



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/062834

PROPOSAL: Dwelling

LOCATION: 20 Marsh Street, Opossum Bay

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 21/09/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 21/09/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 21/09/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Single Dwelling

Location:

20 Marsh St, Opossum Bay

Address

Suburb/Town Postcode

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site: Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 184232	FOLIO 5
EDITION 2	DATE OF ISSUE 10-Oct-2023

SEARCH DATE : 16-July-2026

SEARCH TIME : 01.40 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 5 on Sealed Plan [184232](#)Derivation : Part of 3900 Acres Gtd. to George Henry Blake
GellibrandPrior CT [165932/1](#)SCHEDULE 1[E195986](#) TRANSFER to DAAZ ENTERPRISES PTY LTD Registered
10-Oct-2023 at noonSCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP184232](#) EASEMENTS in Schedule of Easements[SP184232](#) FENCING PROVISION in Schedule of Easements[SP165932](#) FENCING PROVISION in Schedule of Easements

94450 BOUNDARY FENCES CONDITION in Transfer

[E331389](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
07-Mar-2023 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER PAUL GEAPPEN & JENNY-ANN GEAPPEN A J CARR DEVELOPMENT CORPORATION PTY LTD	PLAN OF SURVEY BY SURVEYOR CRAIG BRADLEY ROGERSON ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0418-120-796	REGISTERED NUMBER SP184232
FOLIO REFERENCE C.T.219376/6 & C.T.165932/1 & C.T.249718/1	CITY OF CLARENCE SCALE 1: 2000 LENGTHS IN METRES	APPROVED EFFECTIVE FROM <u>7 MAR 2023</u> <i>[Signature]</i> Recorder of Titles
GRANTEE PART OF 3900 ACRES GTD TO GEORGE HENRY BLAKE GELLIBRAND		

PRIORITY FINAL PLAN
INDEX PLAN
LOT 100 COMPILED FROM C.T.219376/6 & THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE
CROSS REFERENCED ON THIS PLAN

