



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062784

PROPOSAL: Dwelling

LOCATION: 168 Rockingham Drive, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 23/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 23/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 23/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New Dwelling**

Location: **93 Pass Road, Rokeby**

Personal Information Removed



Is the property on the Tasmanian Heritage Register?

Yes ☐ No ☒

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

Vacant Land

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 189872	FOLIO 3
EDITION 1	DATE OF ISSUE 01-Apr-2026

SEARCH DATE : 21-May-2026

SEARCH TIME : 04.29 pm

DESCRIPTION OF LAND

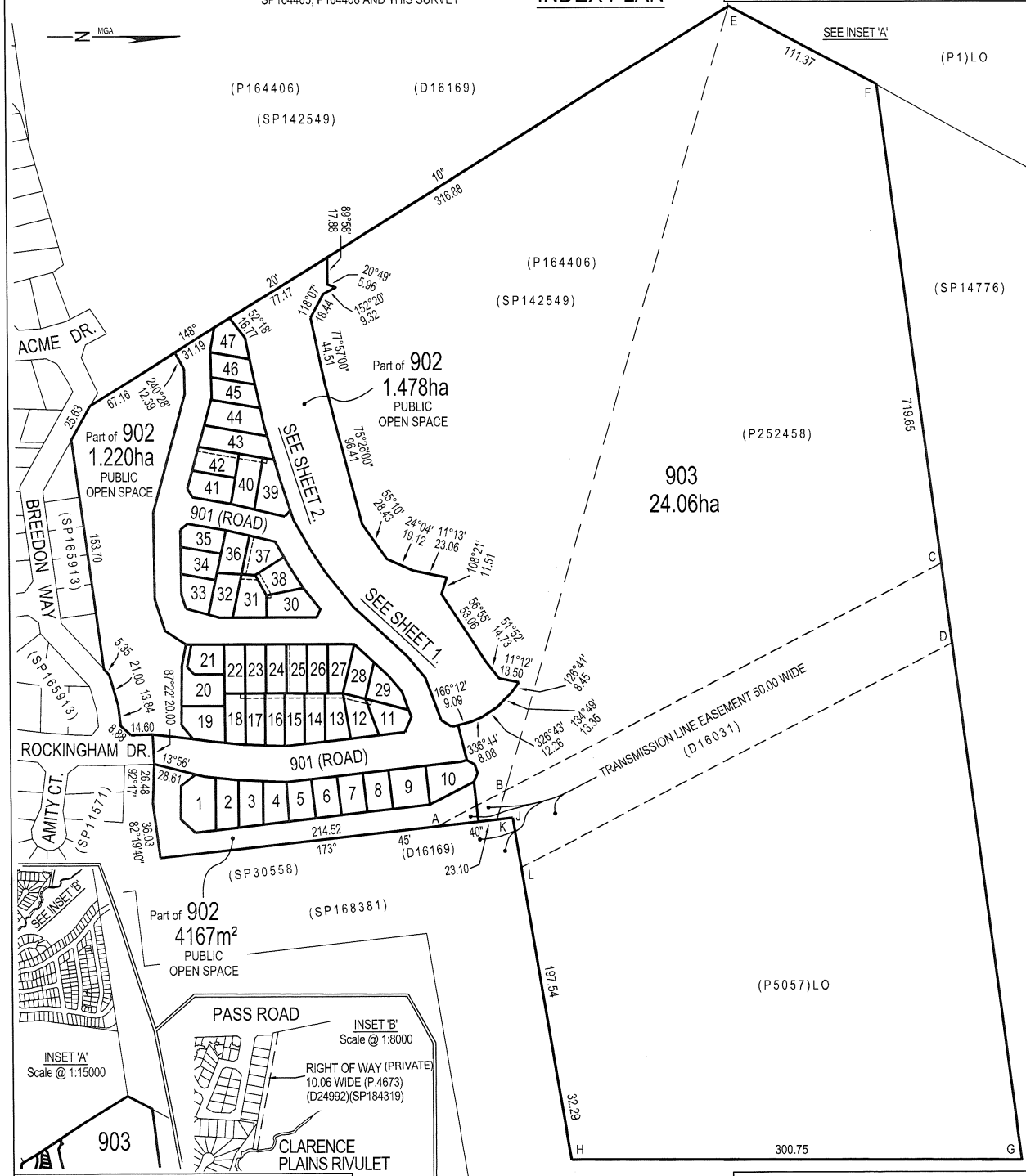
City of CLARENCE

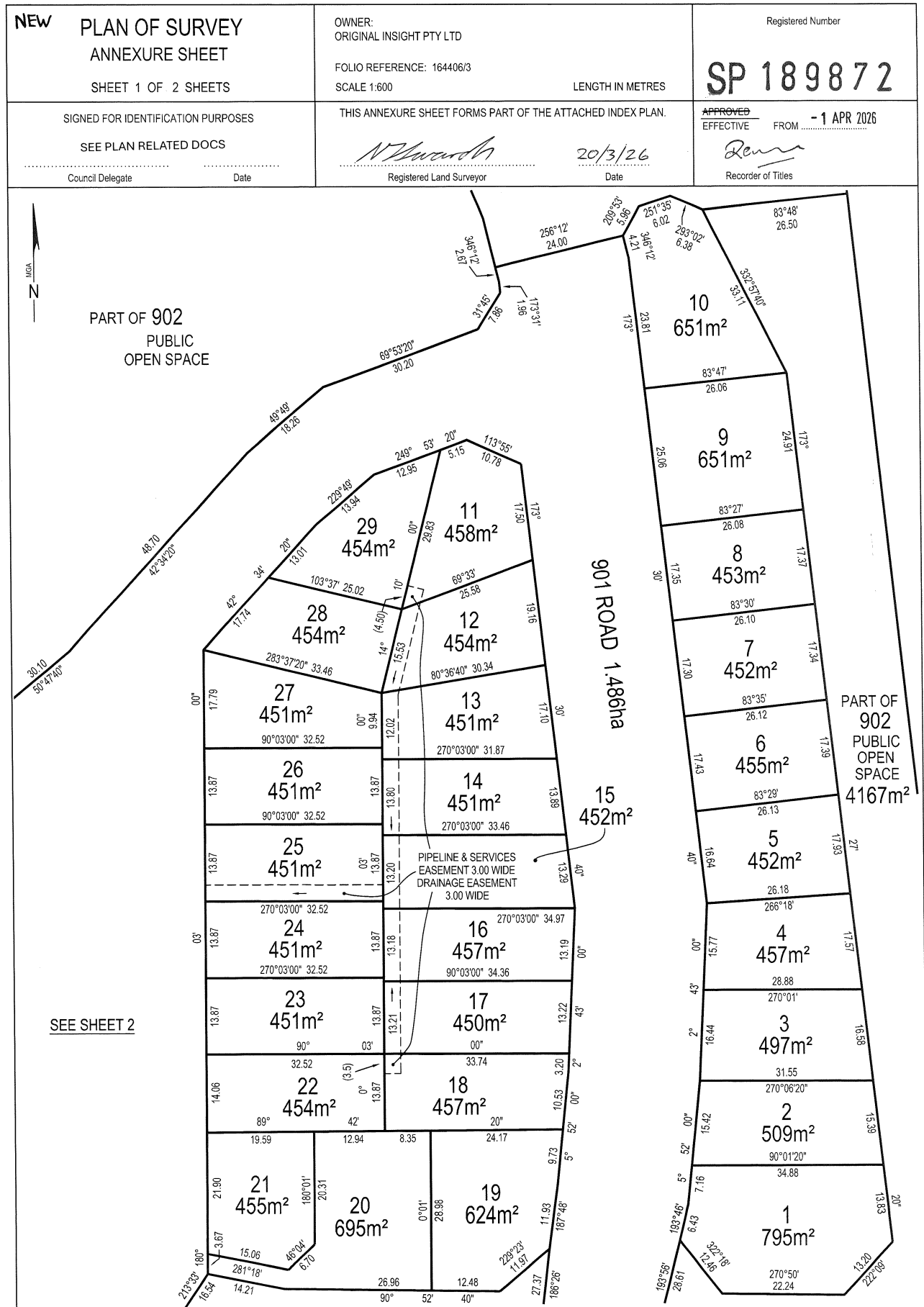
Lot 3 on Sealed Plan [189872](#)Derivation : Part of Lot 37617 (56.81ha) Gtd. to The
Director-General of Housing & ConstructionPrior CT [164406/3](#)SCHEDULE 1[M926006](#) TRANSFER to ORIGINAL INSIGHT PTY LTD Registered
19-Dec-2021 at 12.01 pmSCHEDULE 2

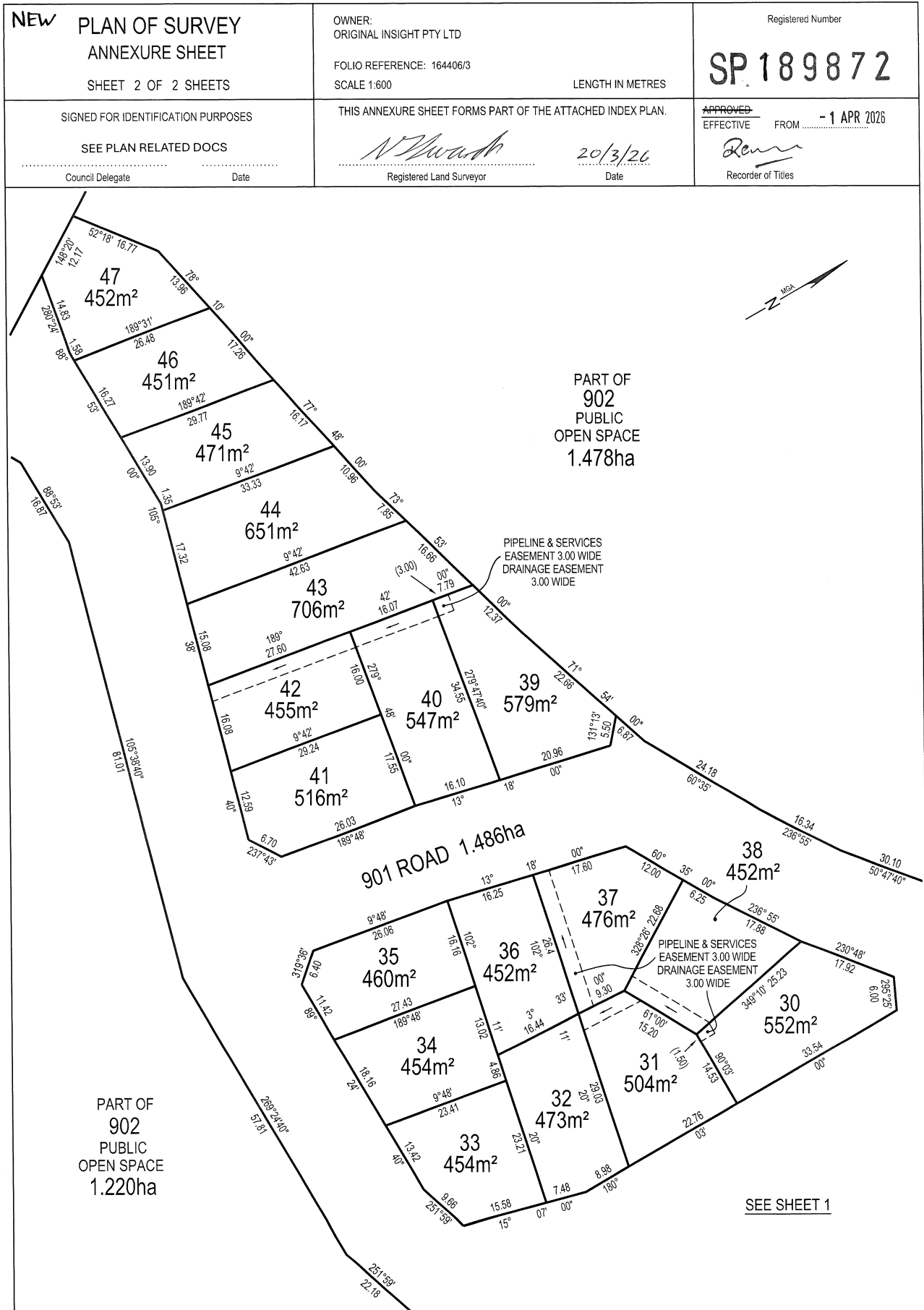
Reservations and conditions in the Crown Grant if any

[SP189872](#) EASEMENTS in Schedule of Easements[SP189872](#) COVENANTS in Schedule of Easements[SP189872](#) FENCING COVENANT in Schedule of Easements[SP142549](#) COVENANTS in Schedule of Easements[SP142549](#) FENCING COVENANT in Schedule of Easements[SP142549](#) WATER SUPPLY RESTRICTION[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION[N194698](#) MORTGAGE to Manda Capital Holdings Pty Ltd
Registered 21-June-2024 at 12.01 pm[N280782](#) MORTGAGE to RCCC Civil Contracting Pty Ltd
Registered 11-Oct-2025 at noon[E380291](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
01-Apr-2026 at noon[N104005](#) CAVEAT by Manda Capital Holdings Pty Ltd Registered
01-May-2026 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: ORIGINAL INSIGHT PTY LTD FOLIO REFERENCE: 164406/3 GRANTEE: Part of Lot 37617 (56.81ha) and Part of Lot 37843, (18.21ha) Gtd to The Director-General of Housing & Construction	NEW PLAN OF SURVEY BY SURVEYOR: N. J. SWARDS of LEARY COX & CRIPPS SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com LOCATION: City of CLARENCE SCALE 1: 2500 LENGTHS IN METRES	Registered Number SP 189872 APPROVED EFFECTIVE FROM - 1 APR 2026  Recorder of Titles
PRIORITY FINAL PLAN LOTS 902 & 903 HAVE BEEN COMPILED FROM SP164405, P164406 AND THIS SURVEY <u>INDEX PLAN</u> ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		
 INSET 'A' Scale @ 1:15000 INSET 'B' Scale @ 1:8000 RIGHT OF WAY (PRIVATE) 10.06 WIDE (P 4673) (D24992)(SP184319) CLARENCE PLAINS RIVULET		
 20/3/26 Registered Land Surveyor Date		SEE PLAN RELATED DOCS Council Delegate Date





SCHEDULE OF EASEMENTS	Registered Number SP 189872
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

NEW EASEMENTS

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan ("the Easement Land").

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Clarence City Council over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan.

EXISTING EASEMENTS

Each Lot on the Plan (but excluding that part of Lot 903 marked "EFGHJK") is TOGETHER WITH a right of way over the area marked "RIGHT OF WAY 10.06 WIDE" on the Plan more fully defined in SP142549. (PRIVATE)

Lots 902 & 903 are

~~Lot 902~~ on the Plan is SUBJECT TO a Transmission Line Easement (in favour of the Hydro Electric Commission) over that part of the Lot marked "TRANSMISSION LINE EASEMENT 50.00 WIDE" on the Plan and as created by and more fully set forth in SP142549.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REF: Volume 164406 Folio 3 SOLICITOR & REFERENCE: Butler, McIntyre & Butler: 250343	PLAN SEALED BY: Clarence City Council DATE: 3 MAR 2026 PPPLANPMTD- REF NO. 2021/ 1-23 024236 Council Delegate Peter HARMER - ACTS HOG
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

EXISTING COVENANTS

Each Lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP142549.

FENCING COVENANT

The owner of each Lot on the Plan covenants with Original Insight Pty Ltd (ACN 168 660 786) ("the Vendor") that the Vendor shall not be required to fence.

DEFINITIONS

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
- (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

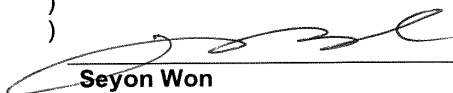


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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Original Insight Pty Ltd (ACN 168 660 786)**, the Registered Proprietor of the land contained in Certificate of Title Volume 164406 Folio 3 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:

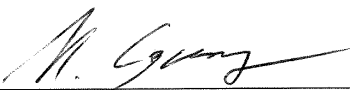
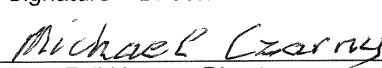

Seyon Won
 Sole Director and Company Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Manda Capital Holdings Pty Ltd (ACN 168 795 088)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N194698 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/Company Secretary*
 Print Full Name – Director/Company Secretary*
 *Delete whichever is inapplicable

30/03/26
 30/03/26

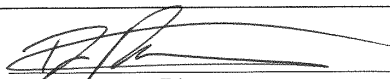
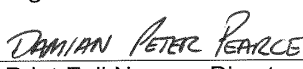
* STANLEY JOHN WALSH
 SOLICITOR FOR THE VENDOR

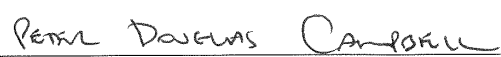
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **RCCC Civil Contracting Pty Ltd (ACN 097 095 611)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N280782 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/~~Company Secretary~~*

 Print Full Name – Director/~~Company Secretary~~*

*Delete whichever is inapplicable

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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TASMANIAN LAND TITLES OFFICE

Notification of Agreement under the Land Use Planning and Approvals Act 1993

Section 78



E380291

DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
164406	3		

REGISTERED PROPRIETOR: **ORIGINAL INSIGHT PTY LTD** of 89 Cavendish Road, Coorparoo, Queensland 4151

PLANNING AUTHORITY: **CLARENCE CITY COUNCIL** of 38 Bligh Street, Rosny Park Tasmania 7018

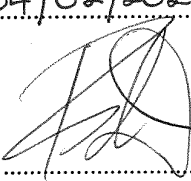
I Peter Warmbrunn,

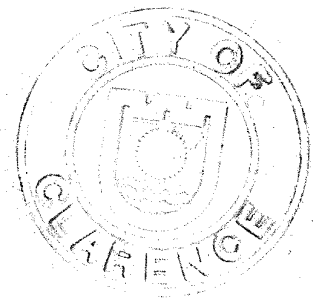
of **CLARENCE CITY COUNCIL** of 38 Bligh Street, Rosny Park Tasmania 7018

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement (not including annexures) between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Date: 04/02/2026

Signed: 
(on behalf of the Planning Authority)



Land Titles Office Use Only

LUA
Version 2 (TOLD)

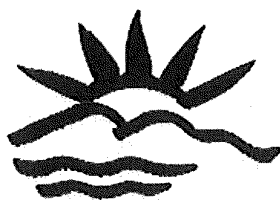
REGISTERED IN TASMANIA

- 1 APR 2026

RECORDER OF TITLES

THE BACK OF THIS FORM MUST NOT BE USED

Created 15-Sep-2025 03:42PM



City of Clarence

PART 5 AGREEMENT

CLARENCE CITY COUNCIL
("COUNCIL")

AND

ORIGINAL INSIGHT PTY LTD ("OWNER")

AND

ON GIBLIN PTY LTD ("ADJOINING OWNER")

*Agreement pursuant to section 71 of the Land
Use Planning and Approvals Act 1993 (Tas)*

I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT

 05/02/2026
Emily Whitfield
Legal Support Officer

AGREEMENT

This Agreement is made on the **4th** day of **February** 2026

BETWEEN

CLARENCE CITY COUNCIL (ABN 35 264 254 198) of 38 Bligh Street, Rosny Park, Tasmania ("**Council**")

and

ORIGINAL INSIGHT PTY LTD (ABN 69 168 660 786) of 89 Cavendish Road, Coorparoo, Queensland ("**Owner**")

and

ONGIBLIN PTY LTD (ACN 602 471 518) of Level 1, 160 Collins Street, Hobart, Tasmania ("**Adjoining Owner**")

RECITALS

- A. Council is the planning authority under the *Land Use Planning and Approvals Act 1993 (Tas)* ("**Act**") and for the purposes of the Tasmanian Planning Scheme – Clarence ("**Planning Scheme**").
- B. The Owner is the registered proprietor of 93 Pass Road, Rokeby in Tasmania more particularly described in Certificate of Title Volume 164406 Folio 3 ("**Property**").
- C. The Adjoining Owner is the registered proprietor of 91 Pass Road, Rokeby in Tasmania more particularly described in Certificate of Title Volume 164406 Folio 2 ("**Adjoining Property**").
- D. On 5 January 2023 Council issued planning permit PDPLANPMTD-2021/024236 ("**Permit**") for a 130 lot subdivision on the Property ("**Development**").
- E. It is a condition of the Permit for the Development that the Owner and Adjoining Owner are to enter into this Part 5 Agreement ("**Agreement**") with Council pursuant to section 71(1) of the Act.

