



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/063182

PROPOSAL: Additions & Alterations (Multiple Dwelling)

LOCATION: 2/7 Cyrus Court, Rose Bay

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 30/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 30/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Deck addition

Location:

Address..... 2/7 Cyrus Court

Suburb/Town Rose Bay

Postcode 7015

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees
be in the name of
(if different from
applicant)

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

N/A

Current Use of Site:

Residential

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 57849	FOLIO 2
EDITION 5	DATE OF ISSUE 09-Nov-2020

SEARCH DATE : 30-July-2026

SEARCH TIME : 11.52 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 2 on Strata Plan [57849](#) (formerly being STR1519) and a general unit entitlement operating for all purposes of the Strata Scheme being a 50 undivided 1/100 interest

Derived from Strata Plan [57849](#)

Derivation : Part of 232 Acres Gtd. to A. Montagu.

Prior CT [4029/77](#)

SCHEDULE 1

[M849692](#) TRANSFER to JESSICA FRANCES FURLANI Registered
09-Nov-2020 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement
subject to any interest noted on common property
Folio of the Register volume [57849](#) folio 0

[A838593](#) FENCING PROVISION in Transfer

[E239887](#) MORTGAGE to MyState Bank Limited Registered
09-Nov-2020 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Conveyancing and Law of Property Act 1884

STRATUM PLAN

REGISTERED NUMBER

No. 1519

Sheet 1 of 3 Sheets

City or Town LINDISFARNE

57849

Locality LINDISFARNE

Reference to Title 3971 / 25

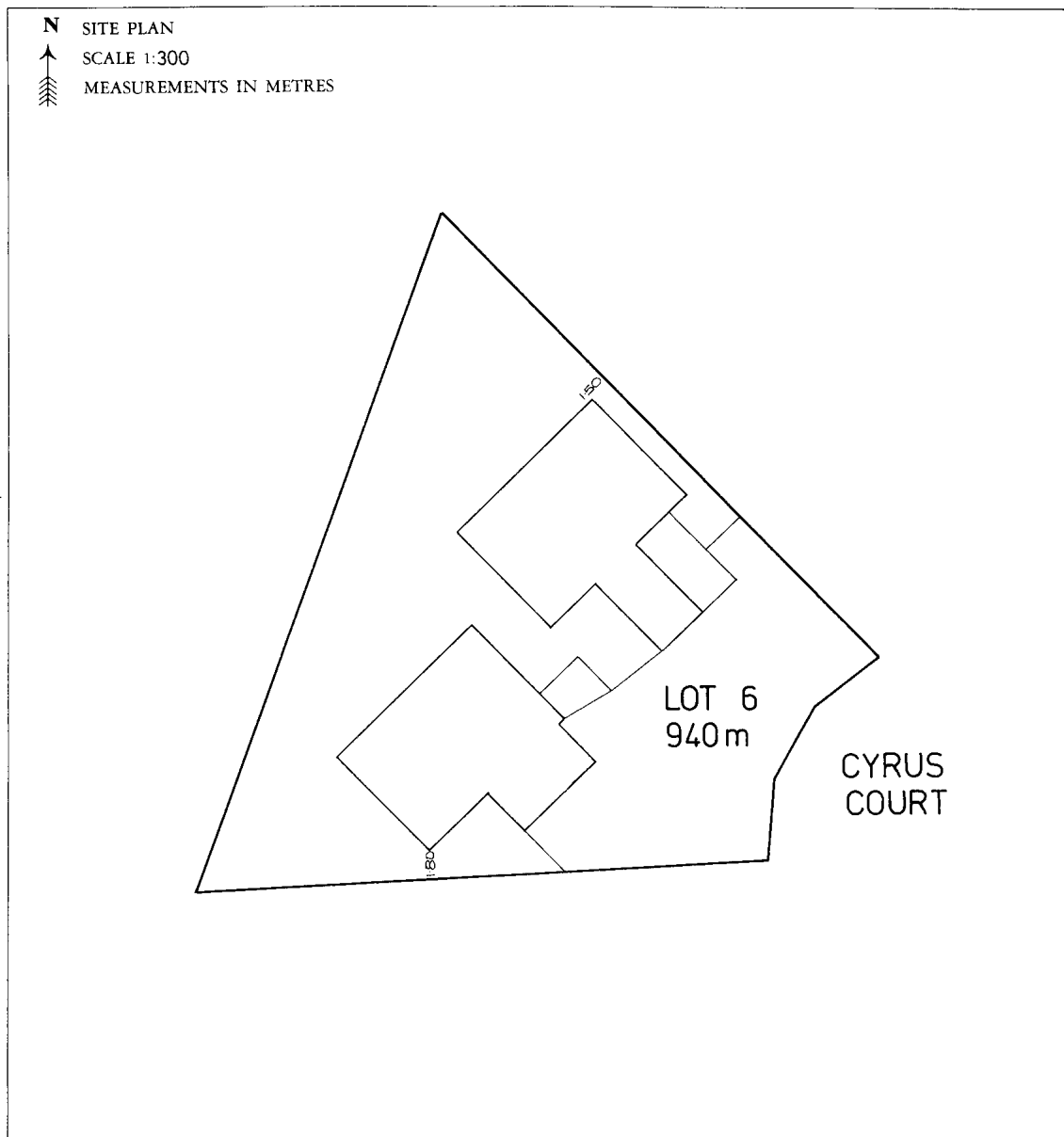
Site comprises the whole of Lot 6 on Plan No. SP 17808 in the