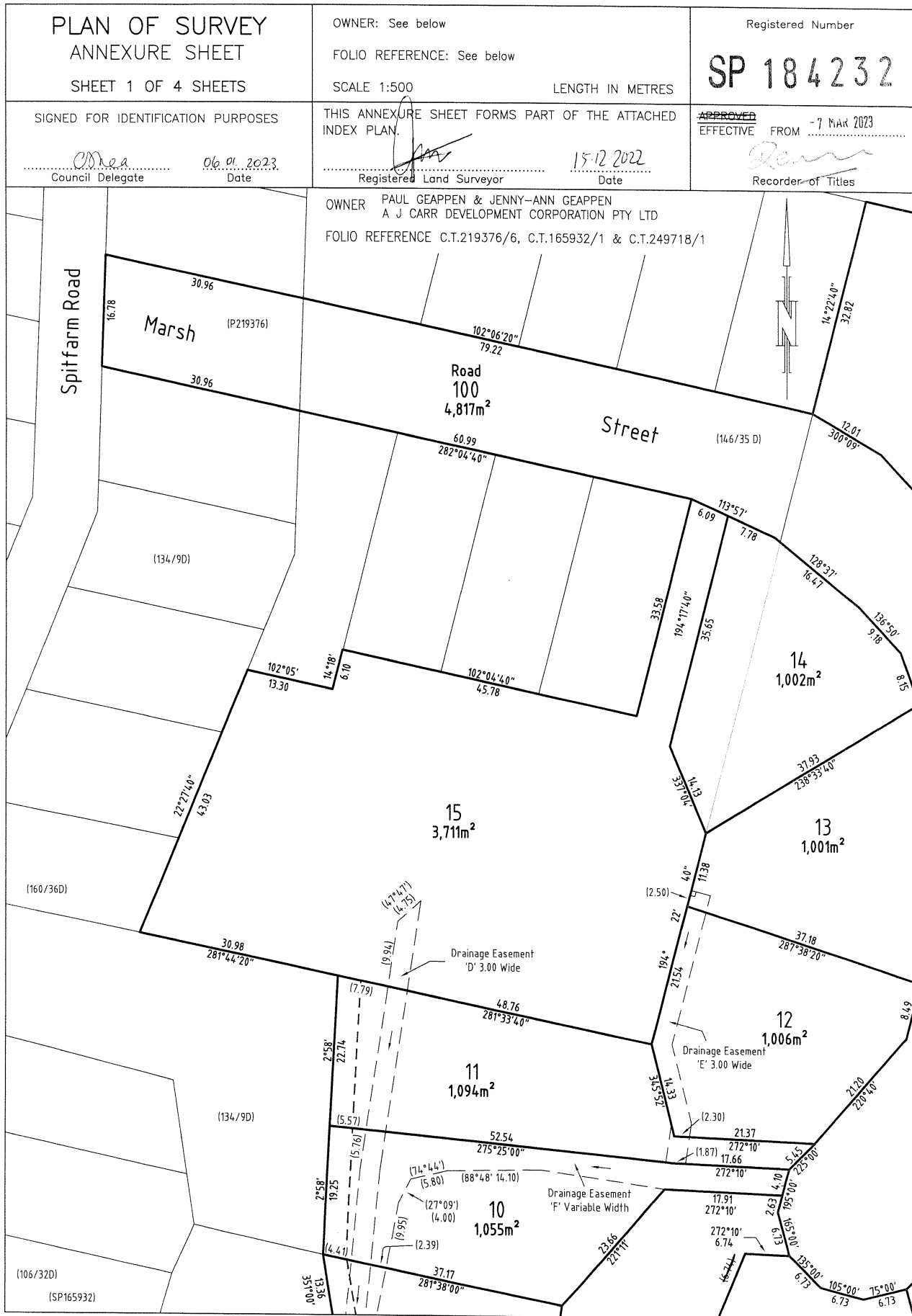
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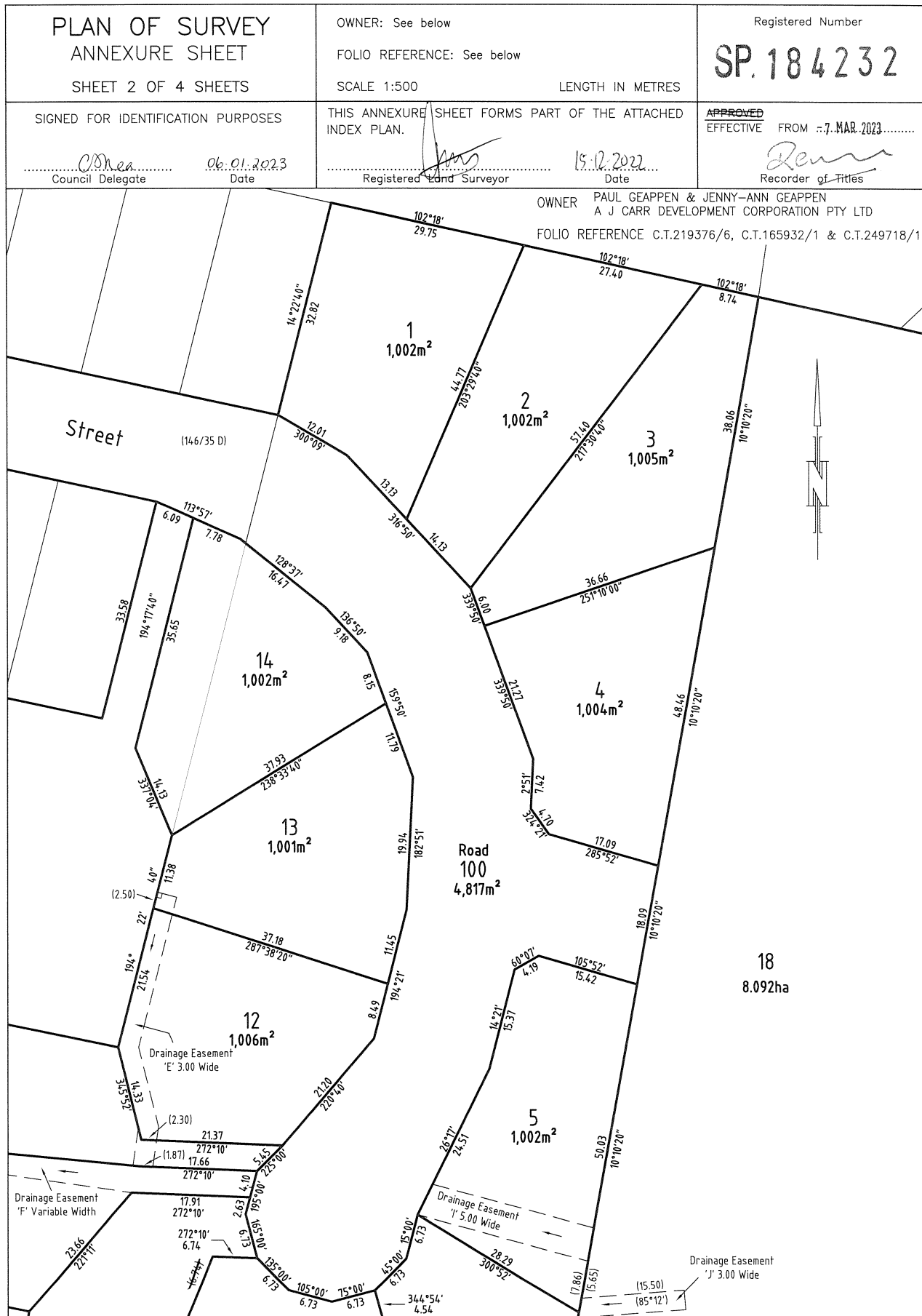
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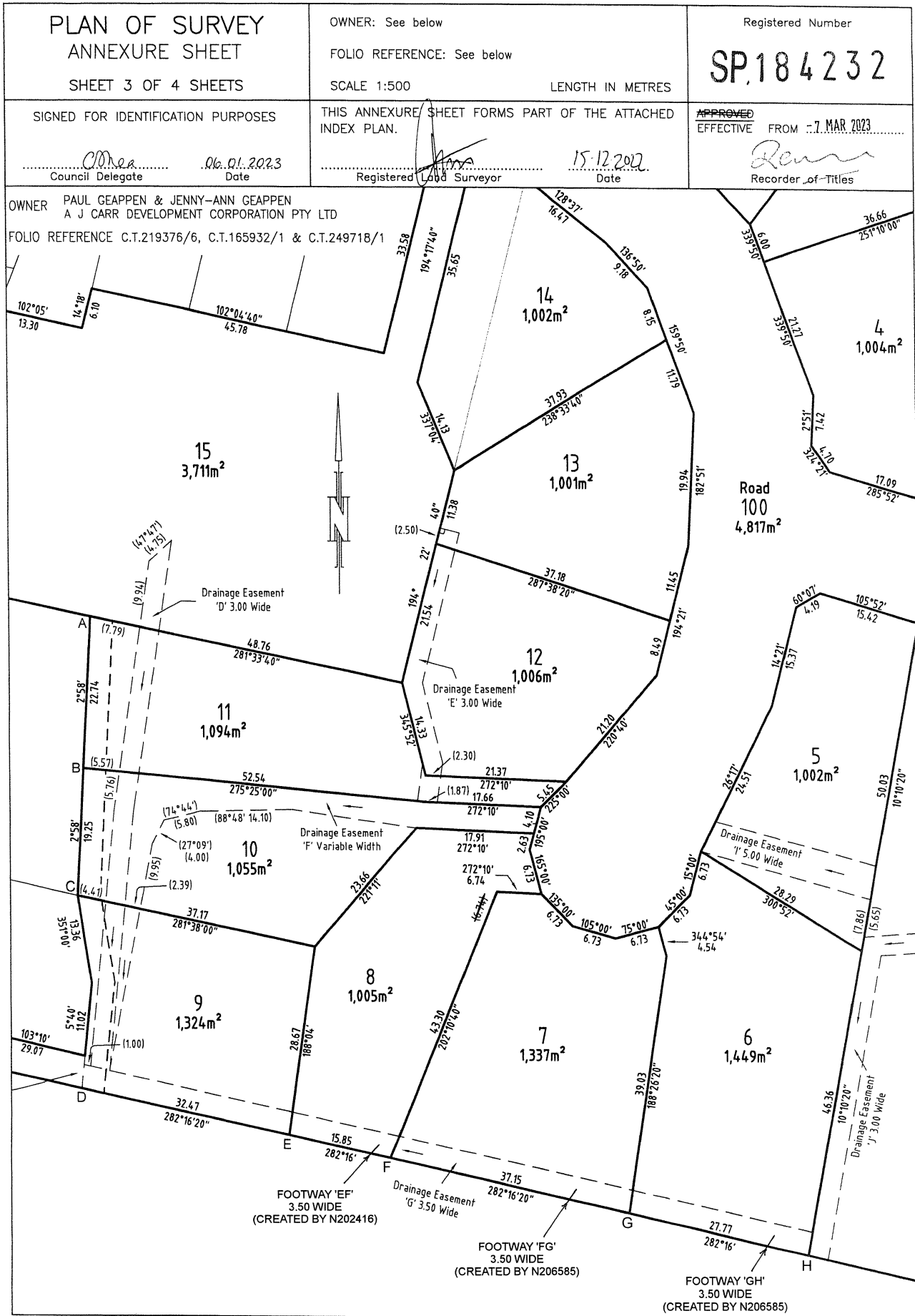
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Date

