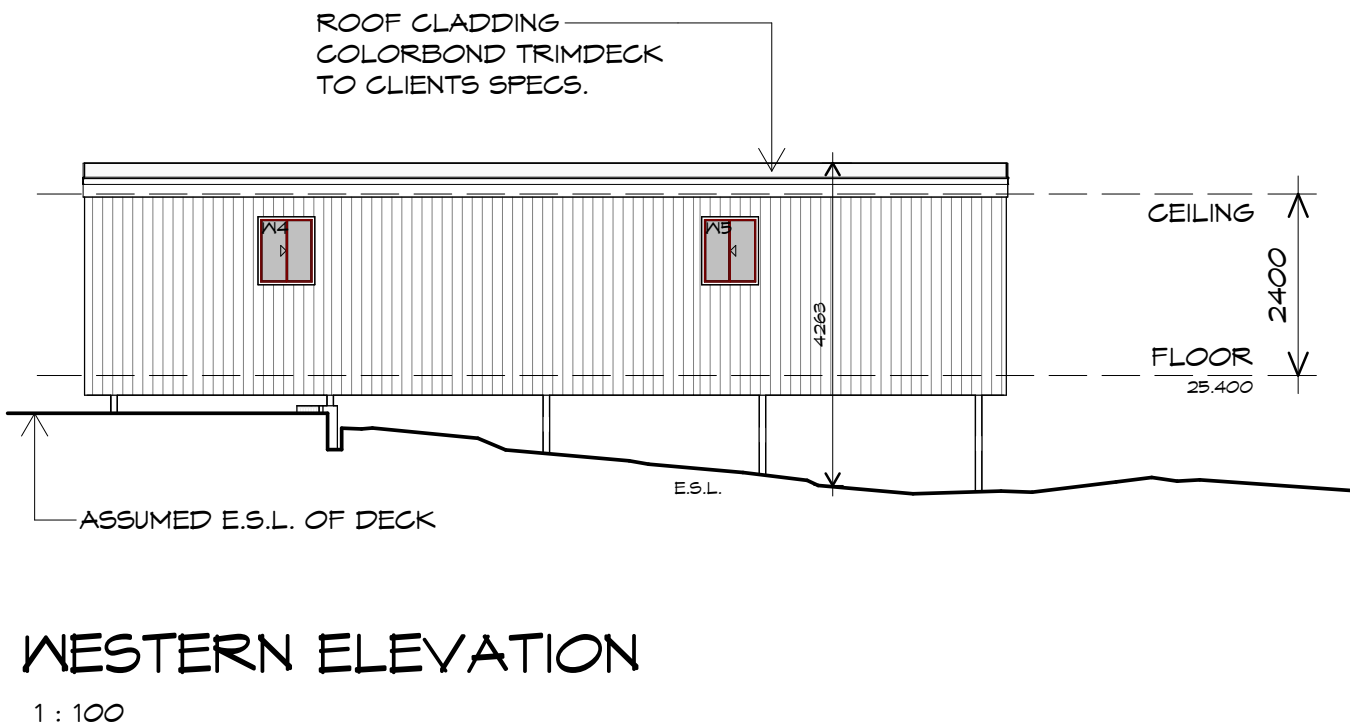
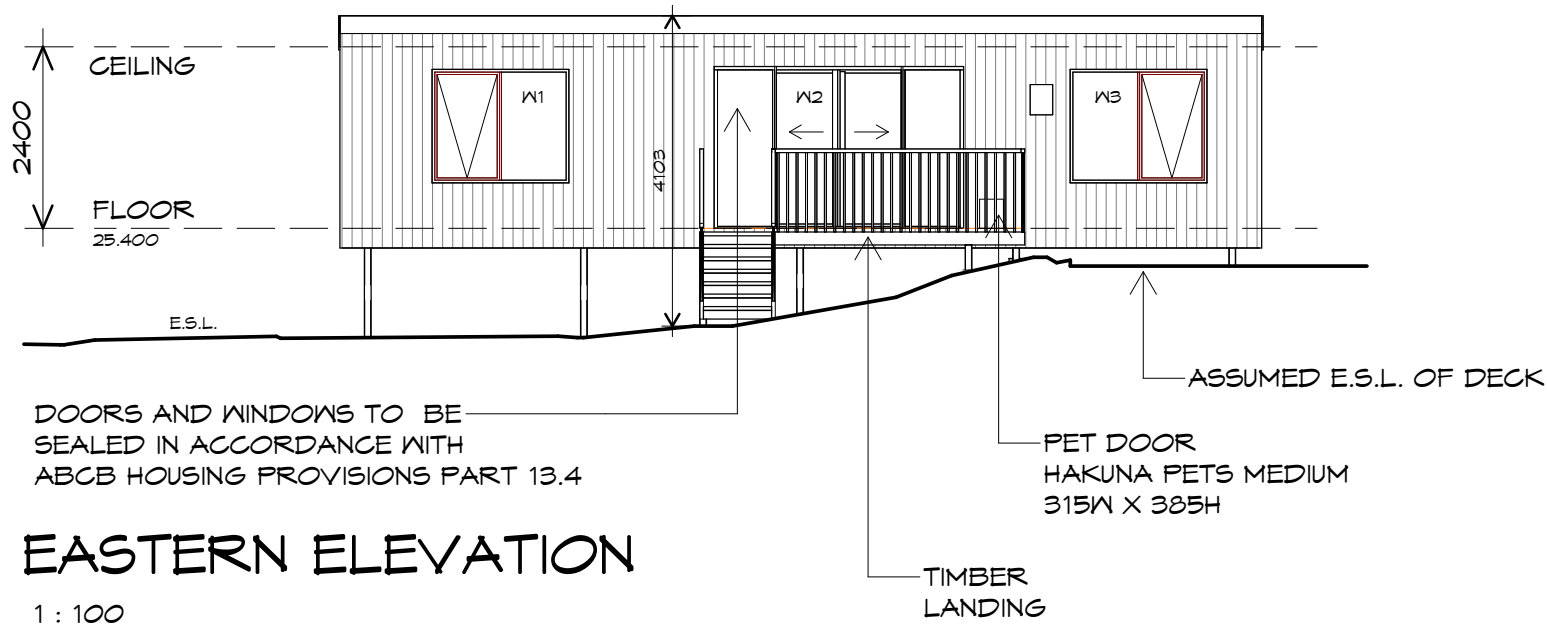
L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Date: 12.08.2026
Drafted by: L.L.
Approved by: Approver