Lands Titles Office

The name of the building is 7 CYRUS COURT LINDISFARNE

N SITE PLAN
↑ SCALE 1:300
MEASUREMENTS IN METRES

External surface boundaries of the site and the location of the building in relation thereto to be delineated in this space



REGISTERED this 4th day of July 1983, No. 1519.

This plan is lodged for registration by J. W. Cables.

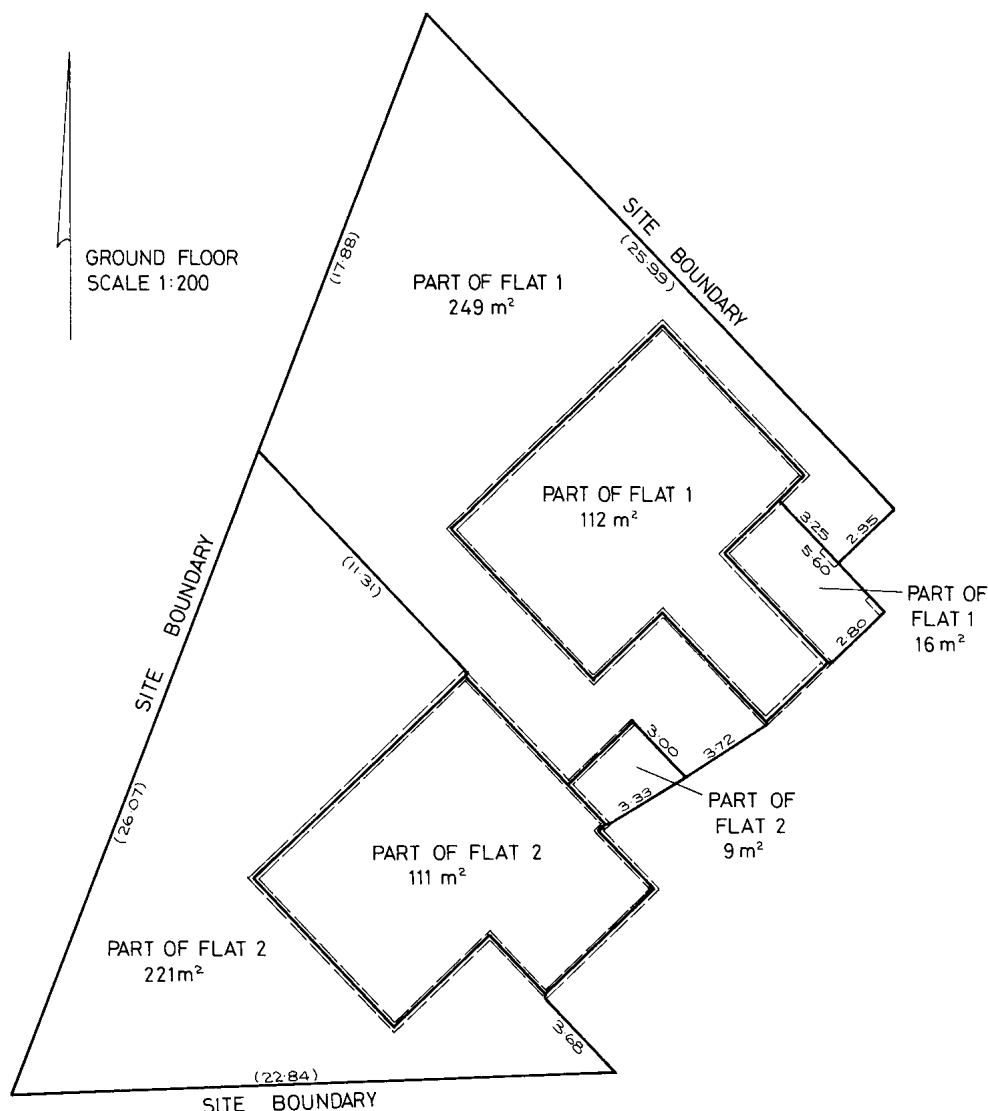
ACTING DEPUTY Recorder of Titles

OS:D 754

Sheet 2 of3.....Sheets


Town Clerk/Council Clerk

No.