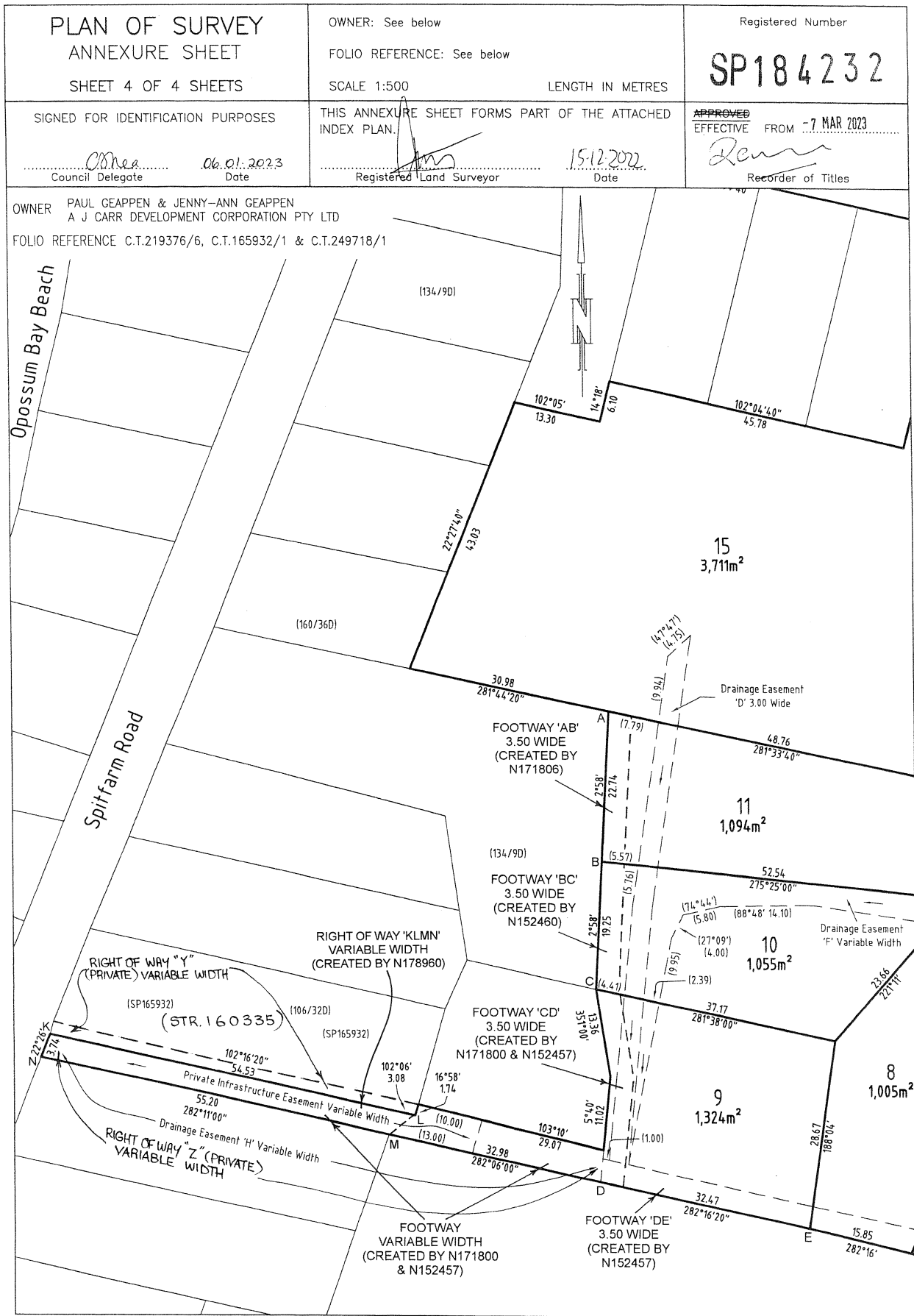
15-12-2022
Date

15-12-2022
Date









SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP. 184232

PAGE 1 OF 3 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS**Rights of Carriageway**

Lot 9 on the Plan is subject to a right of carriageway (appurtenant to lot 2 on SP165932 and lot 2 on Diagram 70958) over the land marked RIGHT OF WAY "Z" (PRIVATE) VARIABLE WIDTH passing through that lot on ~~Sealed Plan 165932~~ the Plan.