**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

 05/02/2026

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

OPERATIVE PART

The parties agree as follows:

1. Definitions

In this Agreement, unless the context otherwise requires:

Agreement means this agreement including any schedules, attachments and annexures.

Bushfire Hazard Management Plan means the plan at Appendix B of the Bushfire Hazard Management Plan Report, annexed and marked "Annexure A";

Bushfire Hazard Management Plan Report means the report prepared by Rhys Menadue dated December 2022, annexed and marked "Annexure B";

Hazard Management Area means the area situate on the Property and described as "Hazard Management Area 30m Wide" as well as the area situate on the Adjoining Property shown hatched and described as "Temporary Hazard Management Area 50m Wide" both shown on the Bushfire Hazard Management Plan; and

Natural Values Report means the report prepared by Amber Button and Andy Welling dated 23 February 2022, annexed and marked "Annexure C";

Permit means Council planning permit PDPLANPMTD-2021/024236 dated 5 January 2023 with respect to the Development on the Property, annexed and marked "Annexure D".

2. Interpretation

In this Agreement:

- (a) the expression "Owner" and "Adjoining Owner":
 - i. can mean more than one person;
 - ii. includes the successors and assigns of the Owner and Adjoining Owner;
 - iii. includes any person deriving title to the Property or Adjoining Property from the Owner or Adjoining Owner; or

- iv. includes any person deriving title to any part of the Property or Adjoining Property from the Owner or Adjoining Owner;
- (b) where the Owner or Adjoining Owner comprises more than one person, those persons are jointly and each of them is severally liable under this Agreement;
- (c) clause headings are inserted for convenience only and do not affect the interpretation of this Agreement;
- (d) a recital, schedule, annexure or a description of the parties forms part of this Agreement;
- (e) where any word or phrase is given a defined meaning, any other part of speech or other grammatical form of that word or phrase has a corresponding meaning; and
- (f) a party includes its successors, assigns, executors and administrators.

3. Covenants on the Part of the Owner

3.1 The Owner hereby covenants with Council to:

- (a) develop the Property in accordance with the bushfire protection measures outlined in the Bushfire Hazard Management Plan Report and the Bushfire Hazard Management Plan; and
- (b) at all times maintain the Hazard Management Area as low threat vegetation as required by the Bushfire Hazard Management Plan Report; and
- (c) develop the Property in accordance with the management strategies and recommendations detailed under the native vegetation management plan required in the Natural Values Report;

3.2 The Owner agrees:

- (a) to take all reasonable care in accessing the Hazard Management Area;
- (b) to provide no less than seven (7) days' notice to the Adjoining Owner prior to accessing the Adjoining Property for the purpose of maintaining the Hazard Management Area;
- (c) to only do so much as is reasonably necessary to clear and maintain the Hazard Management Area to the extent required by the Bush Fire Hazard Management Plan Report; and
- (d) to make good any damage which occurs to the Hazard Management Area as a result of the Owner carrying out its obligations pursuant to this Agreement.

4. Covenants on the Part of the Adjoining Owner – Bushfire Hazard Management

4.1. The Adjoining Owner hereby covenants with Council:

- (a) To allow the Owner, its agents and contractors, such access as is reasonably necessary, including with vehicles and machinery (if required) to the Hazard Management Area in accordance with the provisions of this Agreement, for the purpose of maintaining the Hazard Management Area as low threat vegetation as required by the Bushfire Hazard Management Plan Report; and
- (b) not to prevent, hinder or obstruct in any way the Owner or its agents and contractors from exercising the rights conferred under clause 4.1(a).

5. Enforcement

5.1. Council may enforce the covenant in this Agreement relating to the Hazard Management Area at its sole discretion. The Owner agrees that Council has no enforcement obligation in respect of this Agreement. Enforcement of this Agreement is to be at the suit of or by action by such of the Owner or Adjoining Property Owner as may feel aggrieved by any conduct, act or omission on the part of the other.

6. Releases and Indemnities by the Owner

6.1. To the fullest extent allowable at law the Owner releases and indemnifies Council jointly and severally from any claim, expense, liability, loss or injury including death arising from or connected with:

- a) anything done on the Hazard Management Area, its agents or contractors, in exercising the rights conferred by this Agreement except where and to the extent that any such claim, expense, liability, loss or injury including death is caused or contributed to by any negligent act or omission on the part of Council; or
- b) any failure on the Owner's part to implement the recommendations of the Bushfire Hazard Management Plan contained within the Bushfire Hazard Report and maintain the Hazard Management Area in accordance with the Owner's rights and obligations under this Agreement.

7. Legal Rights and Interests of Owner Limited

This Agreement confers on the Owner no legal rights in respect of, or legal interest in, the Hazard Management Area except to the extent contemplated by and necessary for the operation of this Agreement.

8. Dispute

- 8.1 If a dispute arises between the parties under this Agreement, then (except in the case of action required to be taken under statute) the parties agree that it must be resolved expeditiously in accordance with the provisions of this clause.
- 8.2 If a dispute arises requiring resolution, a party must serve a notice on the other specifying the nature and substance of the matter in dispute.
- 8.3 If, within thirty (30) days of a notice under clause 8.2 being served, the parties are unable to resolve the dispute, then either party can make an application to the court.

9. Severance

If any provision of this Agreement or its application to any person or circumstance is or becomes invalid, illegal or unenforceable, then so far as possible, the provision will be read down to the extent necessary to ensure that it is not illegal, invalid or unenforceable. If any provision or part of it cannot be so read down, then the provision or part of it will be taken to be void and severable and the remaining provisions of this Agreement will not be affected or impaired in any way.

10. Notices

- 10.1 A notice or other communication given or made under this Agreement must be in writing and addressed to the party to whom the notice is to be given at the address for service of notices as agreed by the parties from time to time.
- 10.2 A notice or other communication is taken to have been duly served:
- (a) in the case of hand delivery - when delivered;
 - (b) if sent by prepaid post - on the third business day after the date of posting;

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

**I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT**

LW 05/02/2026

- (c) if sent by email, when the recipient becomes capable of receiving the email during ordinary business hours (unless the sender receives an automated message that the email has been delayed or delivery has failed).

10.3 A notice or other communication given or made under this Agreement is sufficient if:

- (a) in the case of the Council, it is under the hand of the Chief Executive Officer or a duly authorised officer of the Council or the Council's solicitors;
- (b) in the case of the Owner, it is under the hand of the Owner or their solicitor.

10.4 A printed or copied signature is sufficient for the purposes of sending any demand, written consent or other communication by email.

11. Acknowledgment

The Owner and Adjoining Owner acknowledge that:

- (a) this Agreement is being entered into pursuant to Part 5 of the Act for the purpose of satisfying the condition stated in the Permit. It may be registered on the title to the Property and the Adjoining Property by Council at the Owner's cost;
- (b) the effect of registration pursuant to the preceding clause will be that the burden and benefit of any covenant contained in this Agreement will run with the land as if it were a covenant to which section 102(2) of the *Land Titles Act 1980 (Tas)* applies; and
- (c) this Agreement is enforceable between the parties to it, and any person deriving title under any such party, as if the Agreement were entered into by a fee simple owner of land for the benefit of adjacent land held by the Crown in fee simple that was capable of being benefited by the Agreement and as if that adjacent land continued to be so held by the Crown.

12. Costs

The Owner and Council agree that:

- (a) the Owner must bear the costs and disbursements associated with the preparation, negotiation and registration of this Agreement including any costs or disbursements incurred or to be incurred by Council; and

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT

EW 03/02/2026

- (b) unless this Agreement provides to the contrary, each party must pay its own costs incurred in the future operation of this Agreement.

13. Council Powers

The parties acknowledge and agree that this Agreement does not fetter or restrict the powers or discretions of Council as planning authority in any way, including to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of plans relating to the Property or relating to any use or development of the Property.

14. Commencing Date and Duration

This Agreement will:

- (a) take effect on the date it is signed by all the parties notwithstanding any delay or failure on the part of the Council in lodging the Agreement with the Recorder of Titles for registration; and
- (b) continue in full effect until ended either pursuant to a provision of the Act or by mutual agreement of the parties.

EXECUTED by the parties as a deed

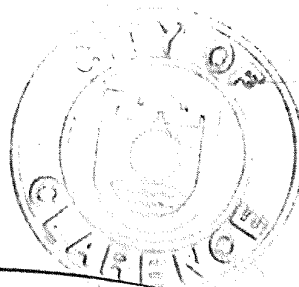
Executed on the date appearing on page 2 of this Agreement

The Common Seal of)

CLARENCE CITY COUNCIL)

was affixed by its duly)

authorised delegate:)

~~Clare Amy Shea~~ Peter Warmbrunn

7

Acting

Head of Governance

Executed by ORIGINAL)

INSIGHT PTY LTD (ABN 69)

168 660 786) in accordance)

with section 127 of the)

Corporations Act 2007 (Cth):)

SEYON WON

SOLE DIRECTOR/SECRETARY

Executed by ON GIBLIN PTY)
LTD (ACN 602 471 518) in)
accordance with section 127)
of the Corporations Act 2007)
(Cth):)

DIRECTOR SIGNATURE: _____

DIRECTOR NAME: RONALD AULSEN BROOKS

DIRECTOR SIGNATURE: _____

DIRECTOR NAME: PAUL ROBERT BROOKS

Original Insight Pty Ltd – 93 Pass Road
Part 5 Agreement

I HEREBY CERTIFY THAT
THIS IS A COPY OF THE
ORIGINAL DOCUMENT

ZW 05/02/2026

DA
TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	WINDOW & DOOR SCHEDULES
8	CALCULATIONS
9	DETAILS (FACE BRICKWORK)
10	DETAILS (CLADDING)
11	ROOF DRAINAGE PLAN
12	ROOF VENTILATION
13	FLOOR COVERINGS
14	KITCHEN DETAILS
15	BUTLER'S PANTRY DETAILS
16	BATHROOM DETAILS
17	ENSUITE DETAILS
18	LAUNDRY DETAILS
19	3D VIEWS
20	GENERAL NOTES
21	WET AREA & ENERGY EFFICIENCY NOTES
22	BUILDING ACT BUSHFIRE HAZARD AREAS
23	BAL 19 NOTES
24	BAL 12.5 - BAL 40 ROOF DETAILS

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR		
LIVING		135.77
PORCH		2.03
		137.80 m²

HIGHLY REACTIVE /
PROBLEMATIC SOIL TYPE.
REFER TO HYDRAULICS PLANS
AND DETAILS PREPARED BY HED
CONSULTING

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	YES
BUSHFIRE	BAL-19
CLIMATE ZONE (NCC)	ZONE 7 - COOL TEMPERATE
DESIGN WIND CLASSIFICATION	N2 (EXPOSED TBC)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	NS - NO SHIELDING
SITE CLASSIFICATION	H1
SPECIFIC AREA PLAN OVERLAY	YES
PARANVILLE SPECIFIC AREA PLAN	
TERRAIN CATEGORY	TC2.5
TOPOGRAPHIC CLASSIFICATION	T0
WATERWAY & COASTAL OVERLAY	NO
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	4.90km
ZONING	GENERAL RESIDENTIAL
AIRPORT OBSTACLE LIMITATION AREA	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	8,289mm
SIDE A	MIN. 1,500mm	4,400mm
SIDE B	MIN. 1,500mm	3,737mm
REAR	MIN. 1,500mm	4,304mm
BULK & SCALE		
SITE AREA	497m²	
SITE COVERAGE	MAX. 50%	27.73%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	966mm
FILL DEPTH	MAX. 800mm	434mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES
PRIVATE OPEN SPACE	MIN. 24m²	24m²

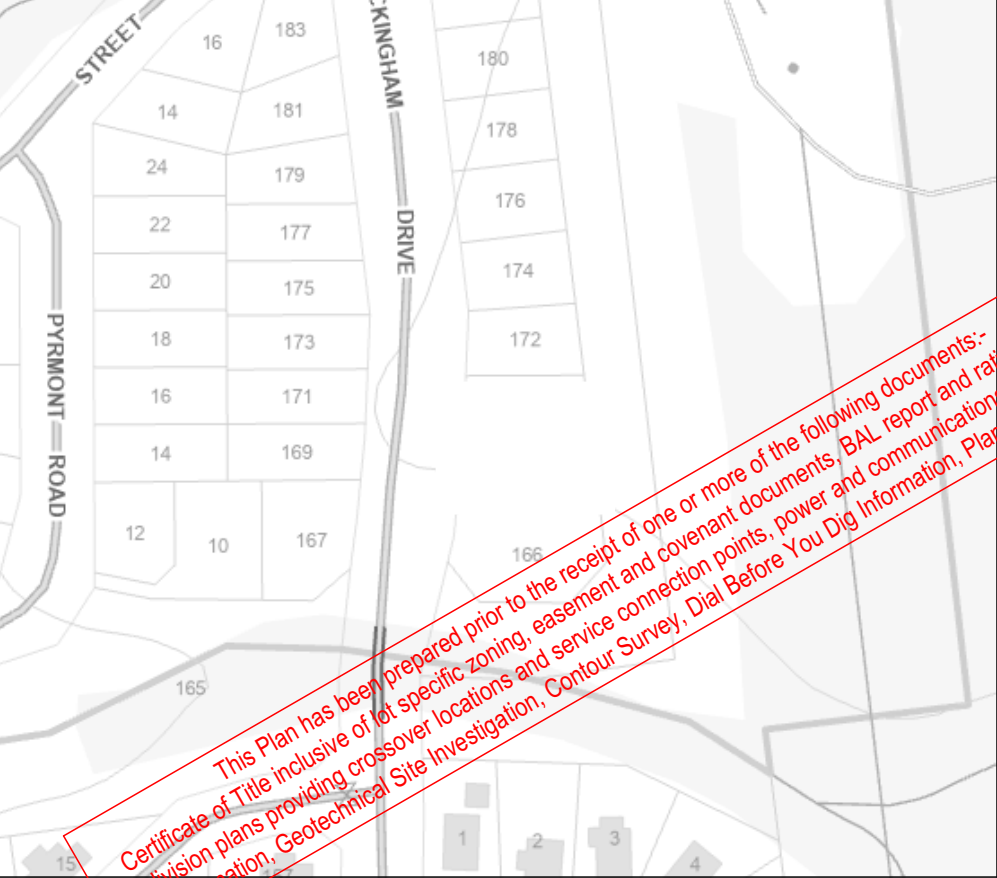
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved
subdivision plans providing crossover locations and service connection points, power and communications connection point
information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S) 2455mm	
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER CLADDING
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	MIN. 60mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE)
WALL WRAP	WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB R0.60

NCC 2022 LIVABLE HOUSING COMPLIANCE

STEP FREE ENTRANCE LOCATION: N/A
ACCESSIBLE SANITARY COMPARTMENT LOCATION: BATH (GROUND FLOOR)
ACCESSIBLE SHOWER LOCATION: BATH (GROUND FLOOR)

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5mm.
- THRESHOLD OF STEP FREE ENTRANCE DOOR TO BE MAX. 5mm.
- THRESHOLD OF INTERIOR DOORS SERVICING HABITABLE ROOMS, LAUNDRY, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO BE MAX. 5mm.
- INTERIOR DOORS NOMINATED AS 870 TO ACHIEVE MIN. 820mm CLEAR OPENING.
- CORRIDORS CONNECTING HABITABLE ROOMS, ACCESSIBLE SANITARY COMPARTMENT AND ROOM CONTAINING ACCESSIBLE SHOWER TO ACHIEVE MIN. 1000mm CLEARANCE BETWEEN FINISHED SURFACE OF OPPOSING WALLS (EXCL. SKIRTINGS)
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS FOR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

BUSHFIRE REQUIREMENTS - BAL-19

- THE BUILDER USES MATERIALS THAT COMPLY WITH AS 3959-2018 OR HAVE BEEN TESTED TO AS 1530.8.1 IN ACCORDANCE WITH AS 3959-2018 (CLAUSE 3.8).
- ROOF:
- PROVIDE FOIL FACED BLANKET INSULATION TO ALL COLORBOND SHEET ROOFING.
 - PROVIDE SARKING TO ALL TILED ROOFING INCLUDING PRESSTITE TO VALLEYS.
 - PROVIDE BAL-19 RATED DEKTITE TO ALL AIR VENTS ON ROOF.
 - PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL SOFFIT AND EAVE VENTS.
 - PROVIDE BAL-19 RATED ALUMINIUM MESH TO ALL EXHAUST VENTS.
- WALLS, POSTS AND BEAMS:
- EXTERNAL TIMBER POSTS WITHIN 400mm OF ADJACENT FINISHED FLOOR LEVEL TO BE BUSHFIRE-RESISTING TIMBER UNLESS MOUNTED ON STIRRUPS TO PROVIDE MIN. 75mm CLEARANCE ABOVE ADJACENT FINISHED FLOOR LEVEL.
 - PROVIDE SPARK ARRESTORS TO ALL EXTERNAL BRICKWORK.
- WINDOWS AND DOORS:
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN BI-FOLD / FRENCH / SLIDING / STACKER DOORS).
 - PROVIDE BAL-19 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING / STACKER DOORS IN ACCORDANCE WITH AS 3959-2018.
 - PROVIDE ALUMINIUM DOOR JAMBS TO ALL EXTERNAL TIMBER DOORS.
 - PROVIDE SAFETY SCREENS WITH CORROSION RESISTANT MESH TO EXTERNAL TIMBER HUNG DOORS (IF REQUIRED).
 - PROVIDE SEAL TO ALL GARAGE PANELIFT / ROLLER DOORS.
- OTHER:
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE.