Project/Drawing no: PD26063 - 05
Scale: 1 : 100
Revision: 01

Accredited building practitioner: Frank Gekus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd





REV. DATE DESCRIPTION

Client name:
G.F. & B. DILGER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED GRANNY FLAT
12 MALUKA STREET,
BELLERIVE

Drawing:
ELEVATIONS

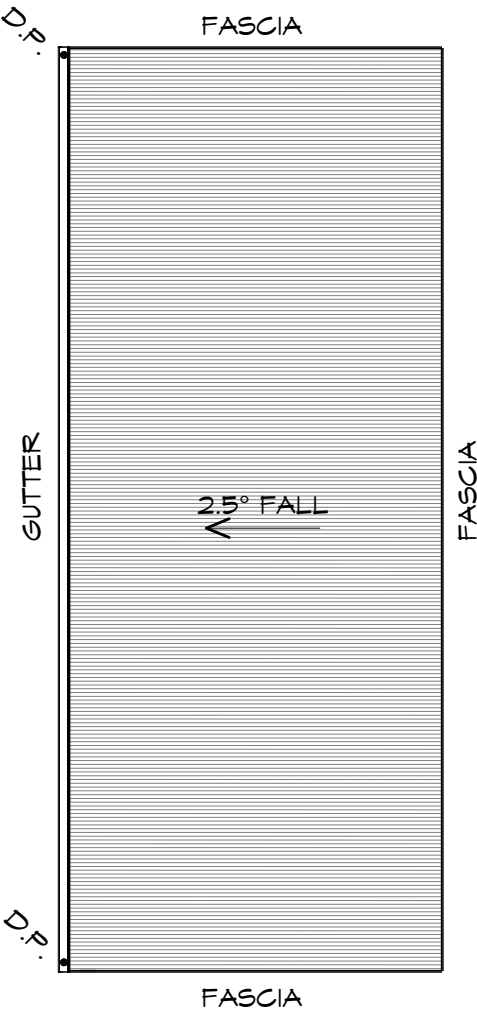
Prime Design

L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Date: 12.08.2026	Drafted by: L.L.	Approved by: Approver
Project/Drawing no: PD26063 - 06	Scale: 1 : 100	Revision: 01

Accredited building practitioner: Frank Gekus - No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd



ROOF PLAN
1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
AS33500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.





L: 10 Goodman Court, Invermay, 7248 - p+ 03 6332 3790
H: Shop 9, 105-111 Main Road, Moonah, 7009 - p+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au



REV.	DATE	DESCRIPTION
------	------	-------------

Client name:
G.F. & B. DILGER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED GRANNY FLAT
12 MALUKA STREET,
BELLERIVE

Drawing:
PERSPECTIVES

Date: 12.08.2026	Drafted by: L.L.	Approved by: Approver
---------------------	---------------------	--------------------------

Project/Drawing no: PD26063 - 08	Scale:	Revision: 01
-------------------------------------	--------	-----------------

Accredited building practitioner: Frank Geskus -No CC246A
COPYRIGHT: These drawings and designs and the copyright thereof are the sole property of Prime Design Tas PTY Ltd