Lot 9 on the Plan is together with a right of carriageway over the land marked RIGHT OF WAY "Y" (PRIVATE) VARIABLE WIDTH on ~~Sealed Plan 165932~~ the Plan.

Drainage Easements

Lots 9, 10, 11 and 15 on the Plan are subject to a right of drainage in favour of Clarence City Council over the land marked DRAINAGE EASEMENT 'D' 3.00 WIDE shown on the Plan.

Lots 9 and 10 on the Plan are subject to a Drainage Easement (as defined herein) in favour of Clarence City Council over the land marked DRAINAGE EASEMENT 'F' VARIABLE WIDTH shown on the Plan.

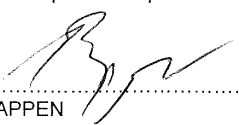
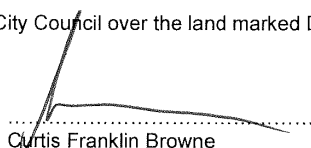
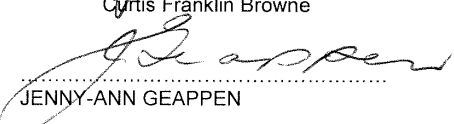
Lots 11, 12 and 13 on the Plan are subject to a right of drainage in favour of Clarence City Council over the land marked DRAINAGE EASEMENT 'E' 3.00 WIDE shown on the Plan.

Lots 6, 7, 8 and 9 on the Plan are subject to a right of drainage in favour of Clarence City Council over the land marked DRAINAGE EASEMENT 'G' 3.50 WIDE shown on the Plan.

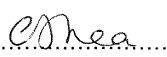
Lot 9 on the Plan is subject to a right of drainage in favour of Clarence City Council over the land marked DRAINAGE EASEMENT 'H' VARIABLE WIDTH shown on the Plan.

Lot 5 on the Plan is subject to a right of drainage in favour of Clarence City Council over the land marked DRAINAGE EASEMENT 'I' 5.00 WIDE shown on the Plan.

A J Carr Development Corporation Pty Ltd ACN 609 415 554


PAUL GEAPPEN
Curtis Franklin Browne
JENNY-ANN GEAPPEN

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: A J Carr Development Corporation Pty Ltd	PLAN SEALED BY: Clarence City Council
FOLIO REF: 219376/6, 165932/1 & 249718/1	DATE: <u>6th January 2023</u>
SOLICITOR & REFERENCE: Simmons Wolfhagen Curtis Browne - 210908	<u>2019/006007</u> REF NO.
	 Council Delegate Clare Shea

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP 18 4 2 3 2
SUBDIVIDER: A J Carr Development Corporation Pty Ltd FOLIO REFERENCE: 219376/6, 165932/1 & 249718/1	

Lot 18 on the Plan is subject to a right of drainage in favour of Clarence City Council over the land marked DRAINAGE EASEMENT 'J' 3.00 WIDE shown on the Plan.

Infrastructure Easement

Lot 9 on the Plan is subject to an Infrastructure Easement (as defined herein) appurtenant to the lands comprised in Folios of the Register Volume 70958 Folio 2 and Volume 160335 Folios 1 and 2 over the land marked PRIVATE INFRASTRUCTURE EASEMENT VARIABLE WIDTH shown on the Plan.

RESTRICTIVE COVENANT

The owner or owners of Lots 9 and 10 hereby covenant with the owner of each and every other Lot on the Plan and the Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof may be created in favour of each and every other Lot on the Plan and in gross in favour of the Clarence City Council to observe the following stipulation:

1. Not to make or permit or suffer the making of any alterations to the finished surface levels of the overland flowpath, swale drain or catch drain constructed within the area marked DRAINAGE EASEMENT 'F' VARIABLE WIDTH on the plan without the prior consent in writing of Clarence City Council.
2. Not to make or permit or suffer the placement of any fencing within the drainage easement area with the exception of open style fencing that does not obstruct surface flows to or within the area marked DRAINAGE EASEMENT 'F' VARIABLE WIDTH on the plan.
3. Not to make or permit or suffer the placement of any wall, structure, landscaping or vegetation, with the exception of grass or turf within the area marked DRAINAGE EASEMENT 'F' VARIABLE WIDTH on the plan.

FENCING PROVISION

In respect of the Lots on the Plan, the Vendors A J Carr Development Corporation Pty Ltd ACN 609 415 554, Paul Geappen and Jenny-Ann Geappen shall not be required to fence.

INTERPRETATION

"Drainage Easement" means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

"Infrastructure Easement" means the full right for the owner for the time being of the dominant tenement to install place lay use replace renew and maintain forever electricity wires, cables and other conducting media beneath the ground only, of such size and number as shall from time to time be required and the right for their surveyors and workmen from time to time and at all times hereafter to enter into and upon the said strip of land with such material, machinery and other things as it shall think fit to inspect the condition thereof and to repair, amend and cleanse provided that any damage occasioned thereby shall be made good.