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE:

DATE:

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

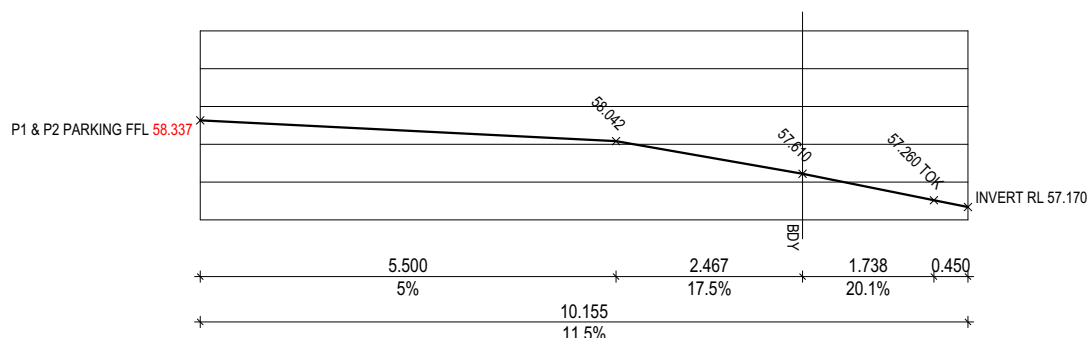
PRELIMINARY PLAN SET

3	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2026.06.26	TRV	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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APPROX. CUT/FILL		
CUT	68.29m³	153.65t
FILL	9.41m³	21.17t
DIFFERENCE	58.88m³	132.48t
132 TONNES OF EXPORT FILL		

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

NOW
by Wilson Homes

SPECIFICATION:	REVISION		DRAWN		CLIENT:	HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
NOW BY WILSON HOMES	1	CONSOLIDATED PROPOSAL 1	NVO	08/06/2026	EBONY & SHANE CURTIS	CYPRESS 15		H-WNWCYP10SA		
COPYRIGHT:	2	CONSOLIDATED PROPOSAL 1	MFC	16/06/2026	ADDRESS:	FACADE DESIGN:		FACADE CODE:		
© 2026	3	PRELIM PLANS - INITIAL ISSUE	TRV	26/06/2026	93 PASS ROAD, ROKEBY TAS 7019		OAKWOOD FACADE		F-WNWCYP10OKWDA	
					LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	
					3 / - / 189872	CLARENCE	SITE PLAN	2 / 24	1:200	714816

Last Published: Friday, June 26, 2026 10:35 AM

File Location: D:\Truong Vu\JOBS\PRELIMS\714816 - Curtis\MiTek Issued\714816 - Curtis - AC24 - Prelim - 2026.06.26.pln

Template Version: 24.043

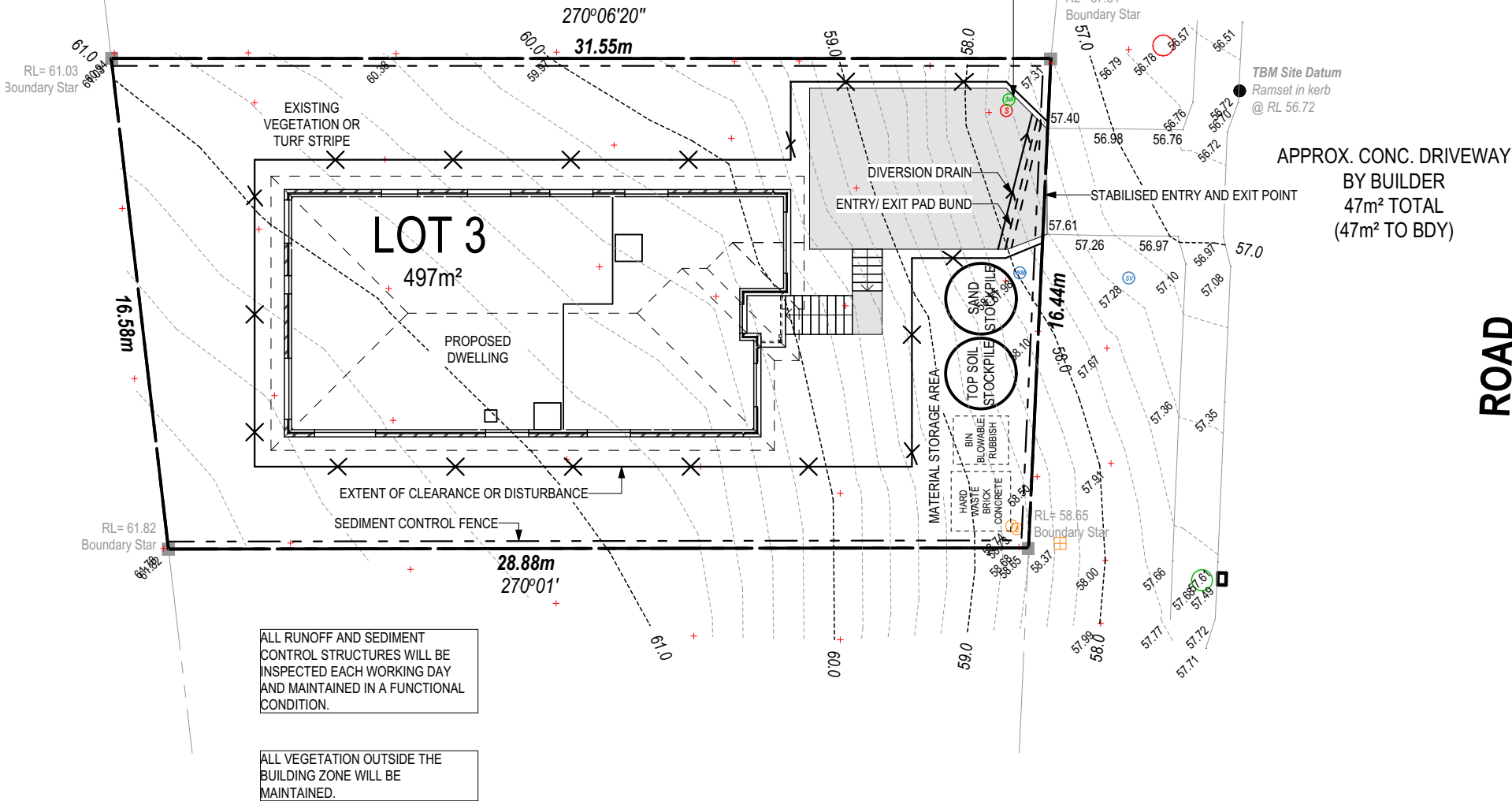
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

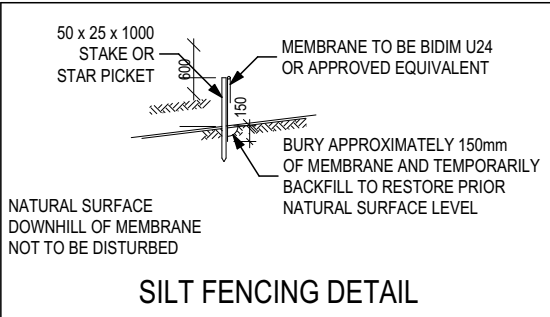
- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.

6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

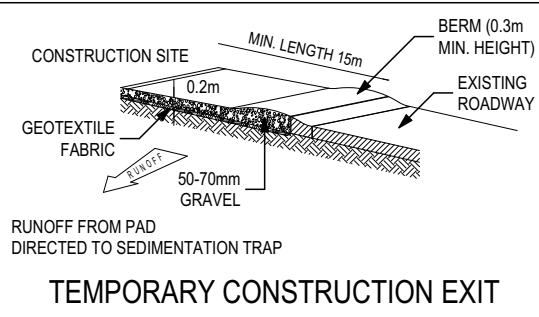


ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

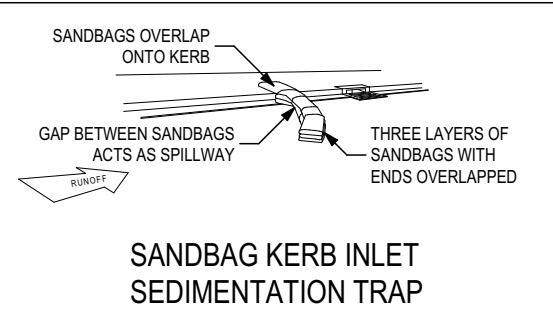
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET SEDIMENTATION TRAP

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER
SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

NOW by Wilson Homes Project Code: 5033506	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	NOW BY WILSON HOMES		1	CONSOLIDATED PROPOSAL 1	NVO	08/06/2026	EBONY & SHANE CURTIS		CYPRESS 15		H-WNWCYP10SA		
	COPYRIGHT:		2	CONSOLIDATED PROPOSAL 1	MFC	16/06/2026	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	© 2026		3	PRELIM PLANS - INITIAL ISSUE	TRV	26/06/2026	93 PASS ROAD, ROKEBY TAS 7019		OAKWOOD FACADE		F-WNWCYP100KWDA		
							LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
							3 / - / 189872	CLARENCE	SOIL & WATER MANAGEMENT PLAN	3 / 24	1:200	714816	

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

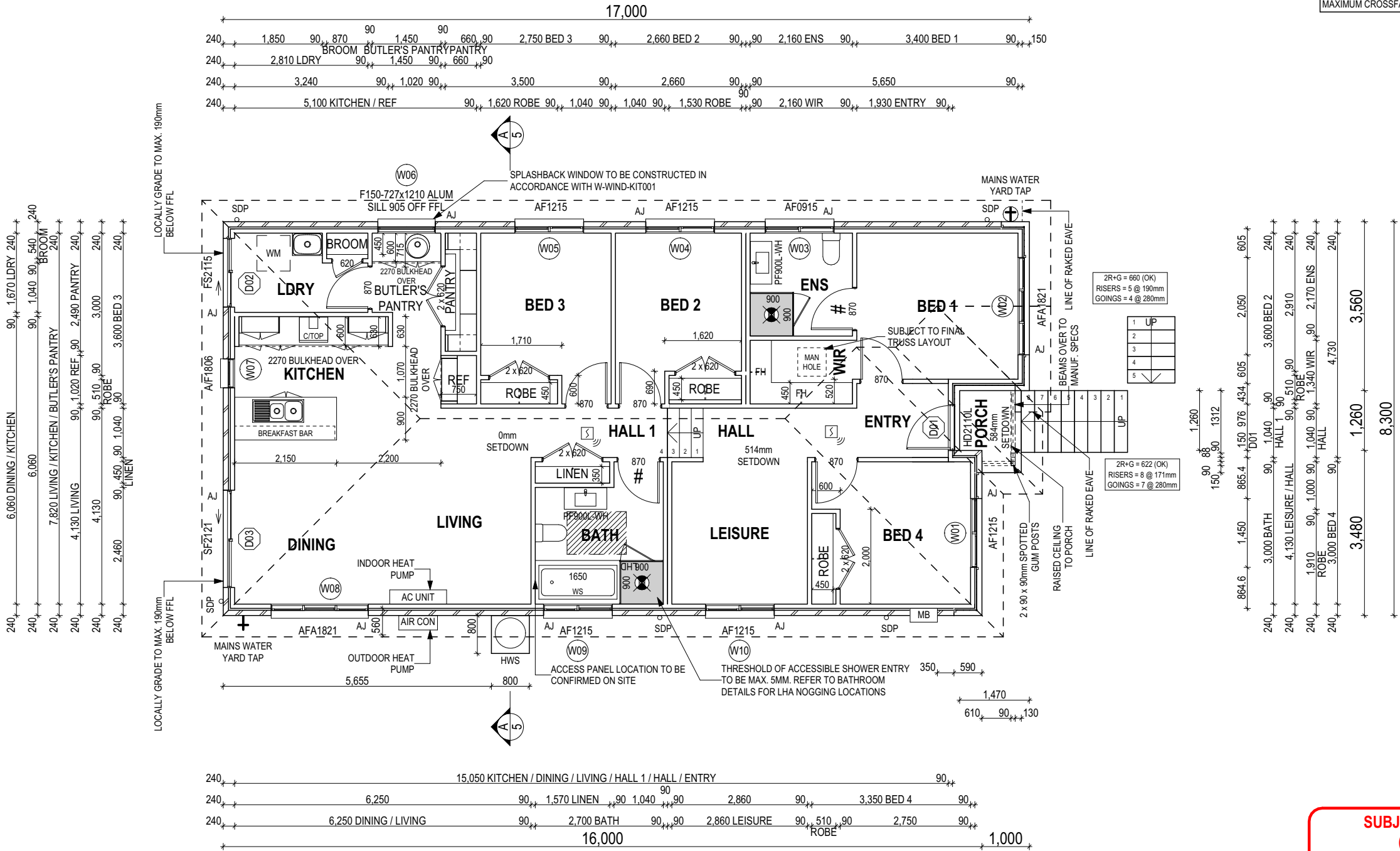
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



MAIN DWELLING, GROUND FLOOR

LIVING	135.77
PORCH	2.03
	137.80 m²



LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
[Symbol]	FACE BRICK / COMMON BRICK
[Symbol]	RENDER
[Symbol]	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
[Symbol]	DENOTES DRAWER SIDE
[Symbol]	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
[Symbol]	THIS DOOR OPENS FIRST
[Symbol]	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
[Symbol]	FLOOR WASTE
[Symbol]	GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

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PROVIDE AND INSTALL SINGLE PHASE SPLIT SYSTEM AIR CONDITIONER. EXACT LOCATION TO BE DETERMINED IN CONJUNCTION WITH CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

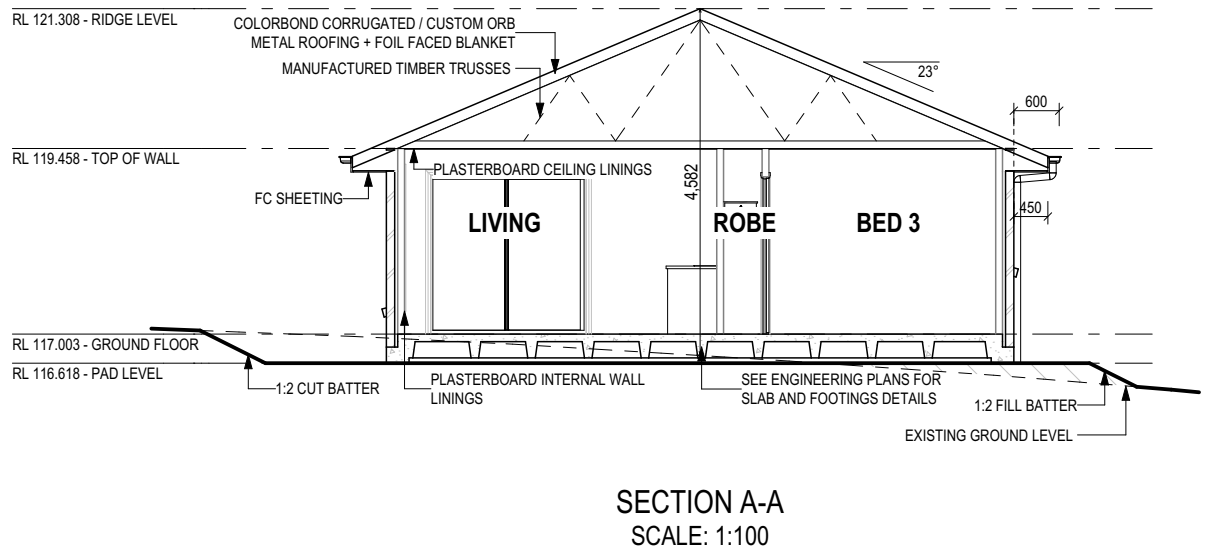
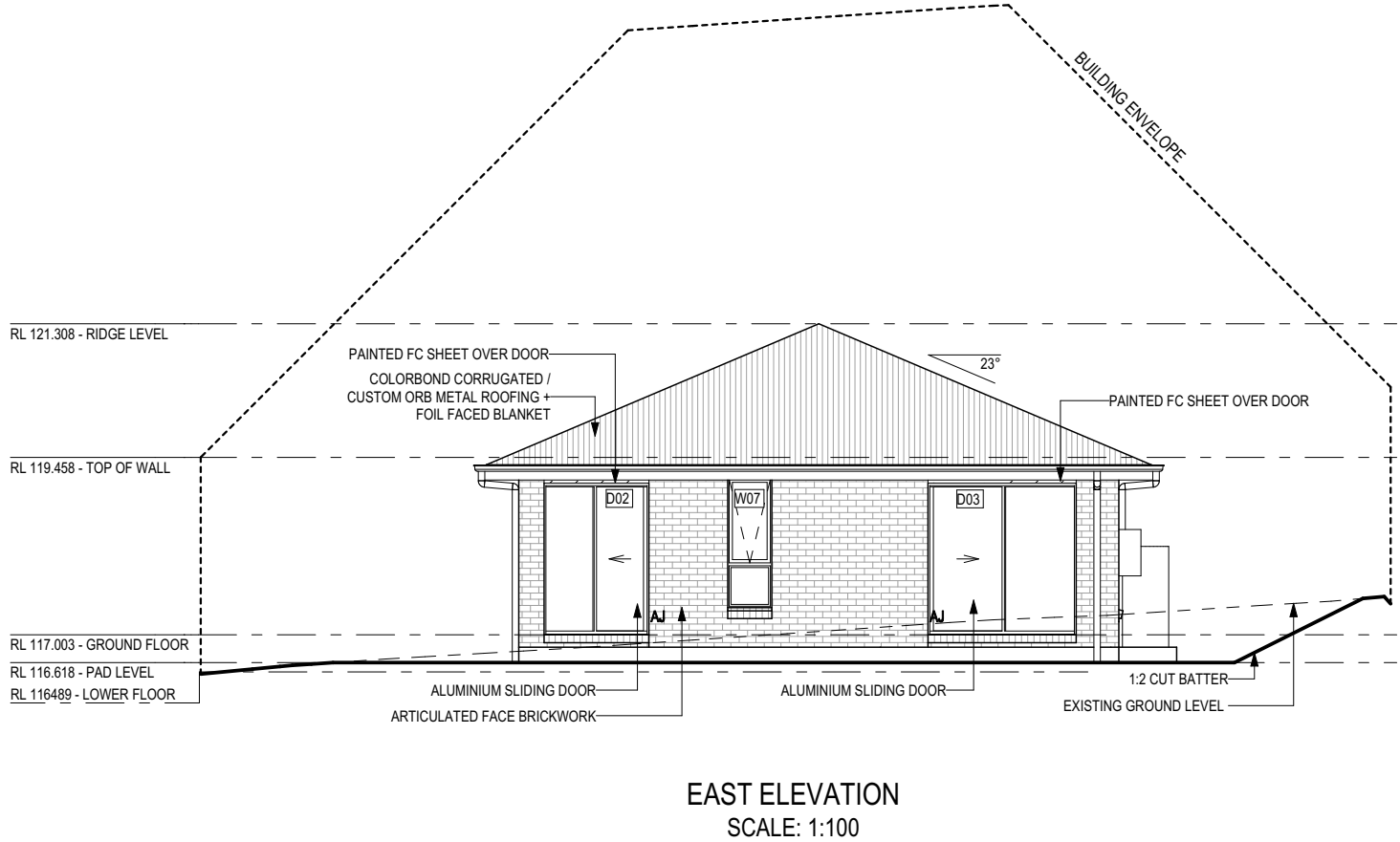
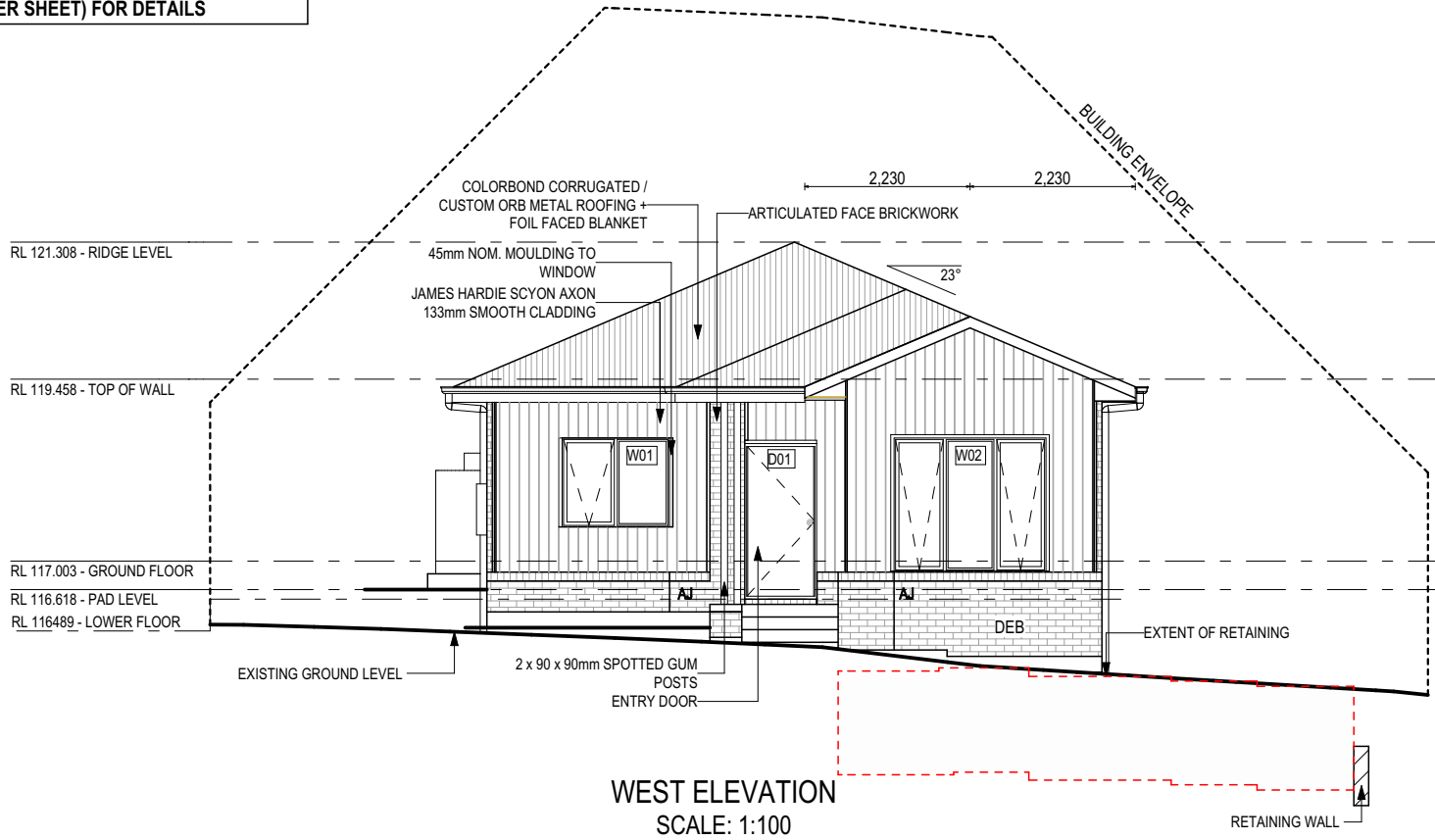
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SPECIFICATION: NOW BY WILSON HOMES	REVISION 1 CONSOLIDATED PROPOSAL 1 2 CONSOLIDATED PROPOSAL 1 3 PRELIM PLANS - INITIAL ISSUE	DRAWN NVO 08/06/2026 MFC 16/06/2026 TRV 26/06/2026	CLIENT: EBONY & SHANE CURTIS	HOUSE DESIGN: CYPRESS 15	HOUSE CODE: H-WNWCYP10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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			LOT / SECTION / CT: 3 / - / 189872	SHEET TITLE: GROUND FLOOR PLAN	SHEET No.: 4 / 24	714816
			COUNCIL: CLARENCE		SCALES: 1:100	

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

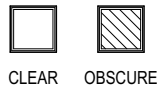
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

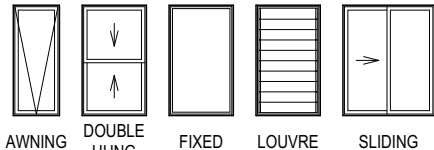
REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

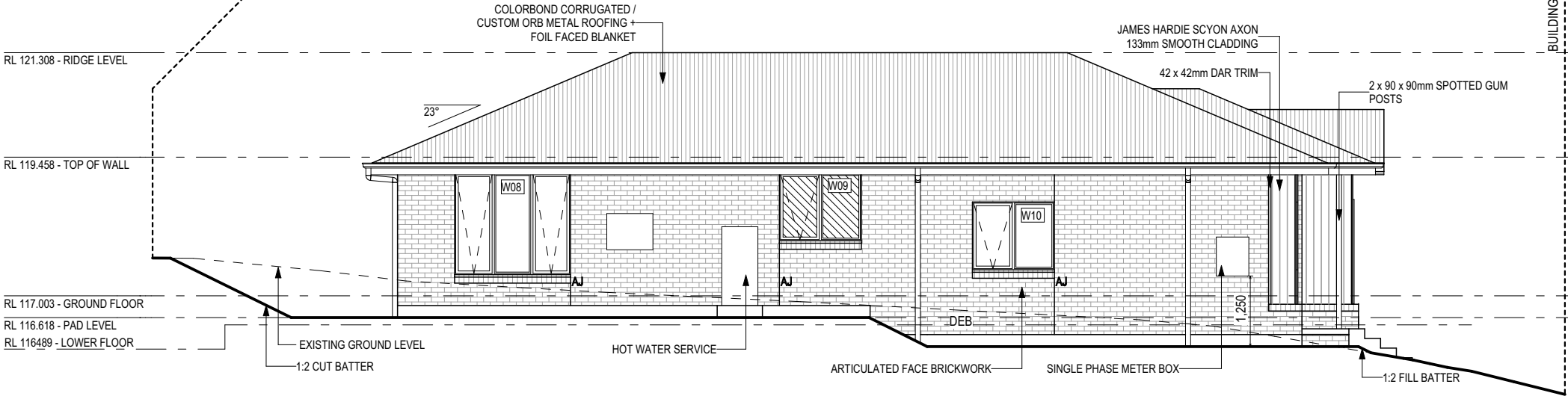
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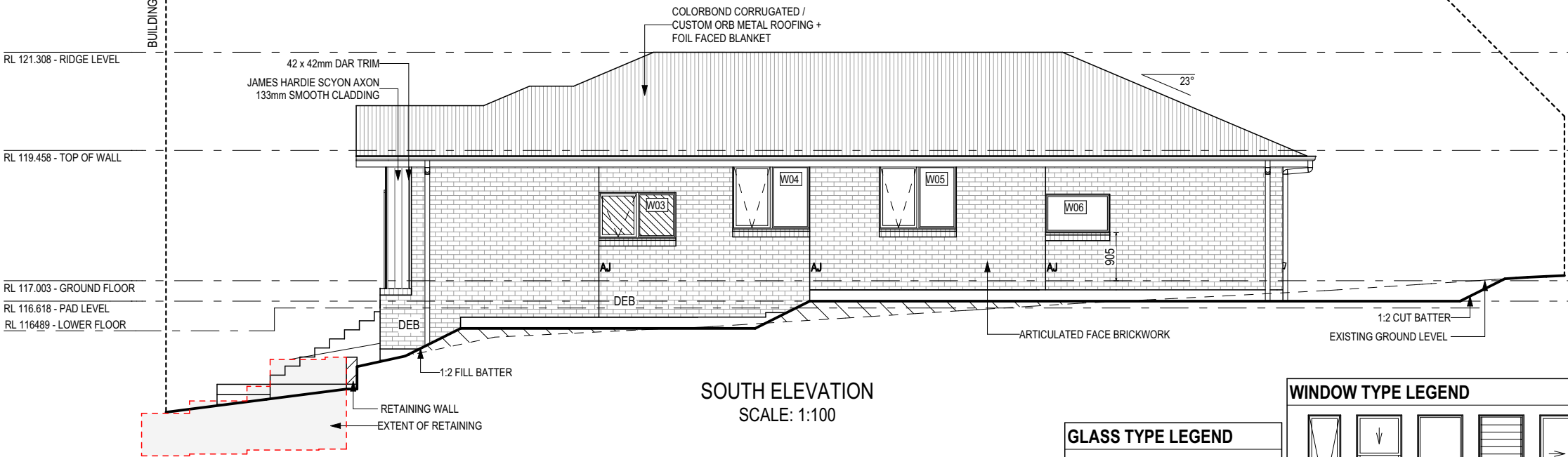


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	2 CONSOLIDATED PROPOSAL 1	MFC 16/06/2026	ADDRESS: 93 PASS ROAD, ROKEBY TAS 7019	FACADE DESIGN: OAKWOOD FACADE	FACADE CODE: F-WNWCYP100KWDA	
	3 PRELIM PLANS - INITIAL ISSUE	TRV 26/06/2026	LOT / SECTION / CT: 3 / - / 189872	SHEET TITLE: ELEVATIONS / SECTION	SCALES: 1:100	
			COUNCIL: CLARENCE	SHEET No.: 5 / 24		714816

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

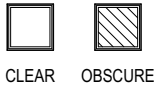


NORTH ELEVATION
SCALE: 1:100

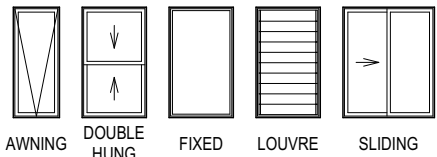


SOUTH ELEVATION
SCALE: 1:100

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



PLAN ACCEPTANCE BY OWNER

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SIGNATURE: _____ DATE: _____

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	3 PRELIM PLANS - INITIAL ISSUE	TRV 26/06/2026	LOT / SECTION / CT: 3 / - / 189872	SHEET TITLE: ELEVATIONS	SCALES: 1:100	
			COUNCIL: CLARENCE	SHEET No.: 6 / 24		714816

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AF1215	AWNING	BED 4	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-19	NONE	W	1.38	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W02	AFA1821	AWNING	BED 1	1,800	2,050	7,700	3.69	ALUMINIUM	BAL-19	NONE	W	2.92	CLEAR, DOUBLE GLAZED	MP 683-683
GROUND FLOOR	W03	AF0915	AWNING	ENS	857	1,450	4,614	1.24	ALUMINIUM	BAL-19	ANGLED	S	0.95	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
GROUND FLOOR	W04	AF1215	AWNING	BED 2	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-19	ANGLED	S	1.38	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W05	AF1215	AWNING	BED 3	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-19	ANGLED	S	1.38	CLEAR, DOUBLE GLAZED	MP 725
GROUND FLOOR	W06	F150-727x1210	FIXED	BUTLER'S PANTRY	727	1,210	3,874	0.88	ALUMINIUM	BAL-19	ANGLED	S	0.75	CLEAR, DOUBLE GLAZED	
GROUND FLOOR	W07	A/F1806	AWNING	KITCHEN	1,800	610	4,820	1.10	ALUMINIUM	BAL-19	ANGLED	E	0.80	CLEAR, DOUBLE GLAZED	BP 600
GROUND FLOOR	W08	AFA1821	AWNING	DINING	1,800	2,050	7,700	3.69	ALUMINIUM	BAL-19	ANGLED	N	2.92	CLEAR, DOUBLE GLAZED	MP 683-683
GROUND FLOOR	W09	AF1215	AWNING	BATH	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-19	ANGLED	N	1.38	OBSCURE, DOUBLE GLAZED, TOUGHENED	MP 725
GROUND FLOOR	W10	AF1215	AWNING	LEISURE	1,200	1,450	5,300	1.74	ALUMINIUM	BAL-19	ANGLED	N	1.38	CLEAR, DOUBLE GLAZED	MP 725
							55,208 mm	19.30					15.23		
DOOR															
GROUND FLOOR	D01	HD2110L	SWINGING	ENTRY	2,100	970	6,140	2.04	ALUMINIUM	BAL-19	SNAP HEADER	W	1.41	N/A	
GROUND FLOOR	D02	FS2115	SLIDING	LDRY	2,100	1,450	7,100	3.05	ALUMINIUM	BAL-19	SNAP HEADER	E	2.59	CLEAR, DOUBLE GLAZED, TOUGHENED	
GROUND FLOOR	D03	SF2121	SLIDING	DINING	2,100	2,050	8,300	4.31	ALUMINIUM	BAL-19	SNAP HEADER	E	3.79	CLEAR, DOUBLE GLAZED, TOUGHENED	
							21,540 mm	9.39					7.79		
							76,748 mm	28.69					23.02		

NOTE:
Provide BAL-19 rated aluminium windows and external glass sliding doors in lieu of standard.

Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Window Manufacturer: Dowell Windows			
No BAL / BAL 12.5 Window Type	WERS Code	U Value	SHGC
Sliding Window	DOW-022-003	2.9	0.64
Awning Window	DOW-005-001	3.9	0.58
Fixed External Window	DOW-038-001	3.03	0.71
Sliding Door	DAR-034-001	3.97	0.63
Stacking Door	DAR-034-001	3.97	0.63
Hinged Door	DOW-017-001	4.1	0.55
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 19 Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AUW-009-009	4.03	0.58
Stacking Door	AUW-009-009	4.03	0.58
Hinged Door	GRN-009-001	4.25	0.53
Bi-Fold Door	DOW-020-001	4.1	0.54
BAL 29 Window Type	WERS Code	U Value	SHGC
Sliding Window	TND-034-001	3.1	0.61
Awning Window	STG-001-066	3.91	0.54
Fixed External Window	DOW-038-005	3.02	0.66
Sliding Door	AMJ-007-005	4.03	0.59
Stacking Door	AMJ-007-005	4.03	0.59
Hinged Door	GRN-009-001	4.29	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	5	2 x 620	SWINGING	2,040	1,240	N/A	
GROUND FLOOR	1	620	SWINGING	2,040	620	N/A	
GROUND FLOOR	5	870	SWINGING	2,040	870	N/A	
GROUND FLOOR	2	870	SWINGING	2,040	870	N/A	LIFT-OFF HINGES

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
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BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

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			2	CONSOLIDATED PROPOSAL 1	MFC	16/06/2026	LOT / SECTION / CT: 3 / - / 189872				COUNCIL: CLARENCE				SHEET TITLE: WINDOW & DOOR SCHEDULES			SHEET No.: 7 / 24		SCALES: 714816	
			3	PRELIM PLANS - INITIAL ISSUE	TRV	26/06/2026															

NATURAL LIGHT AND VENTILATION						
ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ'D (m2)	VENTILATION ACH'D (m2)
OPEN KITCHEN/ LIVING/ DINING	34.22 m²	W07, W08, D02	3.42 m²	7.51 m²	1.71 m²	4.29 m²
BED 1	10.47 m²	W02	1.05 m²	2.92 m²	0.52 m²	2.26 m²
BED 2	9.24 m²	W04	0.92 m²	1.38 m²	0.46 m²	0.79 m²
BED 3	9.70 m²	W05	0.97 m²	1.38 m²	0.49 m²	0.79 m²
BED 4	9.82 m²	W01	0.98 m²	1.38 m²	0.49 m²	0.79 m²
LEISURE	8.58 m²	W10	0.86 m²	1.38 m²	0.43 m²	0.79 m²
PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)						
PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).						

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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BAL-19 BUSHFIRE REQUIREMENTS
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LIVABLE HOUSING

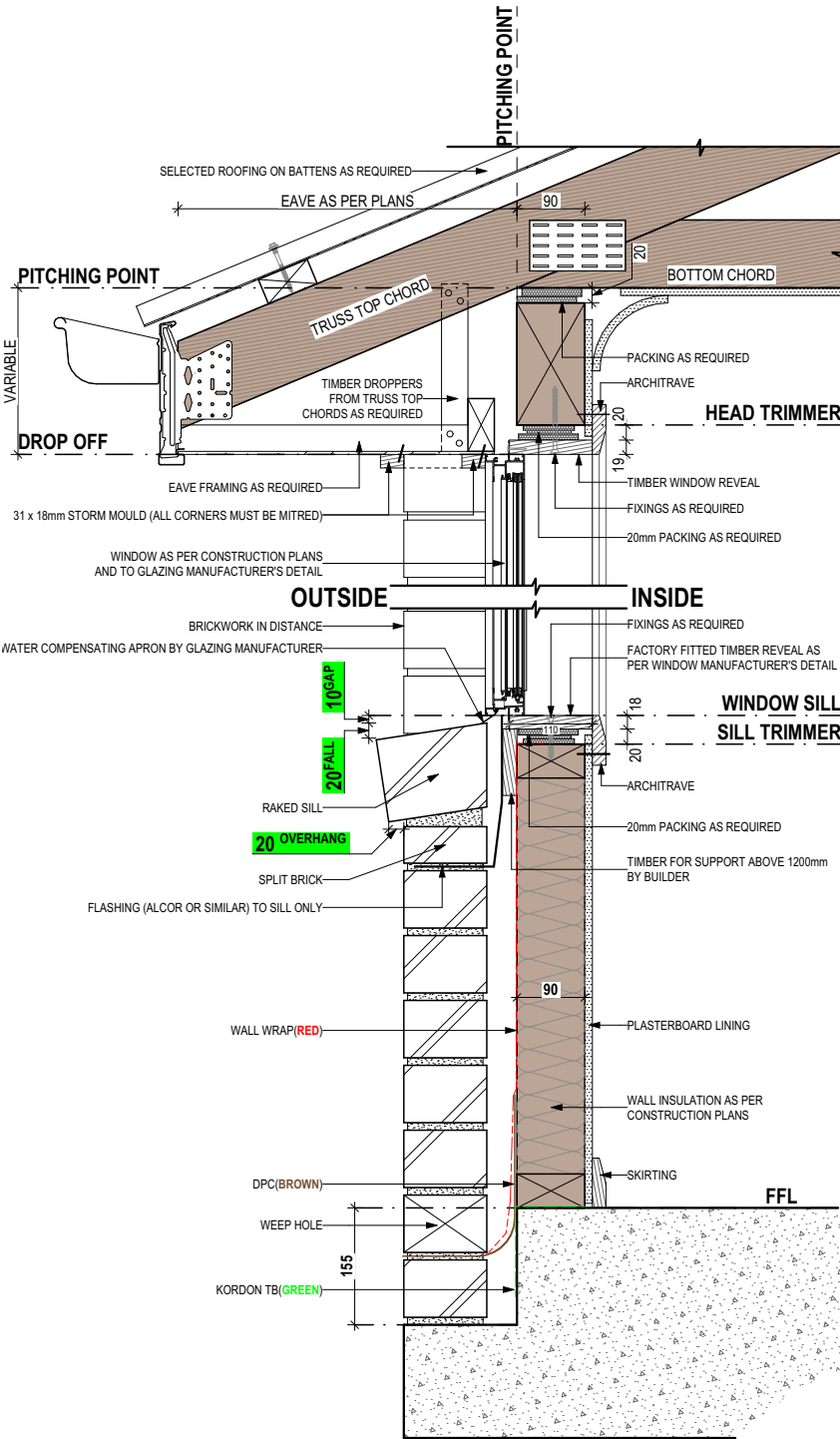
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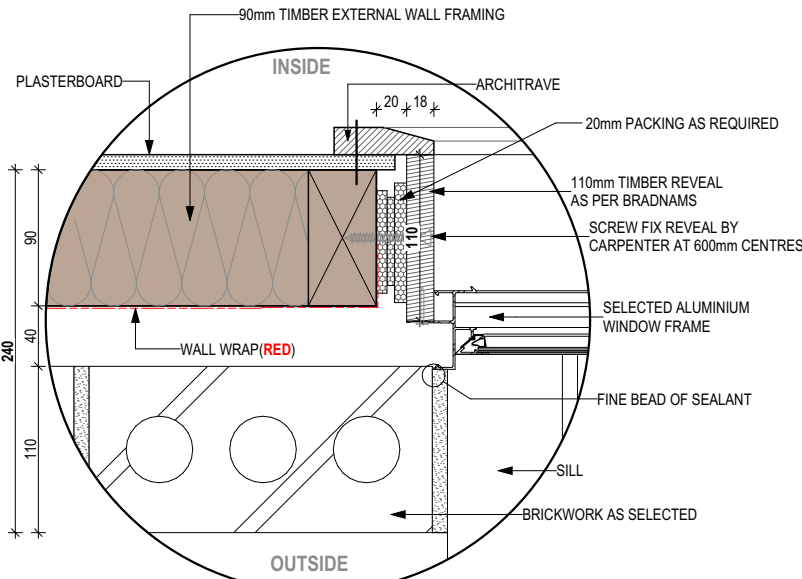
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	NOW BY WILSON HOMES	1	CONSOLIDATED PROPOSAL 1	NVO	08/06/2026	EBONY & SHANE CURTIS		CYPRESS 15		H-WNWCYP10SA	
	COPYRIGHT:	2	CONSOLIDATED PROPOSAL 1	MFC	16/06/2026	ADDRESS:		FACADE DESIGN:		FACADE CODE:	
	© 2026	3	PRELIM PLANS - INITIAL ISSUE	TRV	26/06/2026	93 PASS ROAD, ROKEBY TAS 7019		OAKWOOD FACADE		F-WNWCYP100KWDA	
				LOT / SECTION / CT:		COUNCIL:	SHEET TITLE:		SHEET No.:	SCALES:	
				3 / - / 189872		CLARENCE	CALCULATIONS		8 / 24		