A J Carr Development Corporation Pty Ltd ACN 609 415 554

Curtis Franklin Browne

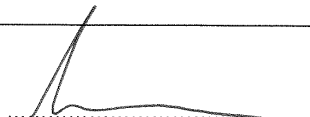
PAUL GEAPPEN

JENNY-ANN GEAPPEN

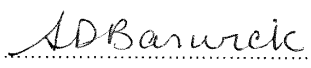
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP 184232
SUBDIVIDER: A J Carr Development Corporation Pty Ltd FOLIO REFERENCE: 219376/6, 165932/1 & 249718/1	

Signed by A J Carr Development Corporation Pty Ltd ACN 609 415 554)
 by its attorney **Curtis Franklin Browne** under Power of Attorney No. PA125549)
 who hereby certifies that he has received no notice of revocation of the Power)
 of Attorney)

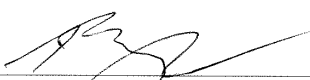


Curtis Franklin Browne

Witness Signature: 

 Witness Name: **Susan Donna Barwick**
 Legal Secretary
 Witness Address: **Simmons Wolfhagen**
 Level 4, 99 Bathurst Street
 Occupation: **Hobart TAS 7000**

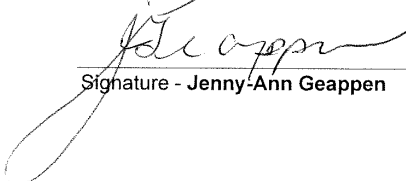
Signed by **PAUL GEAPPEN** and **JENNY-ANN GEAPPEN** and in the presence of:



 Signature - **Paul Geappen**



 Signature of witness



 Signature - **Jenny-Ann Geappen**

 Name & Occupation of witness

Address of witness **Gillian Mary Tolha**
Receptionist
Simmons Wolfhagen
Level 4, 99 Bathurst Street
Hobart TAS 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes or external/internal features



Location Plan/Satellite Imagery

20 Marsh Street, Opossum Bay Tas 7023

Owner(s)	DAAZ Enterprises Pty Ltd
Title Reference	184232/5
Land Size	1002 m²
Zoning	Low Density Residential
Building Classification	1a
Licensed Designer	Jason Nickerson CC6073Y
Climate Zone	7
Wind Speed	TBA
Soil Classification	TBA
Corrosion Environment	High
Bushfire Attack Level(BAL)	TBA
Alpine Area	N/A
Project Number	TBA
Other Hazards	Bushfire-prone areas

e.g. High Wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors

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Building Size	Area (m²)
Proposed Dwelling	240.95
	240.95 m²

Change List					
ID	Change	Description	Date	Designer	Checked

Page No.	Sheet Name	Status Code	Change
A001	Site Plan	DA - 01	
A002	Floor Plan	DA - 01	
A003	Elevations	DA - 01	
A004	Roof Plan	DA - 01	
A005	Electrical Plan	DA - 01	
A006	Window Schedule	DA - 01	

Legend

Stormwater connection

Surface Water Drainage
Finished ground levels shall be graded to direct surface water away from the building in accordance with NCC 2022 Volume Two Part 3.3.3 and AS 2870. Surface water shall not pond against the building or be permitted to enter the building under any circumstances.

Surface water drainage shall comply with the following:

(a) Slab-on-ground construction

Provide a minimum fall of 25 mm over the first 1.0 m adjacent to pervious surfaces.
Provide a minimum fall of 50 mm over the first 1.0 m adjacent to impermeable surfaces, including paving, concrete and accessible paths of travel.
Finished slab levels shall be not less than:
100 mm above finished ground level in low rainfall intensity areas or sandy, well-drained areas;
50 mm above adjoining impermeable surfaces graded away from the building; or
150 mm above finished ground level in all other cases.

(b) Suspended floor construction

Grade the ground beneath suspended floors to prevent ponding beneath the building and direct surface water away from the building.

Where required, accessible paths of travel shall comply with the NCC Livable Housing Provisions while maintaining positive drainage away from the building.

The Builder shall ensure all finished surface levels, paving, landscaping and drainage works maintain positive falls away from the building and comply with the approved architectural, civil and engineering documentation.

Subsoil Drainage

Subsoil drainage shall comply with NCC 2022 Volume Two Part 3.3.4, AS 2870 and AS/NZS 3500.3.