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

**SUBJECT TO NCC 2022
(1 MAY 2023)**
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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**BAL-19 BUSHFIRE REQUIREMENTS
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REVISION
1 CONSOLIDATED PROPOSAL 1
2 CONSOLIDATED PROPOSAL 1
3 PRELIM PLANS - INITIAL ISSUE

DRAWN
NVO 08/06/2026
MFC 16/06/2026
TRV 26/06/2026

CLIENT:
EBONY & SHANE CURTIS
ADDRESS:
93 PASS ROAD, ROKEBY TAS 7019
LOT / SECTION / CT:
3 / - / 189872
COUNCIL:
CLARENCE

HOUSE DESIGN:
CYPRESS 15
FACADE DESIGN:
OAKWOOD FACADE
SHEET TITLE:
DETAILS (FACE BRICKWORK)

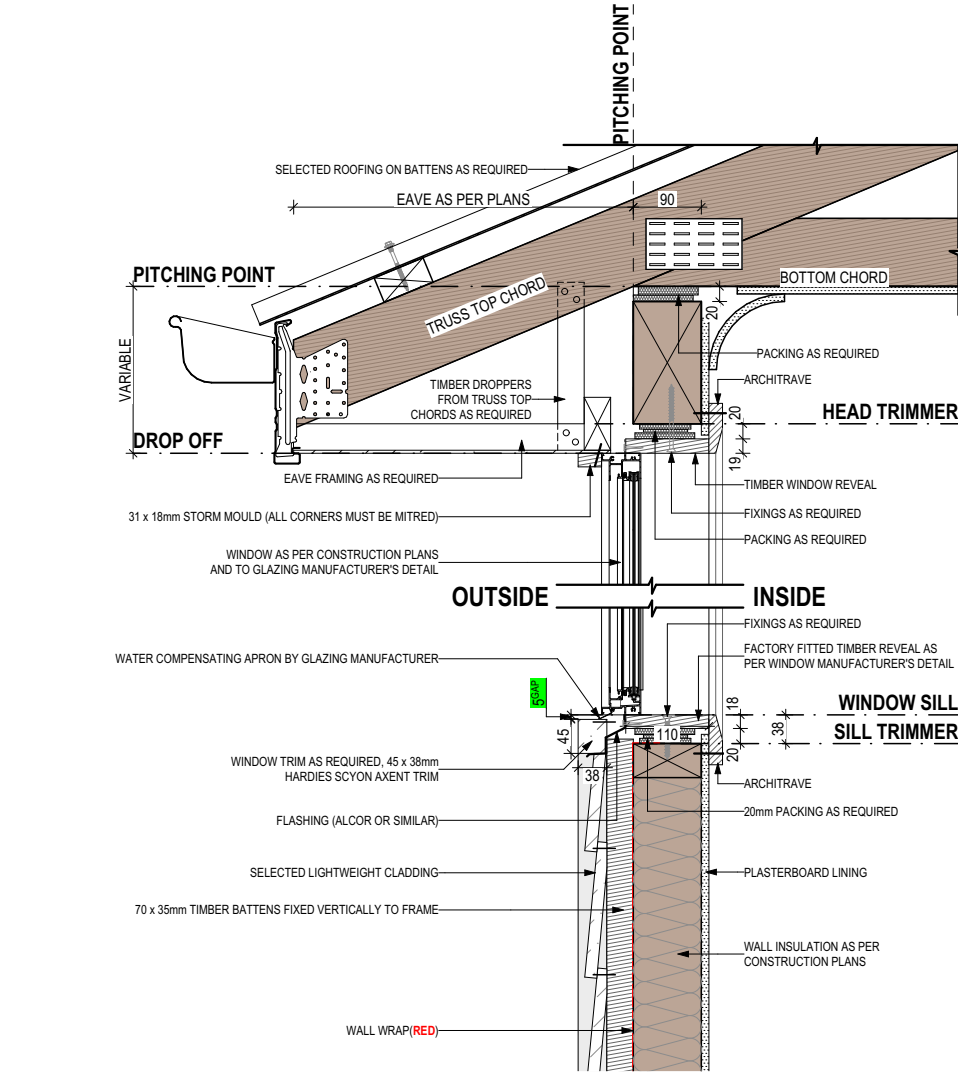
SHEET No.:
9 / 24

HOUSE CODE:
H-WNWCYP10SA
FACADE CODE:
F-WNWCYP100KWDA
SCALES:

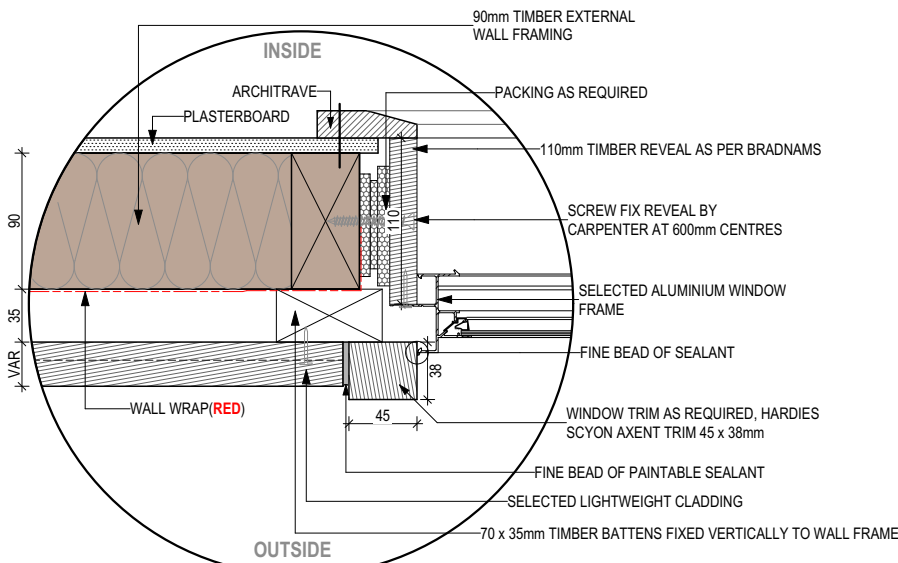
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714816

REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL

SHEET CLADDING



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

THIS DWELLING IS BEING CONSTRUCTED IN A BAL-19 AREA
RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS APPLY. REFER TO NOTES

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CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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NOW

by Wilson Homes

current Solid-5037506

SPECIFICATION: NOW BY WILSON HOMES	1	CONSOLIDATED PROPOSAL 1	NVO	08/06/2026	CLIENT: EBONY & SHANE CURTIS	HOUSE DESIGN: CYPRESS 15	HOUSE CODE: H-WNWCYP10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714816
COPYRIGHT: © 2026	2	CONSOLIDATED PROPOSAL 1	MFC	16/06/2026	ADDRESS: 93 PASS ROAD, ROKEBY TAS 7019	FACADE DESIGN: OAKWOOD FACADE	FACADE CODE: F-WNWCYP100KWDA	
	3	PRELIM PLANS - INITIAL ISSUE	TRV	26/06/2026	LOT / SECTION / CT: 3 / - / 189872	SHEET TITLE: DETAILS (CLADDING)	SHEET No.: 10 / 24	
					COUNCIL: CLARENCE			

WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

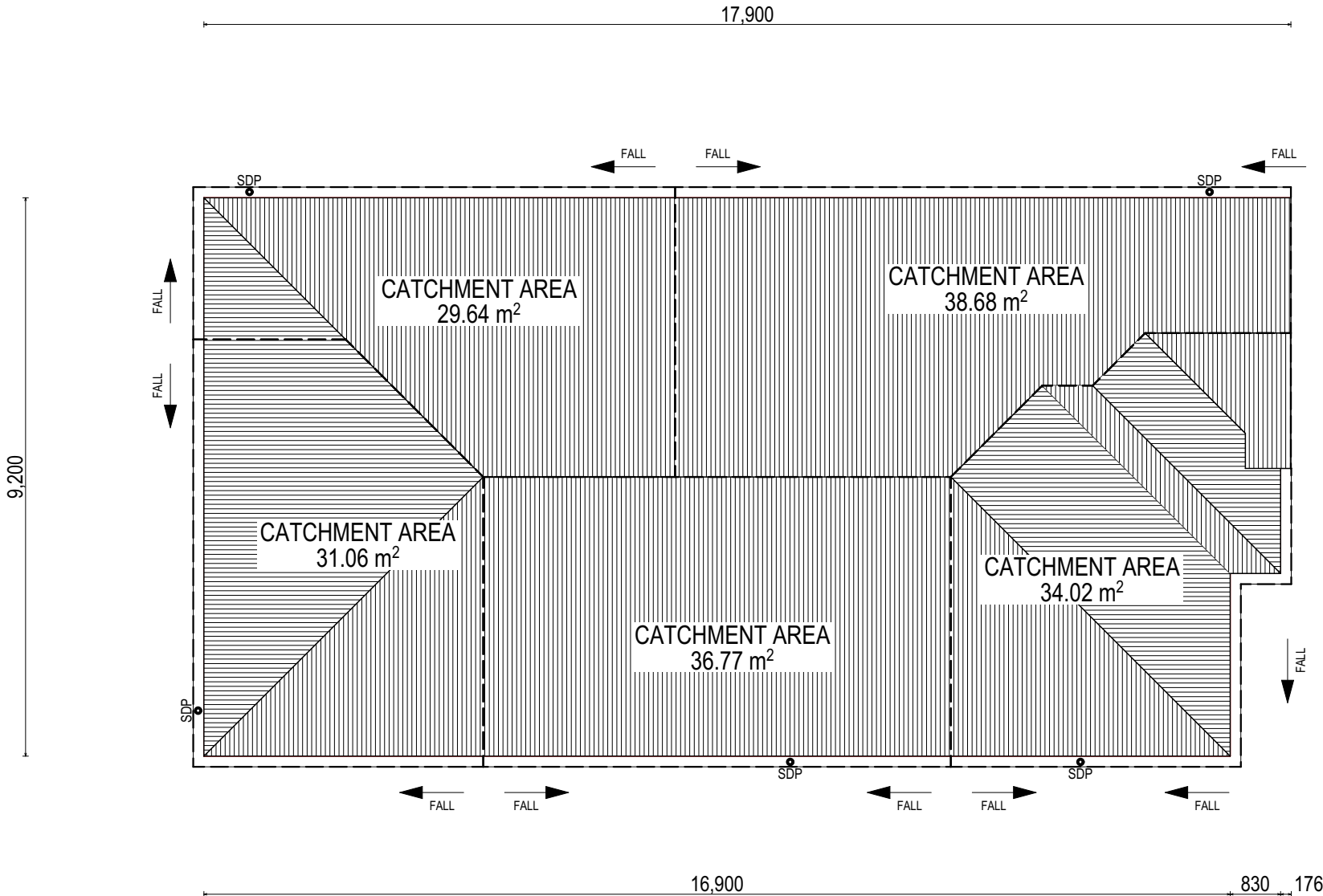
AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	161.38	Flat Roof Area (excluding gutter and slope factor) (m ²)
	175.50	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	170.18	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	205.92	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²)
Required Downpipes	3.22	Ac / Acdp
Downpipes Provided	5	

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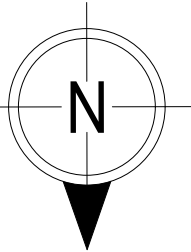


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						LOT / SECTION / CT:		COUNCIL:		SHEET TITLE:		SHEET No.: 11 / 24	SCALES: 1:100	714816
						3 / - / 189872		CLARENCE		ROOF DRAINAGE PLAN				



**SUBJECT TO NCC 2022
(1 MAY 2023)**
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CONDENSATION MANAGEMENT
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ROOF SPACE VENTILATION		
REFER TO ROOF PLAN FOR VENTILATION LOCATIONS		
GROUND FLOOR 23Â° ROOF		
LONGEST HORIZONTAL ROOF LENGTH	17.900m	
ROOF PITCH	23.00°	
HIGH LEVEL VENTILATION	REQUIRED	89,495mm² (5,000 x 17,900m)
	PROVIDED	121,660mm²
LOW LEVEL VENTILATION	REQUIRED	125,293mm² (7,000 x 17,900m)
	PROVIDED	126,500mm²
NO OF EAVE VENTS	REQUIRED	4.95
	PROVIDED	5



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						LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
						3 / - / 189872	CLARENCE	ROOF VENTILATION	12 / 24	1:100	714816	

Template Version: 24_043

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

NO COVERING

COVER GRADE CONCRETE

CARPET

LAMINATE

TILE (STANDARD WET AREAS)

TILE (UPGRADED AREAS)

DECKING



BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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support@wilsonhomes.com.au

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© 2026	3	PRELIM PLANS - INITIAL ISSUE	TRV	26/06/2026	93 PASS ROAD, ROKEBY TAS 7019		OAKWOOD FACADE		F-WNWCYP100KWDA		
					LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:		
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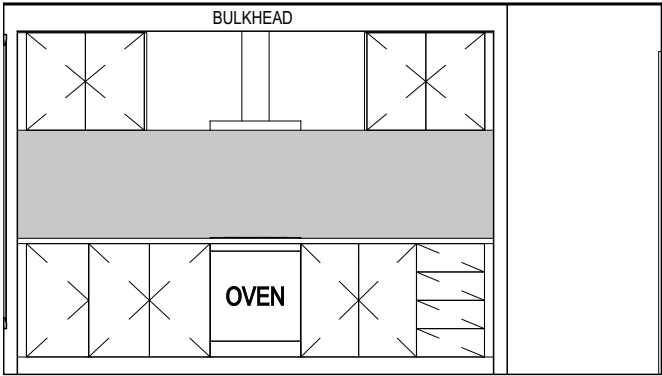
714816

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

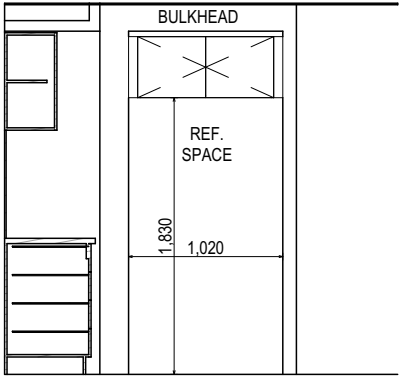
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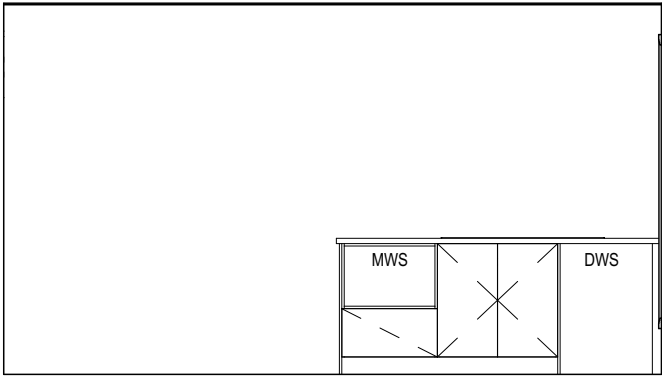
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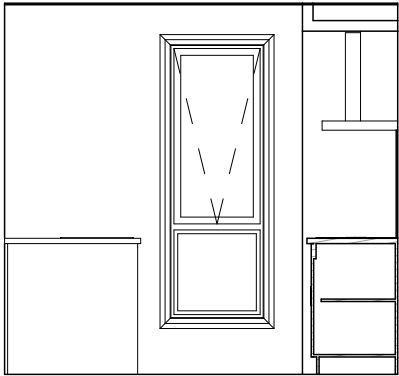
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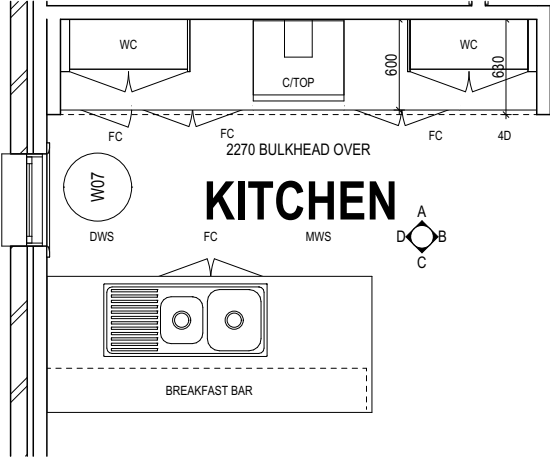
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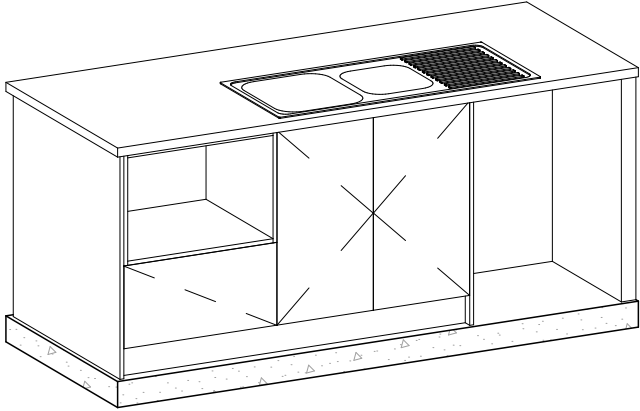
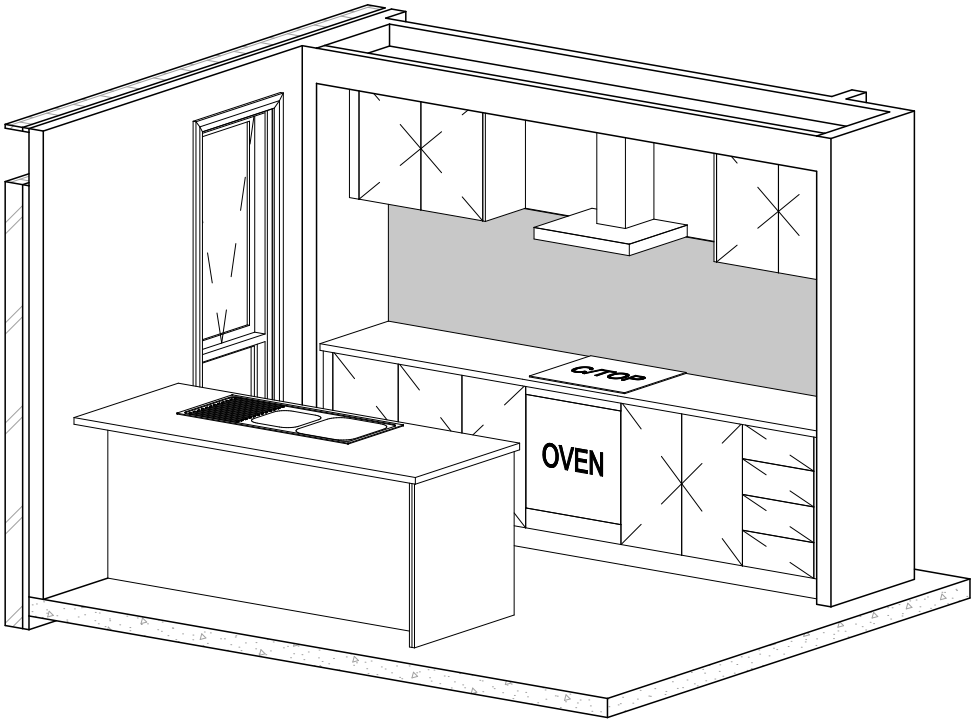
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SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50



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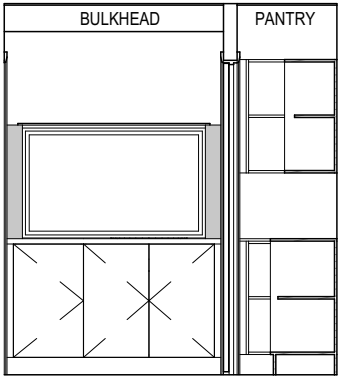
REVISION	DRAWN
1 CONSOLIDATED PROPOSAL 1	NVO 08/06/2026
2 CONSOLIDATED PROPOSAL 1	MFC 16/06/2026
3 PRELIM PLANS - INITIAL ISSUE	TRV 26/06/2026

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COUNCIL:	CLARENCE

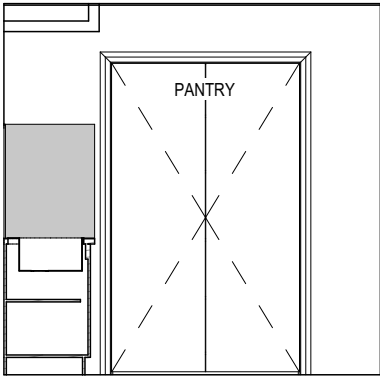
HOUSE DESIGN:	CYPRESS 15
FACADE DESIGN:	OAKWOOD FACADE
SHEET TITLE:	KITCHEN DETAILS

HOUSE CODE:	H-WNWCYP10SA
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SHEET No.:	14 / 24
SCALES:	1:50

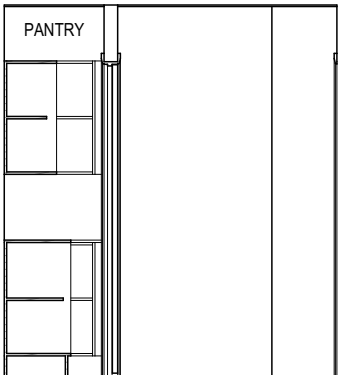
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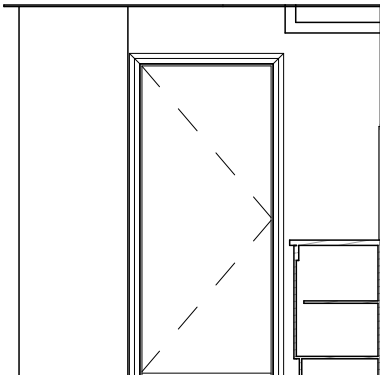
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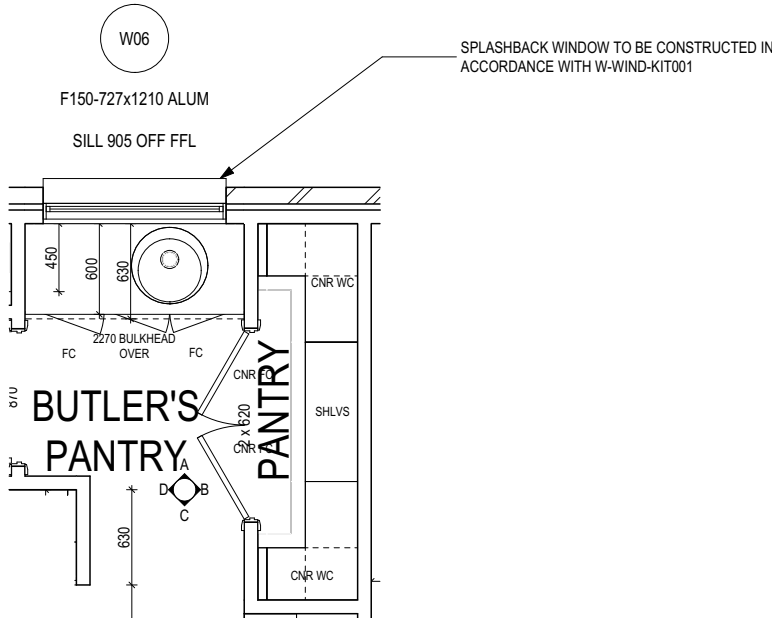
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SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BUTLER'S PANTRY PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)**
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CONDENSATION MANAGEMENT
LIVABLE HOUSING

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DRAWN	
NVO	08/06/2026
MFC	16/06/2026
TRV	26/06/2026

CLIENT:	EBONY & SHANE CURTIS
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LOT / SECTION / CT:	3 / - / 189872
COUNCIL:	CLARENCE

HOUSE DESIGN:	CYPRESS 15
FACADE DESIGN:	OAKWOOD FACADE
SHEET TITLE:	BUTLER'S PANTRY DETAILS

SHEET No.:	15 / 24
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HOUSE CODE:	H-WNWCYP10SA
FACADE CODE:	F-WNWCYP100KWDA
SCALES:	1:50

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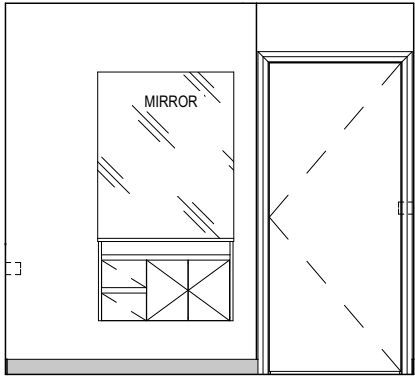
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

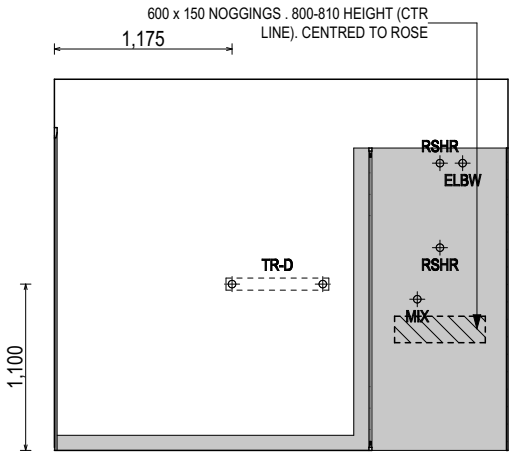
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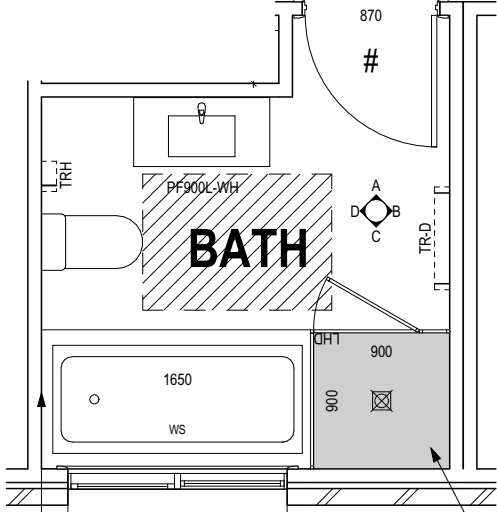
- RSHR RAIL SHOWER
ROSE SHOWER ROSE
ELBW SHOWER ELBOW
CONNECTION
MIX MIXER TAP
HT HOT TAP
CT COLD TAP
HS HOB SPOUT
WS WALL SPOUT
SC STOP COCK
TRH TOILET ROLL HOLDER
TR-S TOWEL RAIL - SINGLE
TR-D TOWEL RAIL - DOUBLE
TL TOWEL LADDER
TH TOWEL HOLDER
TR TOWEL RACK
TMB TUMBLER HOLDER
RNG TOWEL RING
RH ROBE HOOK
SHLF SHELF
SR SHAMPOO RECESS
SOAP SOAP HOLDER



ELEVATION A
SCALE: 1:50



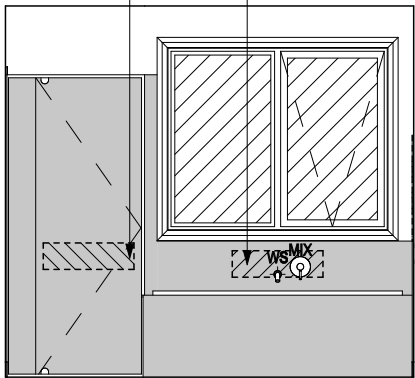
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SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50

600 x 150 NOGGINGS . 800-810 HEIGHT (CTR
LINE). OFFSET 250mm FROM WALL

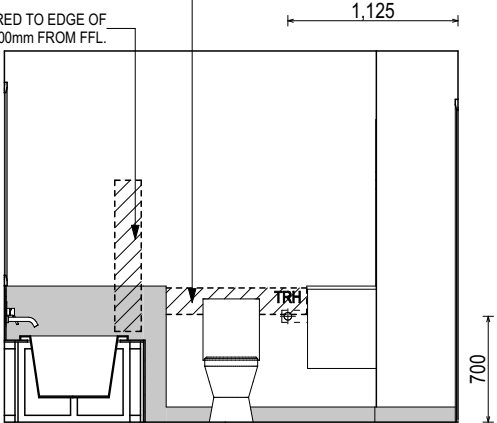
600 x 150 NOGGINGS CENTRED TO BATH.
OFFSET 175mm FROM TOP OF BATH



ELEVATION C
SCALE: 1:50

1000 x 175 NOGGINGS . 800-810 HEIGHT (CTR
LINE). CENTRED TOILET

150 x 1000 NOGGINGS CENTRED TO EDGE OF
BATH. OFFSET 600mm FROM FFL.



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

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FACADE DESIGN:	OAKWOOD FACADE
SHEET TITLE:	BATHROOM DETAILS

HOUSE CODE:	H-WNWCYP10SA
FACADE CODE:	F-WNWCYP100KWDA
SHEET No.:	16 / 24
SCALES:	1:50

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BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

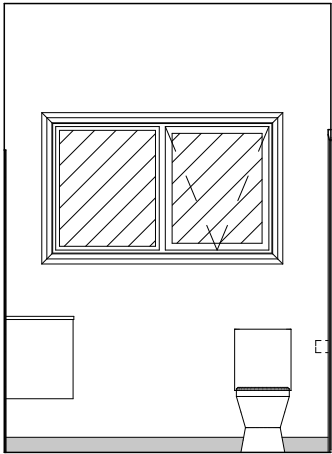
REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

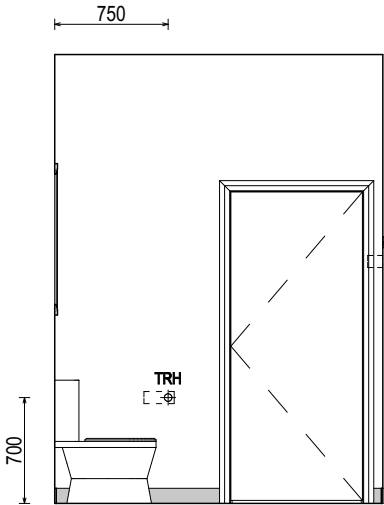
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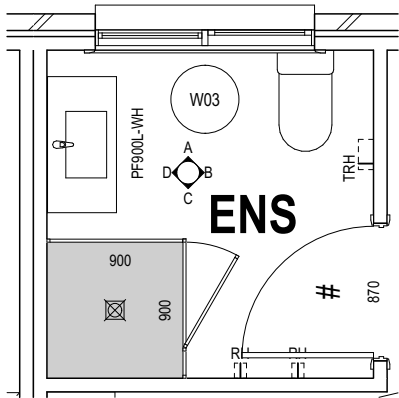
- RSHR RAIL SHOWER
ROSE SHOWER ROSE
ELBW SHOWER ELBOW
CONNECTION
MIX MIXER TAP
HT HOT TAP
CT COLD TAP
HS HOB SPOUT
WS WALL SPOUT
SC STOP COCK
TRH TOILET ROLL HOLDER
TR-S TOWEL RAIL - SINGLE
TR-D TOWEL RAIL - DOUBLE
TL TOWEL LADDER
TH TOWEL HOLDER
TR TOWEL RACK
TMB TUMBLER HOLDER
RNG TOWEL RING
RH ROBE HOOK
SHLF SHELF
SR SHAMPOO RECESS
SOAP SOAP HOLDER



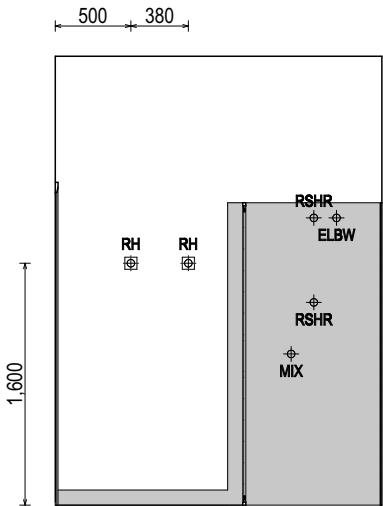
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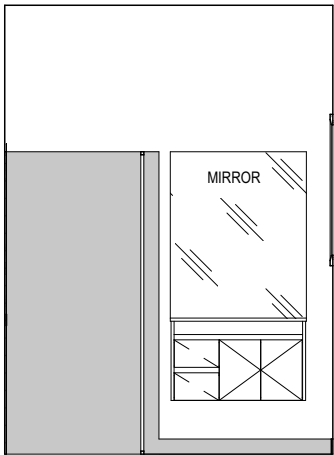
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ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