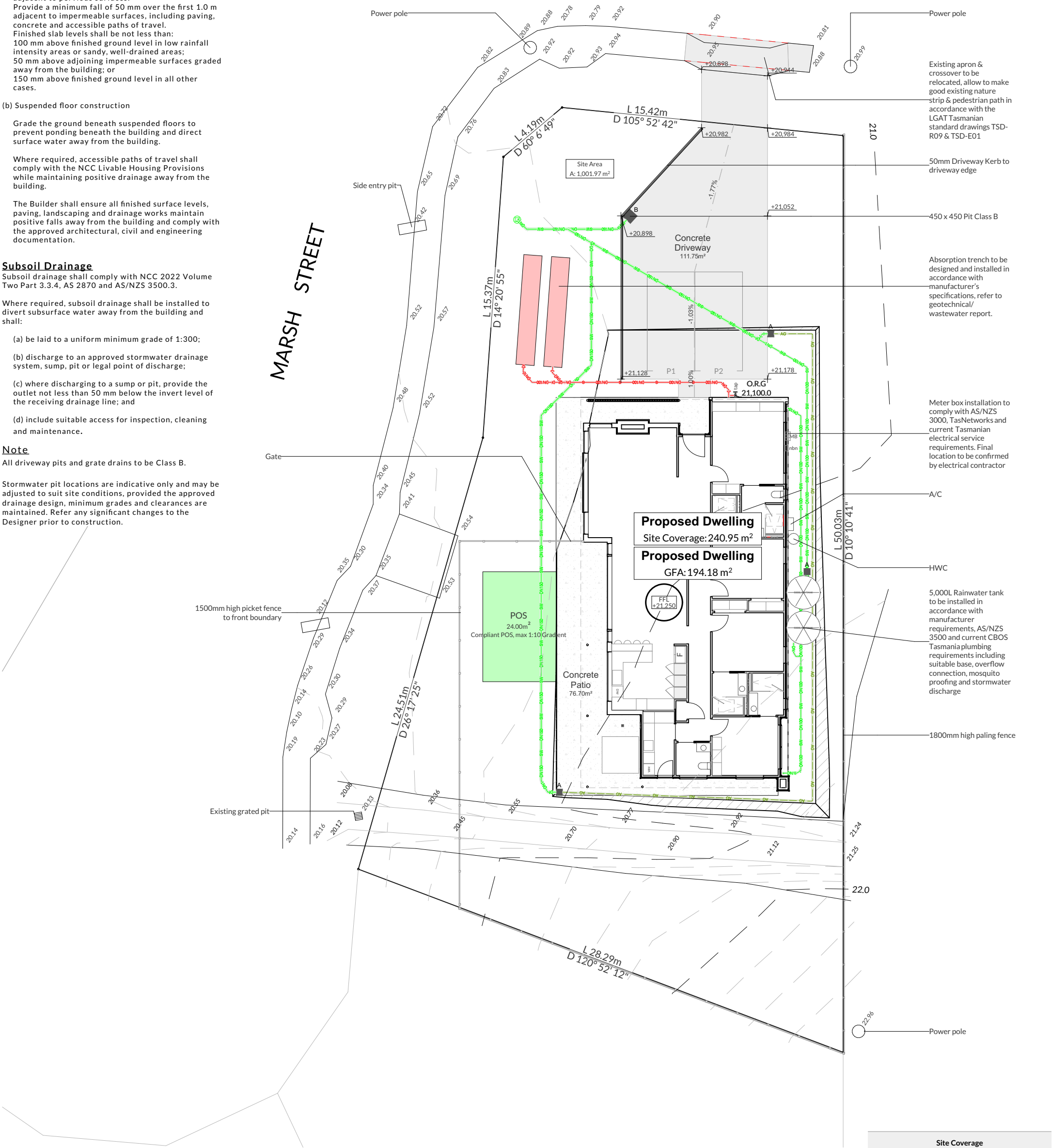
Where required, subsoil drainage shall be installed to divert subsurface water away from the building and shall:

- (a) be laid to a uniform minimum grade of 1:300;
- (b) discharge to an approved stormwater drainage system, sump, pit or legal point of discharge;
- (c) where discharging to a sump or pit, provide the outlet not less than 50 mm below the invert level of the receiving drainage line; and
- (d) include suitable access for inspection, cleaning and maintenance.

Note

All driveway pits and grate drains to be Class B.

Stormwater pit locations are indicative only and may be adjusted to suit site conditions, provided the approved drainage design, minimum grades and clearances are maintained. Refer any significant changes to the Designer prior to construction.



Site Coverage	
Site Area	1,001.97
Proposed Dwelling	240.95

PINNACLE
DRAFTING & DESIGN

Project
20 Marsh Street, Opossum Bay Tas
7023
Drawing
Site Plan

Scale
1:200 @ A3
Date
14.07.2026

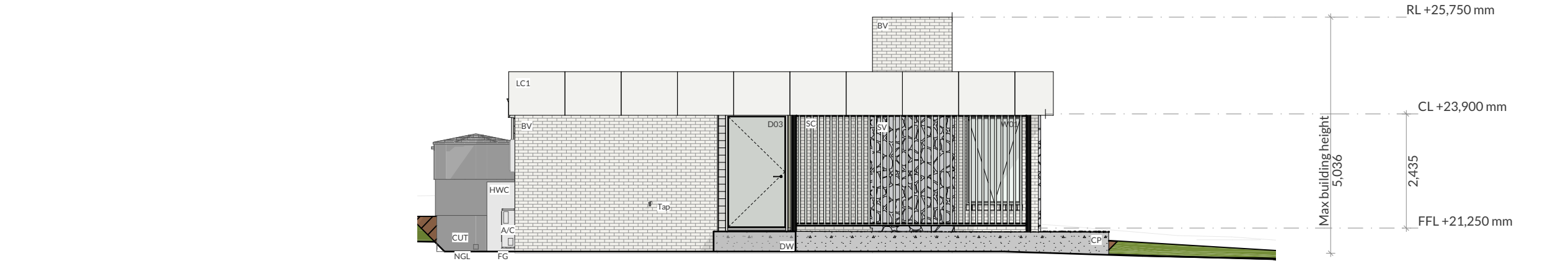
Refer to consultant documentation when directed
Structural Engineer TBA
Civil Engineer N/A
Building Surveyor LTBS