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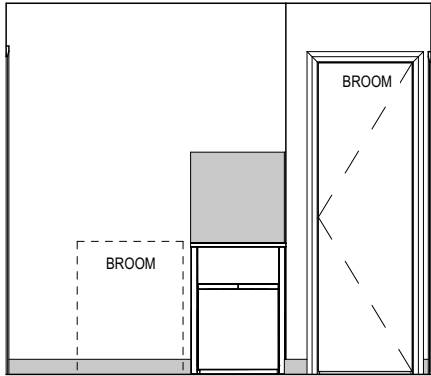
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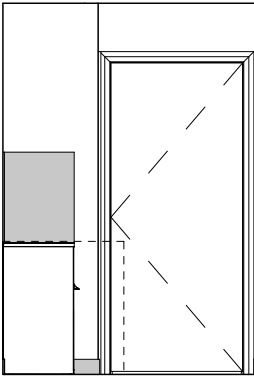
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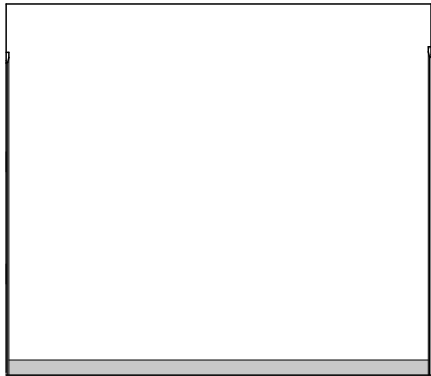
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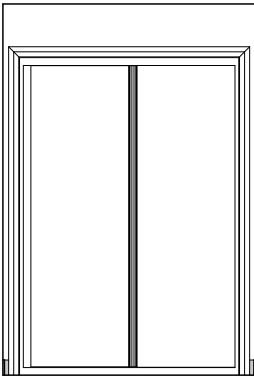
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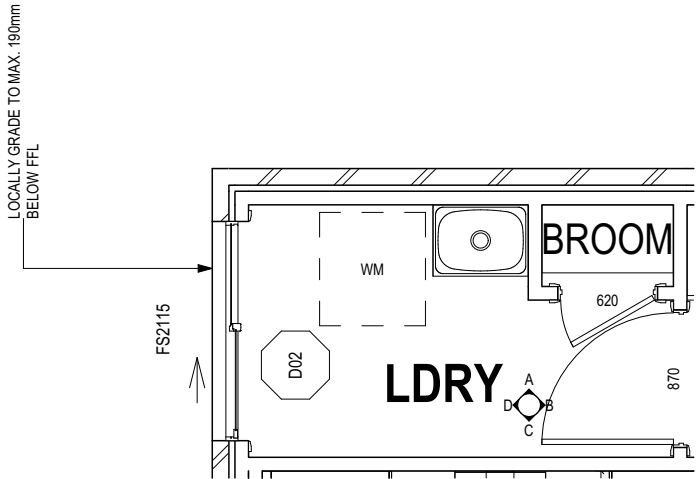
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ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
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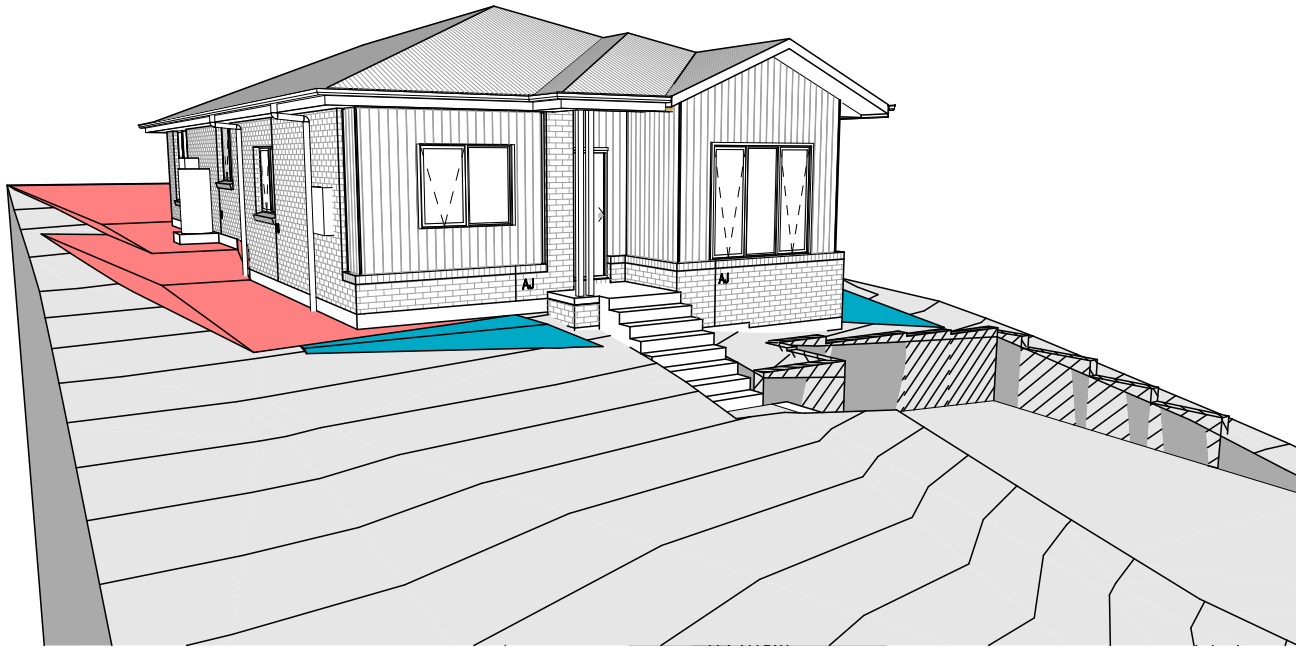
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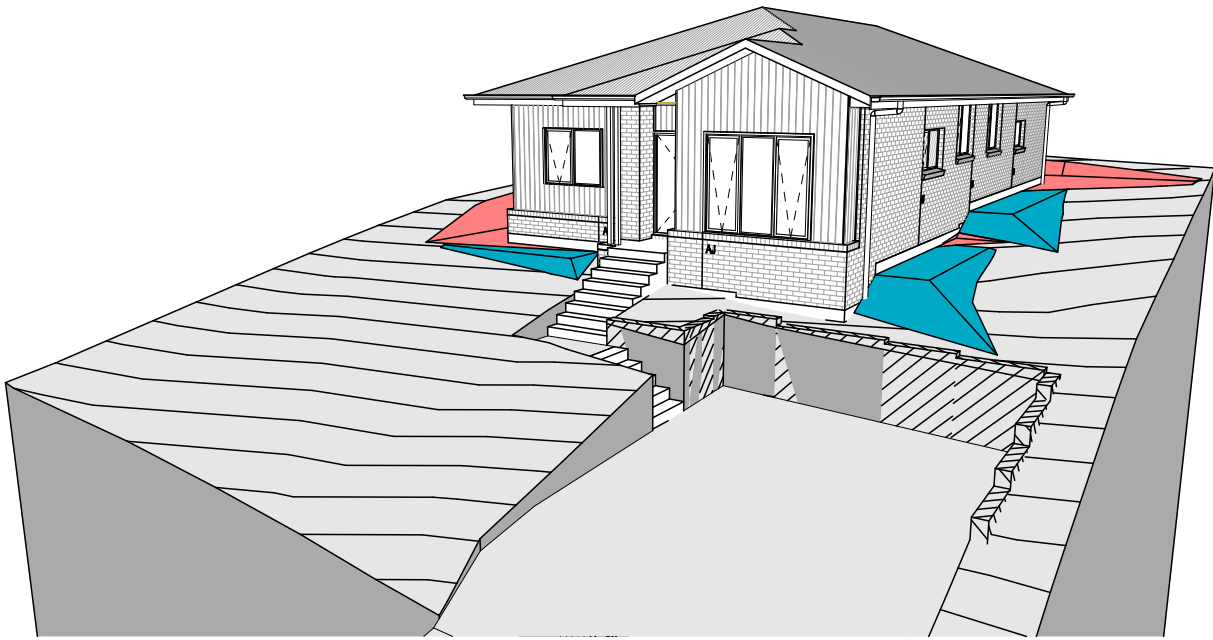
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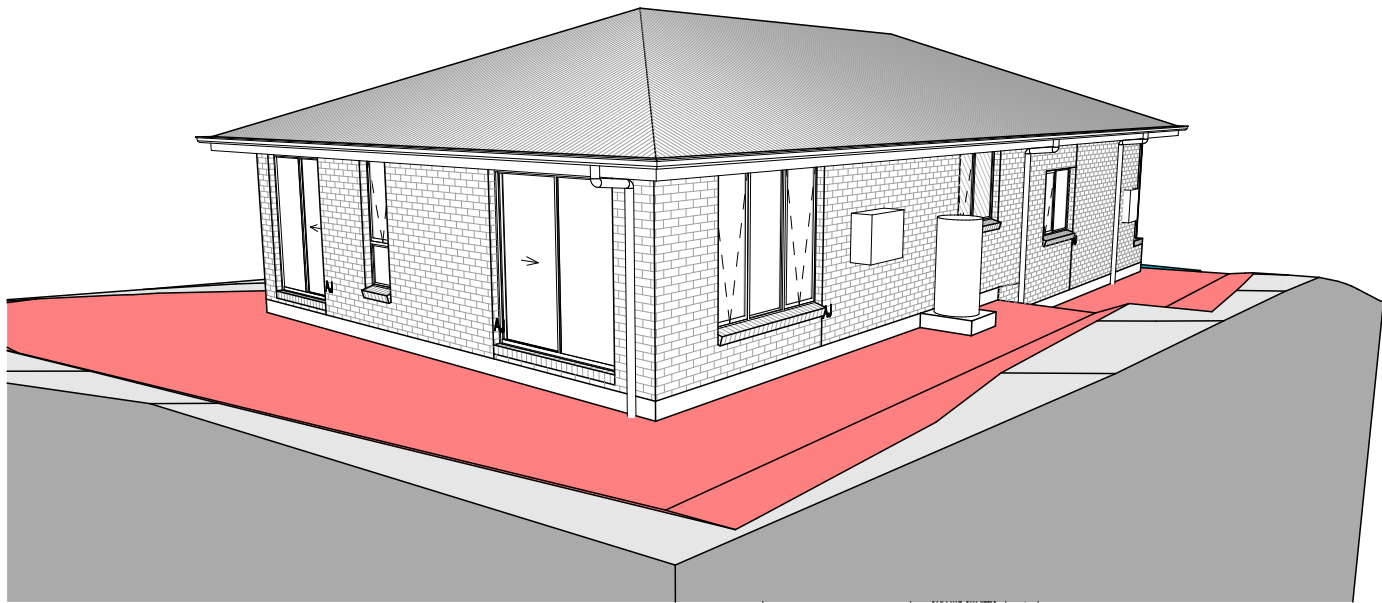
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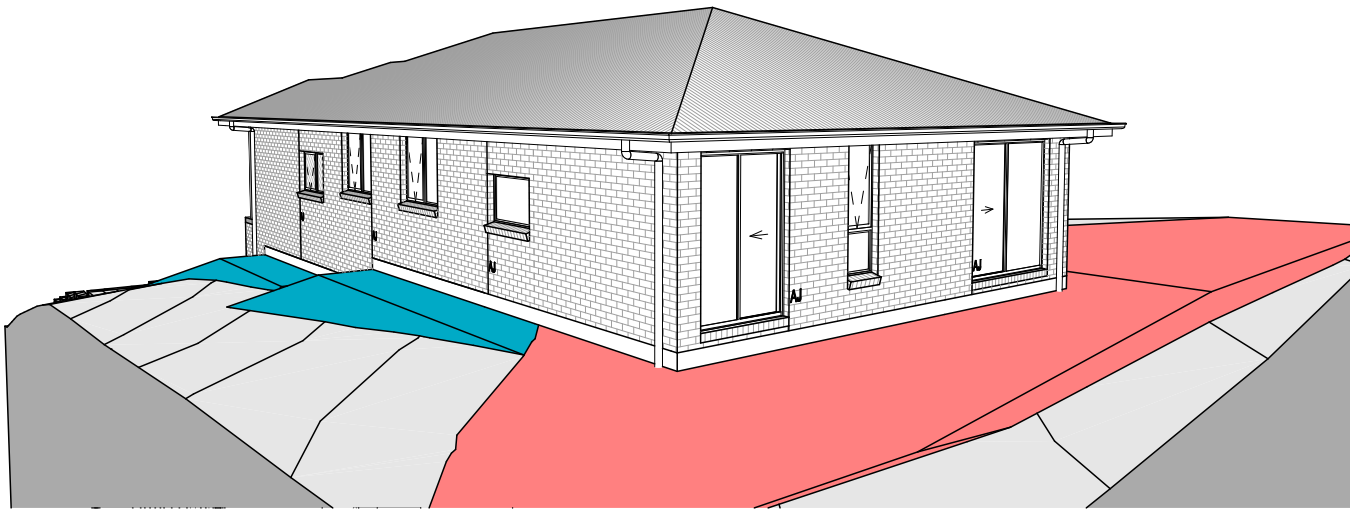
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WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPRROF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.

(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION
FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING
3.12.3.1 - CHIMNEYS AND FLUES
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
(ii) A WATERPROOF SEAL; OR
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.3.2 - ROOF LIGHTS
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
(ii) A WATERPROOF SEAL; OR
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.3.4 - EXHAUST FANS
AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:
(a) A CONDITIONED SPACE; OR
(b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS
(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.
(b) CONSTRUCTION REQUIRED BY (a) MUST BE:
(i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
(ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS
AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:
(a) A HEATED SPACE; OR
(b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING
(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:
(i) 5W/m² IN A CLASS 1 BUILDING
(ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
(iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.
(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE TO SERVICE THE SPACE.

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Requirements for Building In Bushfire Hazard Areas
Building Act 2016
Directors Determination - Bushfire Hazard Areas
V1.1, dated 08 April 2021

Deemed-to-Satisfy Requirements (Part 2.3)

2.3.1 Design and construction
(1) Building work in a bushfire-prone area must be designed and constructed in accordance with either: -
(a) AS 3959-2018; or
(b) Standard for Steel Framed Construction in Bushfire Areas published by the National Association of Steel Framed Housing Inc. (NASH), as appropriate for a BAL determined for that site using table 2.6 of AS 3959.
(2) Subclause (1)(a) is only applicable to the following:
(a) a Class 1, 2 or 3 building; or
(b) a Class 10a building or deck associated with a Class 1, 2 or 3 building.
(3) Subclause (1)(b) is only applicable to the following:
(a) a Class 1 building; or
(b) a Class 10a building or deck associated with a Class 1 building.
(4) Despite subsection (1) permissible, variations from requirements specified in 1(a) and 1(b) are as specified in Table 1.
(5) Despite subsections (1) and (4), performance requirements for buildings subject to BAL 40 or BAL Flame Zone (BAL-FZ) are not satisfied by compliance with subsections (1) or (4).

2.3.2 Property Access
(1) A new building in a bushfire-prone area must be provided with property access to the building area and the firefighting water point, accessible by a carriageway, designed and constructed as specified in subclause (4).
(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no property access available property access must be provided to the building area and the firefighting water point accessible by a carriageway as specified in subclause (4).
(3) An addition or alteration to an existing building in a bushfire-prone area must not restrict any existing property access to the building area or to water supply for firefighting.
(4) Vehicular access from a public road to a building must:
(a) comply with the property access requirements specified in Table 2;
(b) include access from a public road to within 90 metres of the furthest part of the building measured as a hose lay; and
(c) include access to the hardstand area for the firefighting water point.

2.3.3 Water Supply for Fire fighting
(1) A new building constructed in a bushfire-prone area, must be provided with a water supply dedicated for fire fighting purposes as specified in Table 3A or Table 3B.
(2) For an addition or alteration to an existing building in a bushfire-prone area, if there is no water supply for firefighting available the building must be provided with a water supply dedicated for firefighting purposes which complies with the requirements specified in Table 3A or Table 3B.

2.3.4 Hazard Management Areas
(1) A new building, and an existing building in the case of an addition or alteration to a building, in a bushfire-prone area must be provided with a hazard management area.
(2) The hazard management area must comply with the requirements specified in Table 4.
(3) The hazard management area for a particular BAL must have the minimum dimensions required for the separation distances specified for that BAL in Table 2.6 of AS 3959.
(4) The hazard management area must be established and maintained such that the fuels are reduced sufficiently, and other hazards are removed such that the fuels and other hazards do not significantly contribute to the bushfire attack.
2.3.5 Bushfire emergency plan
(1) An emergency plan must be provided for:
(a) a new building;
(b) an existing building in the case of an addition or alteration to a building;
(c) an existing building in the case of a change of building class;
(d) a building associated with the use, handling, generation or storage of a hazardous chemical or explosive; in a bushfire-prone area.
(2) A bushfire emergency plan must comply with the requirements specified in Table 5.

7. Interpretation of Tables
(1) For the purposes of the deemed-to-satisfy provisions in clause 2.3 of this Determination, Tables 1, 2, 3A, 3B, 4, and 5 must be complied with in the following way:
(a) for a particular element specified in column 1, the corresponding requirement specified in column 2 must be complied with.

Table 1 - Construction Requirements & Construction Variations

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Straw Bale Construction	May be used in exposures up to and including BAL 19.
B.	Shielding provisions under Section 3.5 of AS3959-2018	To reduce construction requirements due to shielding, building plans must include suitable detailed elevations or plans that demonstrate that the requirements of Section 3.5 of the Standard can be met.
		Comment: Application of Section 3.5 of the Standard cannot result in and assessment of BAL-LOW.

Table 2 - Requirements for Property Access

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Property access length is less than 30 metres; or access is not for a fire appliance to access a water connection point.	There are no specified design and construction requirements.
B.	Property access length is 30 metres or greater; or access for a fire appliance to a water connection point.	The following design and construction requirements apply to property access: (1) All-weather construction; (2) Load capacity of at least 20 tonnes, including for bridges and culverts; (3) Minimum carriageway widths of 4 metres; (4) Minimum vertical clearance of 4 metres; (5) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway; (6) Cross falls of less than 3° (1:20 or 5%); (7) Dips less than 7° (1:8 or 12.5%) entry and exit angle; (8) Curves with a minimum inner radius of 10 metres; (9) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and (10) Terminate with a turning area for fire appliances provided by one of the following: (a) A turning circle with a minimum inner radius of 10 metres; (b) A property access encircling the building; or (c) A hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.
C.	Property access length is 200 metres or greater.	The following design and construction requirements apply to property access: (1) The Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.
D.	Property access length is greater than 30 metres, and access is provided to 3 or more properties.	The following design and construction requirements apply to property access: (1) Complies with Requirements for B above; and (2) Passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.

Table 3A - Reticulated Water Supply for Firefighting

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Distance between building area to be protected and water supply	The following requirements apply: (1) The building area to be protected must be located within 120 metres of a fire hydrant; and (2) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B.	Design criteria for fire hydrants	The following requirements apply: (1) Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 - 2011-3.1 MRWA Edition 2.0; and (2) Fire hydrants are not installed in parking areas.
C.	Hardstand	A hardstand area for fire appliances must be provided: (1) no more than three metres from the hydrant, measured as a hose lay; (2) No closer than six metres from the building area to be protected; (3) With a minimum width of three metres constructed to the same standard as the carriageway; and (4) Connected to the property access by a carriageway equivalent to the standard of the property access

Table 3B - Static Water Supply for Firefighting

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Distance between building area to be protected and water supply	The following requirements apply: (a) The building area to be protected must be located within 90 metres of the water connection point of a static water supply; and (b) The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
B.	Static Water Supplies	A static water supply: (a) May have a remotely located offtake connected to the static water supply; (b) May be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times; (c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems; (d) Must be metal, concrete or lagged by non-combustible materials if above ground; and (e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959-2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a water connection point for a static water supply must: (a) Have a minimum nominal internal diameter of 50mm; (b) Be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) Be metal or lagged by non-combustible materials if above ground; (d) Where buried, have a minimum depth of 300mm (e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment; (f) Ensure the coupling is accessible and available for connection at all times; (g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length); (h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and (i) Where a remote offtake is installed, ensure the offtake is in a position that is: (i) Visible; (ii) Accessible to allow connection by fire fighting equipment; (iii) At a working height of 450 - 600mm above ground level; and (iv) Protected from possible damage, including damage by vehicles.
D.	Signage for static water connections	(1) The water connection point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: (a) comply with water tank signage requirements within AS 2304; or (b) comply with the TFS Water Supply Signage Guideline.
E.	Hardstand	A hardstand area for fire appliances must be provided: (a) No more than three metres from the water connection point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.

Table 4 - Requirements for Hazard Management Area

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Hazard managements areas for new buildings on lots provided with a BAL at the time of subdivision.	A new building must: (a) Be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined at the time of the subdivision; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.
B.	Hazard management areas for new buildings on lots not provided with a BAL at the time of sub division.	A new building must: (a) Be located on the lot so as to be provided with a HMA no smaller than the separation distances required for BAL 29; and (b) Have an HMA established in accordance with a certified bushfire hazard management plan.
C.	Hazard management areas for alterations or additions to buildings.	An alteration or addition to a building must: (a) Be located on the lot so as to be provided with a HMA which: (i) Has the separation distances required for the BAL assessed for the construction of the existing building; or (ii) In the case of a building without an existing BAL assessment, is no smaller than the separation distances required for BAL 29; and (b) Have an HMA established in accordance with a certified bushfire hazard management plan.
D.	Hazard management areas for new buildings and additions and alterations to buildings classified as an accommodation building BCA Class 1b, BCA Class 2, or BCA Class 3, other than communal residence for persons with a disability, a respite centre or a residential aged care facility or similar.	A new building or an alteration or addition must: (a) be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL 12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
E.	Hazard management areas for new buildings and additions and alterations to existing buildings classified as vulnerable use as defined in the relevant planning scheme.	A new building or an addition or alteration including change of use must: (a) be located on the lot so as to be provided with HMAs no smaller than the separation distances required for BAL 12.5; and (b) have a HMA established in accordance with a certified bushfire hazard management plan.
F.	Hazard management areas for new buildings or additions and alterations to buildings associated with the use, handling, generation or storage of a hazardous chemical or explosive.	A new building or an alteration or addition, including change of use, for a building determined as a hazardous use must: (a) Be located on the lot so as to be provided with a HMA no smaller than the required separation distances for the BAL determined in the certified bushfire hazard management plan; and (b) Have a HMA established in accordance with a certified bushfire hazard management plan.

Table 5 - Requirements for Emergency Planning

Column 1		Column 2
ELEMENT		REQUIREMENT
A.	Bushfire emergency plans	An emergency plan must be developed for the site which is: (a) Consistent with TFS Bushfire Emergency Planning Guidelines; and (b) Approved by TFS or a person accredited by the TFS.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

SIGNATURE: DATE:

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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AS3959 (2018)

All specifications are per AS3959 (2018) and Wilson Homes request. Other materials and options may be available, refer to AS3959 for full list of compliant materials.

6.1 GENERAL

A building assessed in Section 2 as being BAL - 19 shall comply with Section 3 and Clauses 6.2 to 6.8.

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 6.2 to 6.8 (see Clause 3.8).

NOTE: BAL - 19 is primarily concerned with protection from ember attack, and radiant heat greater than 12.5 kW/m² up to and including 19 kW/m².

6.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with -
(a) a wall that complies with Clause 6.4; OR
(b) a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium; OR
(c) a combination of Items (a) and (b).

NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 6.7)

C6.2 Combustible materials stored in the subfloor space may be ignited by embers and cause and impact to the building.

6.3 FLOORS

6.3.1 GENERAL

This Standard does not provide construction requirements for concrete slabs on the ground.

6.3.2 ELEVATED FLOORS

6.3.2.1 ENCLOSED SUBFLOOR SPACE

This standard does not provide consturction requirements for elevated floors, including bearers and joists and flooring, where the subfloor space is enclosed with

- (a) a wall that complies with Clause 6.4; OR
- (b) a mesh perforated sheet with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium; OR
- (c) a combination of Items (a) and (b) above.

6.3.2.2 UNENCLOSED SUBFLOOR SPACE

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400mm above finished ground level, shall be one of the following -
(a) Materials that comply with the following:
(i) Bearers and joists shall be -
(A) non-combustible; OR
(B) bushfire-resisting timber (see Appendix F); OR
(C) a combination of Items (A) and (B) above.
(ii) Flooring shall be -
(A) non-combustible; OR
(B) bushfire-resisting timber (see Appendix F); OR
(C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; OR
(D) a combination of any Items (A), (B) or (C) above.
OR
(b) A system complying with AS1530.8.1

This standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400mm or more above finished ground level.