Drawing No.
A001
Development
Application

Issue	Change	Date	Designer
Refer to Cover Page for further details on changes			

Print Date: 16/07/2026 10:16 AM

Document Set ID: 6092820
Version: 2, Version Date: 03/09/2026



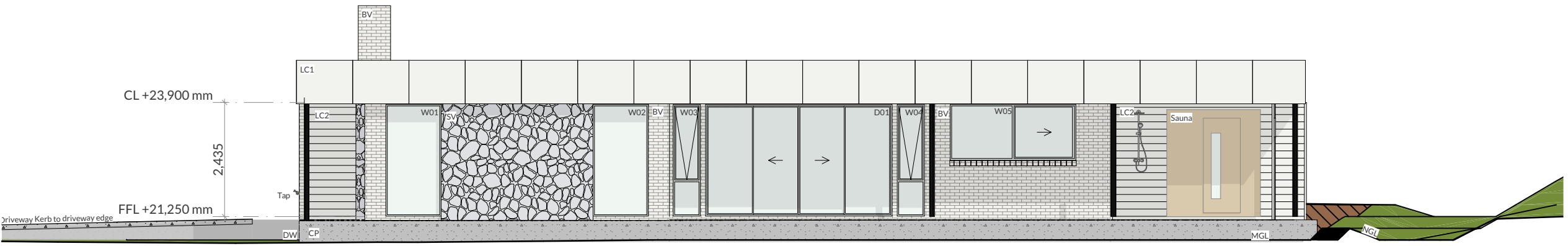
E-01 North Elevation
1:100



E-02 East Elevation
1:100



E-03 South Elevation
1:100



E-04 West Elevation
1:100

Elevation Notes	
A/C	Air-conditioning condensate discharge to be connected to stormwater system or approved disposal point in accordance with AS/NZS 3500.2 and manufacturer's requirements.
BV	Masonry veneer to be installed in compliance with NCC 2022 Part 5.2, AS4773.1, AS4773.2 & AS3700 - Vapour permeable building wrap to external walls
CO	Relocating apron & crossover
CP	Concrete Porch
CT	Batter to comply with NCC. 2022 VOL. II Part 3.2.1, AS2870 & 3798
DW	Driveway
FG	Fall ground away from building a minimum of 50mm over the first 1000mm in accordance with as2870, ncc 2022 part 3.3.3 & fig. 3.3.3a
HWC	Install hot water cylinder in accordance with manufacturer requirements and AS/NZS 3500
LC1	James Hardie 'Fine Texture' cement cladding installed over ventilated cavity with battens, sarking and flashings to manufacturer requirements and NCC.
LC2	James Hardie 'Linea' 180 cement cladding installed over ventilated cavity with battens, sarking and flashings to manufacturer requirements and NCC.
nbn	Provide NBN service installation in accordance with NBN Co guidelines, including conduit, connection point and mounting location requirements. PCD to be installed min 410mm and maximum 1500mm measured to underside of box from FGL.
RF	Trimdek sheet metal roofing installed at specified pitch over battens fixed to roof framing, including fixings, laps and flashings in accordance with AS 1562.1 and manufacturer's specifications. Refer structural documentation for framing. - Colorbond gutters and fascia
SC	90 x 45 Timber batten screen spaced at 135mm crs, paint white
SV	Selected stone veneer clad over brickwork

Colour	Material
	Stone - To be selected by client
	Paint - Dulux 'Lexicon Qtr' Low Sheen
	Brick - Island Block & Paving - Pearl Smooth
	Colorbond 'Dover White'

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

Ventilation of roof spaces NCC 2022 Part 10.8.3

- A roof must have a roof space that-
- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
 - (b) has a height of not less than 20 mm; and
 - (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

- To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-
- (a) comply with AS/NZS 2908.2 or ISO 8336; and
 - (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 × 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

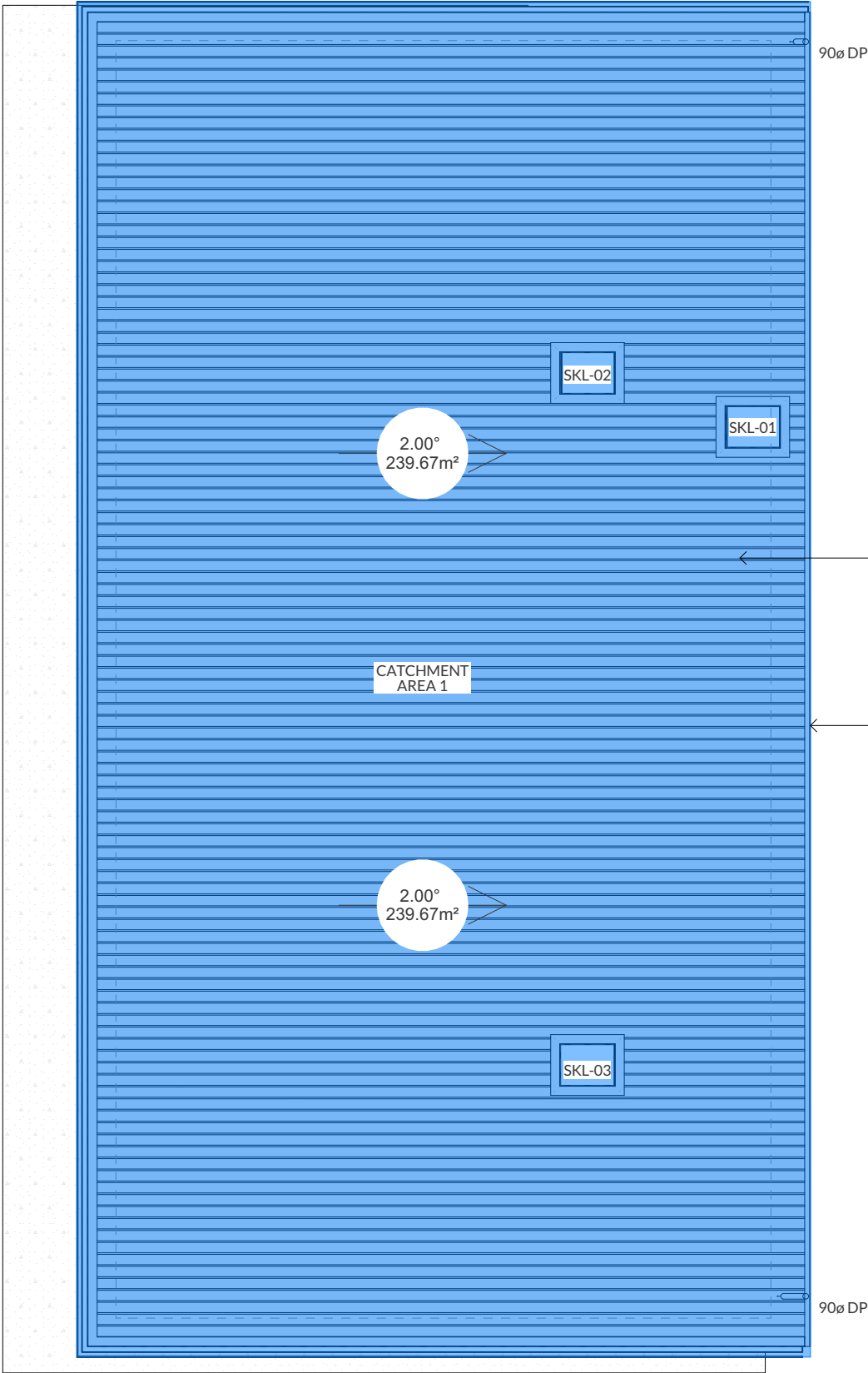
Refer to table 7.5.5 for trimmer and fastener spacings.