6.4.1 WALLS

The exposed components of an external wall that is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar fittings having an angle of less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be as follows:

- (a) Non-combustible material including, the following provided the thickness is 90mm:
(i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
(ii) Precast or in situ walls of concrete or aerated concrete.
(iii) Earth wall including mud brick. OR
- (b) Timber logs of a species with a density of 680kg/m³ or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90mm and a minimum thickness of 70mm (see Clause 3.11); and gauge planed. OR
- (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall that is sarked on the outside of the frame and is -
(i) non-combustible material; OR
(ii) fibre cement a minimum of 6mm in thickness; OR
(iii) bushfire-resisting timber (see Appendix F); OR
(iv) a timber species as specified in Paragraph E1, Appendix E; pr
(v) a combination of any of Items (i), (ii), (iii) or (iv) above. OR
- (d) A combination of any items (a), (b) or (c) above.
This standard does not provide construction requirements for exposed components of an external wall that are 400mm or more from the ground or 400mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the wall (see Figure D3, Appendix D).

6.4.2 JOINTS

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

6.4.3 VENTS AND WEEPHOLES

Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

6.5.1 BUSHFIRE SHUTTERS

Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from -
(a) non-combustible material; OR
(b) a timber species as specified in Paragraph E1, Appendix E; OR
(c) bushfire-resisting timber (see Appendix F); OR
(d) a combination of Items (a), (b) and (c) above.

6.5.2 SCREENS FOR WINDOWS AND DOORS

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.

The frame supporting the mesh or perforated sheet shall be made from -
(a) metal; OR
(b) bushfire-resisting timber (see Appendix F).
(c) a timber species as specified in Paragraph E2, Appendix E.

6.5.3 WINDOWS AND SIDELIGHTS

Window assemblies shall:
(a) be completely protected by a bushfire shutter that complies with Clause 3.7 and clause 6.5.1; OR
(b) Be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2.
(c) Conform with the following:
(i) Frame material For window assemblies less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having and angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from:
(A) Bushfire-resisting timber (see Appendix F) OR
(B) A timber species as specified in Paragraph E2, Appendix F); OR
(C) Metal. OR
(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
There are no specific restrictions on frame material for all other windows.
(ii) Hardware There are no specific restrictions on hardware for windows.
(iii) Glazing Where glazing is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having and angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum of 4mm in thickness or glass blocks with no restriction on glazing methods.
NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.
(iv) Seals and weather strips There are no specific requirements for seals and weather strips at this BAL level.
(v) Screens The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 6.5.2. Where annealed glass is used, both the fixed and openable portions of the window shall be screened externally with screens that conform with clause 6.5.2.

C6.5.3(c), screening of the openable portions of all windows is required in all BAL's to prevent the entry of embers to the building when the window is open. For Item (c)(v), screening of the openable and fixed portions of some windows is required to reduce the effects of radiant heat on some types of glass. If the screening is required to reduce the effects of radiant heat on glass, and has to be externally fixed.
For Item (c)(v), If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

6.5.4 DOORS SIDE-HUNG EXTERNAL DOORS (including French Doors, Panel Fold and Bi-fold Doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall -
(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.
OR
(b) Be protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.
OR
(c) conform with the following:
(i) Door panel material Materials shall be -
(A) non combustible; OR
(B) solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35mm for the first 400mm above the threshold; OR
(C) hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400mm above the threshold; OR
(D) for fully framed glazed door panels, the framing is made from metal or bushfire resisting timber (see Appendix F), or a timber species as specified in Paragraph E2, Appendix E or uPVC.
(ii) Door frame material Door frames material shall be:
(A) Bushfire-resisting timber (see Appendix F). OR
(B) a timber species as specified in Paragraph E2 of Appendix E;

OR
(C) Metal. OR
(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
(iii) Hardware There are no specific requirements for hardwarea at this BAL level.
(iv) Glazing Where doors incorporate glazing, the glazing shall be toughened glass a minimum of 5mm in thickness.
(v) Seals and weather strips Weather strips, draft excluders or draft seals shall be installed.
(vi) Screens There are no specific requirements for hardwarea at this BAL level.
(vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

6.5.5 DOORS-SLIDING DOORS

Sliding doors shall:
(a) Be completely protected by bushfire shutters that comply with Clause 3.7 and Clause 6.5.1.
OR
(b) Be completely protected externally by screens that comply with Clause 3.6 and Clause 6.5.2.
OR
(c) conform with the following:
(i) Frame material The material for door frames, including fully framed glazed doors, shall be -
(A) Bushfire-resisting timber (see Appendix F). OR
(B) a timber species as specified in Paragraph E2 of Appendix E; OR
(C) Metal. OR
(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
(ii) Hardware There are no specific requirements for hardwarea at this BAL level.
(iii) Glazing Where doors incorporare glazing, the glazing shall be toughened glass a minimum of 5mm in thickness,
(iv) Seals and weather strips There are no specific requirements for hardwarea at this BAL level.
(v) Screens There are no specific requirements for hardwarea at this BAL level.
(vi) Sliding panels Sliding panels shall be tight-fitting in the frames.

6.5.6 DOORS-VEHICLE ACCESS DOORS (GARAGE DOORS)

The following apply to vehicle access doors:
(a) The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from -
(i) non combustible material; OR
(ii) bushfire-resisting timber (see Appendix F); OR
(iii) fibre- cement sheet, a minimum of 6mm in thickness; OR
(iv) a timber species as specified in Paragraph E1, Appendix E; OR
(iv) a combination of any Items (i), (ii) or (iv) above.
(b) All vehicle access doors doors shall be fitted with suitable weather strips, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.
NOTES:
1 Refer to AS/NZS 4505 for door types.
2 Gaps of door edges or building elements should be protected as per Section 3.
C6.5.6(b) These guide tracks do not provide a direct passage for embers into the building.
(c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.
(d) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

6.6.1 ROOFS - GENERAL

The following apply to all types of roofs and roofing systems:
(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
(b) The roof/wall junction shall be sealed, or otherwise protected in accordance with Clause 3.6.
(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.
(d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

6.6.2 TILED ROOFS

Tiled roofs shall be fully sarked. The sarking shall -
(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
(b) cover the entire roof area including ridges and hips; and
(c) extend into gutters and valleys.

6.6.3 SHEET ROOFS

Sheet roofs shall—
(a) be fully sarked in accordance with Clause 6.6.2, except that foil-backed insulation blankets may be installed over the battens; and
(b) have any gaps sealed at the fascia or wall line and at valleys, hips and ridges by -
(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or
(ii) mineral wool; or
(iii) other non-combustible material; or
(iv) a combination of any of Items (i), (ii) or (iii) above.
C6.6.3 - Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

6.6.4 VERANDA, CARPORT AND AWNING ROOFS

The following apply to veranda, carport and awning roofs:
(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 6.6.1, to 6.6.6.
(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 6.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.
NOTE: There is no requirement to line the inderside of a veranda, carport or awning roof that is separated from the main roof space

6.6.5 ROOF PENETRATIONS

The following apply to roof penetrations:
(a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors shall be sealed. The material used to seal the penetration shall be non-combustible.
(b) Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium.
This requirement does not apply to a room sealed gas appliance.
NOTE: A gas appliance designed such that air for combustion dose not enter from, or combustion products enter into, the room which the appliance is located.
In the case of gas appliance flues, ember guards shall not be fitted.
NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be obtained from manufacturers and State and Territory gas technical regulators.
(c) All overhead glazing shall be Grade A safety glass complying with AS 1288.
(d) Glazed elements in roof lights and skylights may be of polymer, provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.
(e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding five.
(f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium.
(g) Eaves lighting shall be adequately sealed and not compromise the performance of the element.

6.6.6 EAVES LININGS, FASCIAS AND GABLES

The following apply to eaves linings, fascias and gables:
(a) Gables shall comply with Clause 6.4.
(b) Eaves penetrations shall be protected the same as for roof penetrations, as specified in Clause 6.6.5.
(c) Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium
Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

This standard does not provide construction requirements for fascias, bargeboards and eaves linings.

6.6.7 GUTTERS AND DOWNPIPES

This Standard does not provide material requirements for-
(a) gutters, with the exception of box gutters: and
(b) downpipes.
If installed, gutter and valley leaf guards shall be non-combustible.
Box gutters shall be non-combustible and flashed at the junction with the roof with noncombustible material.

6.7.1 VERANDAS, DECKS, STEPS

AND LANDINGS - GENERAL

Decking may be spaced.
There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.
C6.7.7 - Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 - 5 mm during service. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

6.7.2 ENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

6.7.2.1 Materials to enclose a subfloor space

This standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400mm from the ground.
Where the materials used to enclose a subfloor space are less than 400mm from the ground, they shall conform with Clause 6.4.

6.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

6.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

6.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

This standard does not provide construction requirements for decking, stair treds and the trafficable surfaces and landings that are more than 300mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300mm (measured horizontally at deck level) from glazed elements that are less than 400mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from -
(a) of non-combustible material; or
(b) of bushfire-resisting timber (see Appendix F); or
(c) a timber species as specified in Paragraph E1, Appendix E; or
(d) uPVC; or
(e) a combination of Items (a), (b), (c) or (d).

6.7.3 UNENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

6.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

6.7.3.2 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

6.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for deshing, stair treds and the trafficable surfaces of ramps and landings that are more than 300mm from a glazed element.

Decking, stair treads and the trafficable surfaces of ramps and landings less than 300mm (measured horizontally at deck level) from glazed elements that are less than 400mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from-
(a) non-combustible material; or
(b) of bushfire-resisting timber (see Appendix F); or
(c) a timber species as specified in Paragraph E1, Appendix E; or
(d) a combination of any of Items (a), (b), or (c).

6.7.4 BALUSTRADES, HANDRAILS OR OTHER BARRIERS

This Standard does not provide construction requirements for balustrades, handrails and other barriers.

5.7.5 VERANDA POSTS

Verandah Posts -
(a) Shall be timber mounted on galvanised mounted shoes or stirrups with a clearance of no less than 75mm above adjacent ground level; or
(b) if less than 400mm (measured vertically) from the surface of the deck or ground (see Fig D2, Appendix D) shall be made from -
(i) non-combustible material; or
(ii) bushfire-resisting timber (see Appendix F); or
(iii) a timbers species as specified in Paragraph E1, Appendix E; or
(iv) a combination of any of Items (a) or (b).

6.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes shall be metal.

External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9mm whichever is the greater. The metal pipe shall extend a minimum of 400mm within the building and 100mm below ground.
NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1.
C6.8 Concern is raised for the protection of bottled gas installations. Location, sheilding and venting of the gas bottles needs to be considered.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING
CONDENSATION MANAGEMENT
LIVABLE HOUSING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: DATE:

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PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED
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BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

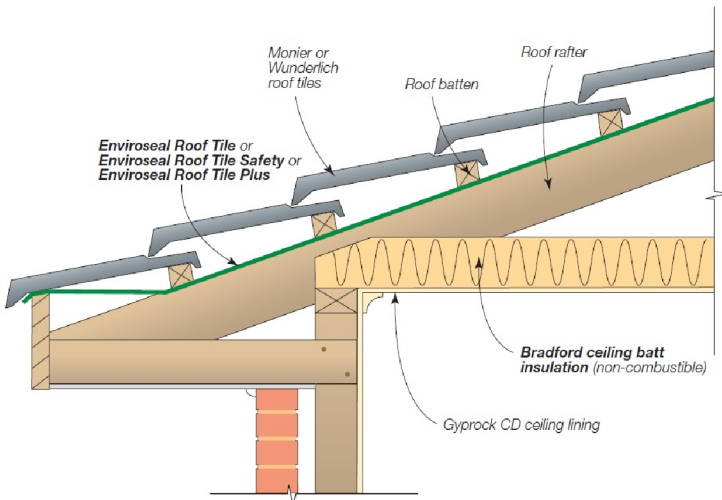
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						3 / - / 189872	CLARENCE	BAL 19 NOTES	23 / 24		714816	

Rafter Spacing	Product
Up to and including 600mm	EnviroSeal™ Roof Tile or EnviroSeal™ Roof Tile Plus
Over 600mm	EnviroSeal™ Roof Tile Safety

Figure 5.1. Tiled Roofs

- Install EnviroSeal roof tile sarking on top of the roof framing and below the roof battens.
- For further fixing details contact CSR technical support.



Application	Product
Sarking	EnviroSeal™ Resiwrap
Foil faced insulation blanket	Bradford Anticon™
Gap seal	Bradford Fireseal BAL 12.5 - 40 Blanket

Figure 5.2.1. Fascia Detail – Metal Roof (BAL12.5-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- Immediately above the fascia install BAL12.5 – 40 Blanket extending up the roof and over the first batten. Compress with the roof sheeting.
- For further fixing details contact CSR technical support.

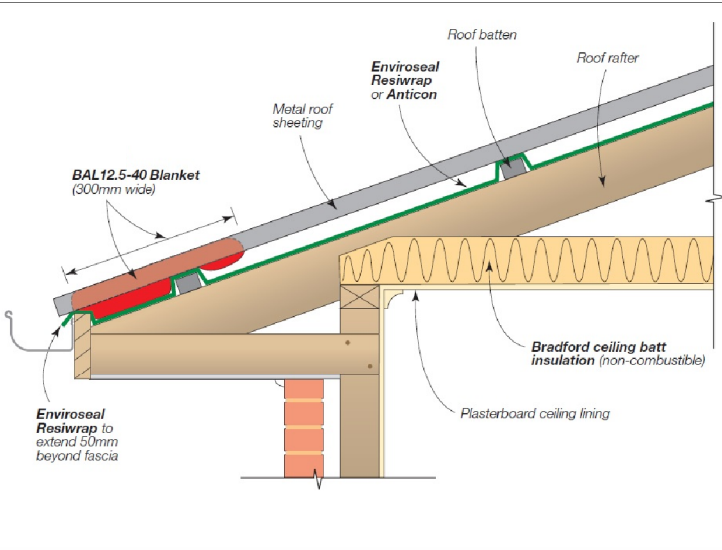


Figure 5.2.2. Valley Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- BAL12.5 – 40 Blanket to be laid over the top of the sarking extending into the valley gutter. Compress with roof sheeting.
- For further fixing details contact CSR technical support.

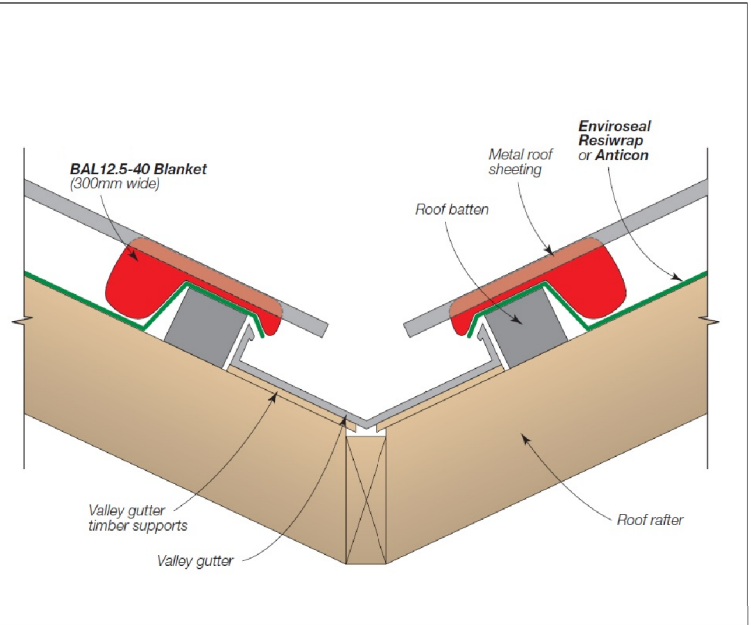


Figure 5.2.3. Barge Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- At barge install BAL12.5 – 40 Blanket and compress with roof sheeting.
- For further fixing details contact CSR technical support.

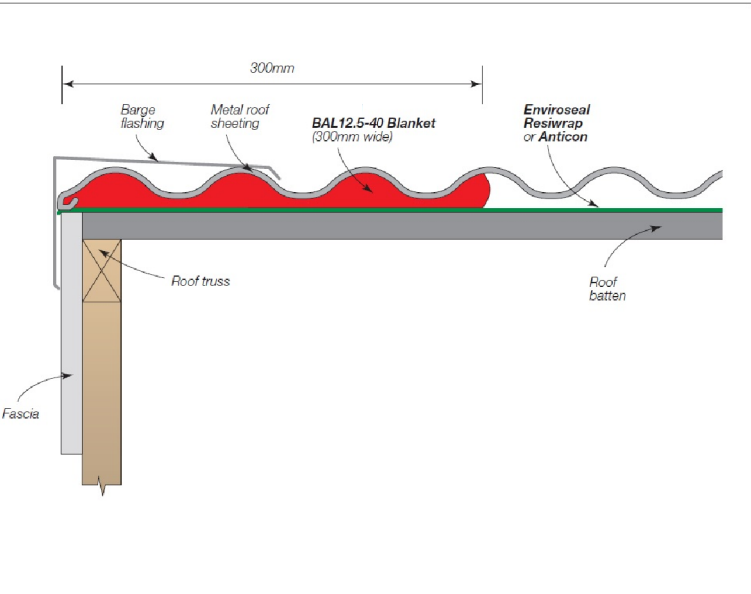
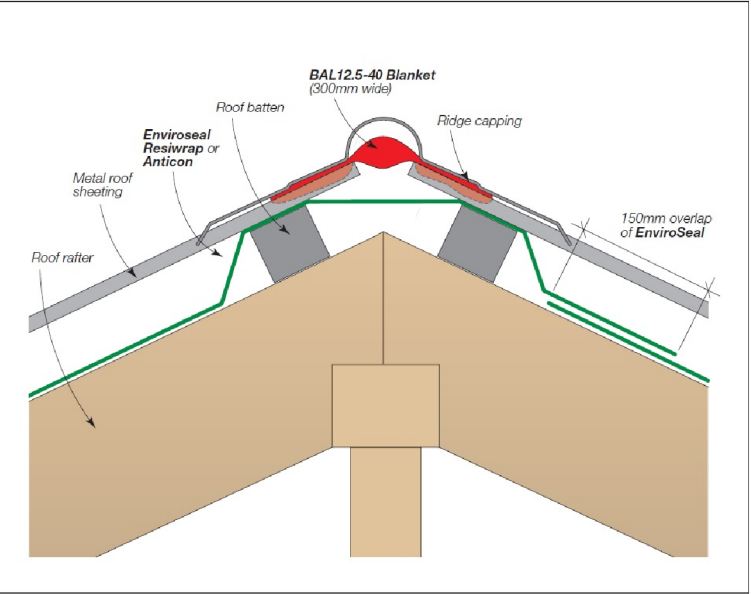


Figure 5.2.4. Hip/Ridge Detail – Steel Roof (BAL-12.5 – BAL-40)

- Install EnviroSeal Resiwrap to the entire roof area over the top of the battens.
- At the ridge/hip lay BAL12.5 – 40 Blanket over the gap between the roof sheets and compress with the ridge capping to the roof profile.
- For further fixing details contact CSR technical support.



Details for the purpose of bushfire proofing only. To be printed in colour.

Images sourced from Bradfords "Bushfire Roofing System", Published 04/11.

BAL-19 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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SUBJECT TO NCC 2022
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WATERPROOFING & PLUMBING
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