Parapet cappings

- Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:
- (a) Cappings must-
 - (i) be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and
 - (ii) extend not less than 50 mm down the sides of the parapet; and
 - (iii) be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
 - (iv) be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.
 - (b) The top of the capping must slope a minimum of 5 degrees.
 - (c) Joints in cappings must-
 - (i) overlap by not less than 50 mm in the direction of flow; and
 - (ii) be securely fastened at intervals of not more than 40 mm; and
 - (iii) have sealant installed between laps.
 - (d) Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.
 - (e) Lead cappings must not be used with prepainted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.
 - (f) Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-
 - (i) each adjoining sheet or roll being-
 - (A) overlapped not less than 150 mm; or
 - (B) taped together; and
 - sarking fixed to supporting members at not more than 300 mm centres.

Skylight Schedule			
ID	W x H Size (mm)	Manufacturer	Frame Colour
SKL-01	665x870	Velux - 2230 - FCM	Colorbond 'Monument'
SKL-02	665x870	Velux - 2230 - FCM	Colorbond 'Monument'
SKL-03	665x870	Velux - 2230 - FCM	Colorbond 'Monument'

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm2/m provided at each of two opposing ends
(1)Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2)For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.	



Trimdek sheet metal roofing installed at specified pitch over battens fixed to roof framing, including fixings, laps and flashings in accordance with AS 1562.1 and manufacturer's specifications. Refer structural documentation for framing. - Colorbond gutters and fascia

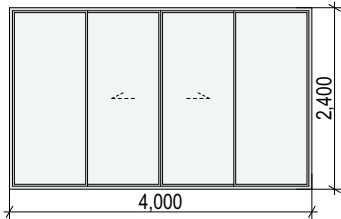
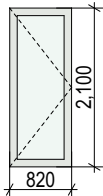
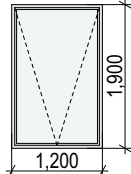
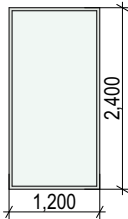
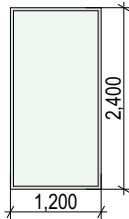
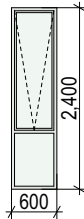
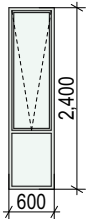
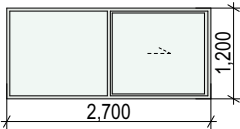
Provide 25mm continuous vent to eave and to parapet

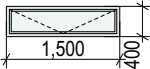
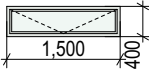
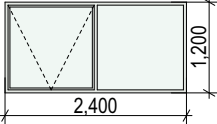
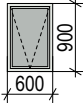
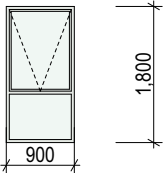
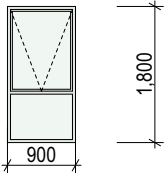
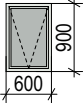
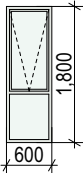
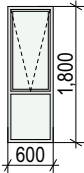
Typical Solar Absorbency Values (S.A.V) for Roof Surfaces:

Colour	S.A.V
Slate (Dark Grey)	0.9
Red, Green	0.75
Yellow, Buff	0.6
Zinc Aluminium	0.55
Galvanised Steel	0.55
Light Grey	0.45
Off White	0.35
Light Cream	0.30



Issue	Change	Date	Designer
Refer to Cover Page for further details on changes			

Window Schedule								
Elevation								
	D01	D02	W01	W01	W02	W03	W04	W05
	4,000×2,400	820×2,100	1,200×1,900	1,200×2,400	1,200×2,400	600×2,400	600×2,400	2,700×1,200
	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'
	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear
Notes								

Window Schedule									
Elevation									
	W06	W07	W08	W09	W10	W11	W12	W13	W14
	1,500×400	1,500×400	2,400×1,200	600×900	900×1,800	900×1,800	600×900	600×1,800	600×1,800
	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'	Colorbond 'Dover White'
	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Obscure	Glass - Clear	Glass - Clear	Glass - Obscure	Glass - Clear	Glass - Clear
Notes									

Glazing
All glazing must comply with Section 8 of NCC Vol II 2022.

Windows must be installed in accordance with the following:

- (a)Structural building loads must not be transferred to the window assembly.
- (b)A minimum 10 mm gap must be provided between the top of the window assembly and any loadbearing framing or masonry wall element.
- (c)The requirements of (b) may be increased where necessary to allow for frame settlement over wide openings.
- (d)Packing, if provided between each window assembly and the frame, must be-
 - (i)located along each side and bottom; and
 - (ii)fixed to ensure the sides and bottom of the window assembly remain straight; and
 - (iii)clear of any flashing material.

If a door, side panel or panel is capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible with an opaque band not less than 20 mm in height located so that-

- (a)the upper edge is not less than 700 mm above the floor; and
- (b)the lower edge is not more than 1.2 m above the floor.

Refer to Part 8.4.7 for exemptions.