- NOTE:
1. ALL HORIZONTAL BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES.
 2. ALL CONSTRUCTED BOUNDARIES ARE THE CENTRES OF WALLS, FLOORS AND CEILINGS UNLESS OTHERWISE STATED.
 3. WHERE WALLS EXIST, THEY ARE SHOWN BY BROKEN LINES.
 4. HORIZONTAL BOUNDARIES SHOWN BY MEASUREMENT ARE OPEN.
 5. DISTANCES SHOWN IN BRACKETS ARE FOR POSITIONING BOUNDARIES.
 6. THE VERTICAL BOUNDARIES OF THAT PART OF FLAT 1 SHOWN AS 16m² EXTEND FROM FLOOR LEVEL TO CEILING LEVEL OF THAT CONSTRUCTED PART OF THE FLAT.
 7. THE VERTICAL BOUNDARIES OF THAT PART OF FLAT 2 SHOWN AS 9m² EXTEND FROM GROUND LEVEL TO A HEIGHT OF 2.40 METRES, AND FORM PORTION OF THE SITE, AS DO THOSE PARTS OF FLATS 1 AND 2 SHOWN AS 249m² AND 221m² .

Sheet 3 of 3 Sheets

No.

~~Town Clerk/Council Clerk~~

The address for service of notices on the company is:—

7 CYRUS COURT
LINDISFARNE 7015

UNIT ENTITLEMENTS

[illegible]

SURVEYOR'S CERTIFICATE

I, CHRISTOPHER LEWIS ANDREWS
of ROSNY PARK
a surveyor registered under the *Land Surveyor's Act* 1909, hereby certify that the building erected on the site described and delineated on sheet 1 of this plan is within the external boundaries of the title stated on sheet 1.

Dated this FIFTH day of MAY 1983

.....
Registered Surveyor

COUNCIL CLERK'S CERTIFICATE

I certify that the subdivision shown in this plan
has been approved by the _____
MUNICIPALITY OF CLARENCE _____ *Council*

Dated this 10TH day of JUNE 19 63.

~~Town Clerk~~ Council Clerk

FOR OFFICE USE ONLY

SEARCH OF TORRENS TITLE

VOLUME 57849	FOLIO 0
EDITION 3	DATE OF ISSUE 28-Nov-2000

SEARCH DATE : 30-July-2026

SEARCH TIME : 11.52 am

DESCRIPTION OF LAND

City of CLARENCE

The Common Property for Strata Scheme [57849](#) (formerly being STR1519)

Derivation : Part of 232 Acres Gtd. to A. Montagu.

Prior CT [3971/25](#)SCHEDULE 1STRATA CORPORATION NO. [57849](#), 7 CYRUS COURT, LINDISFARNESCHEDULE 2Reservations and conditions in the Crown Grant if any
[A838593](#) FENCING PROVISION in TransferUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PROPOSED DECK

8342-03 = BOUNDARY SETBACKS

8342-04 = LAYOUT PLAN



Kings Outdoor Living

M: 1300 912 195
A: 39 Gordon Street, Sorell, Tasmania, Australia, 7172
W: <http://www.kingsoutdoorliving.com.au>
E: admin@kingsoutdoorliving.com.au

ABN: 83 145 735 333

Outdoor Shade Sails, Awnings, Umbrellas, Sun Rooms, Blinds, Screens, Glass Balustrades and Decks

PROJECT NAME PROPOSED DECK				
LOCATION 2-7 Cyrus Court, Rose Bay, TAS, 7015				
DRAWING TITLE INDEX				

Rev	Date	Drawn	Checked / Approved	Remarks

DRAWN BY	Joshua Wing
SCALE	AS NOTED
DRAWING STATUS	Planning Approval
DATE	3/09/2026
DRAWING NO.	KOL-J-8342-02

Document Set ID: 6035156

Version: 1, Version Date: 03/09/2026





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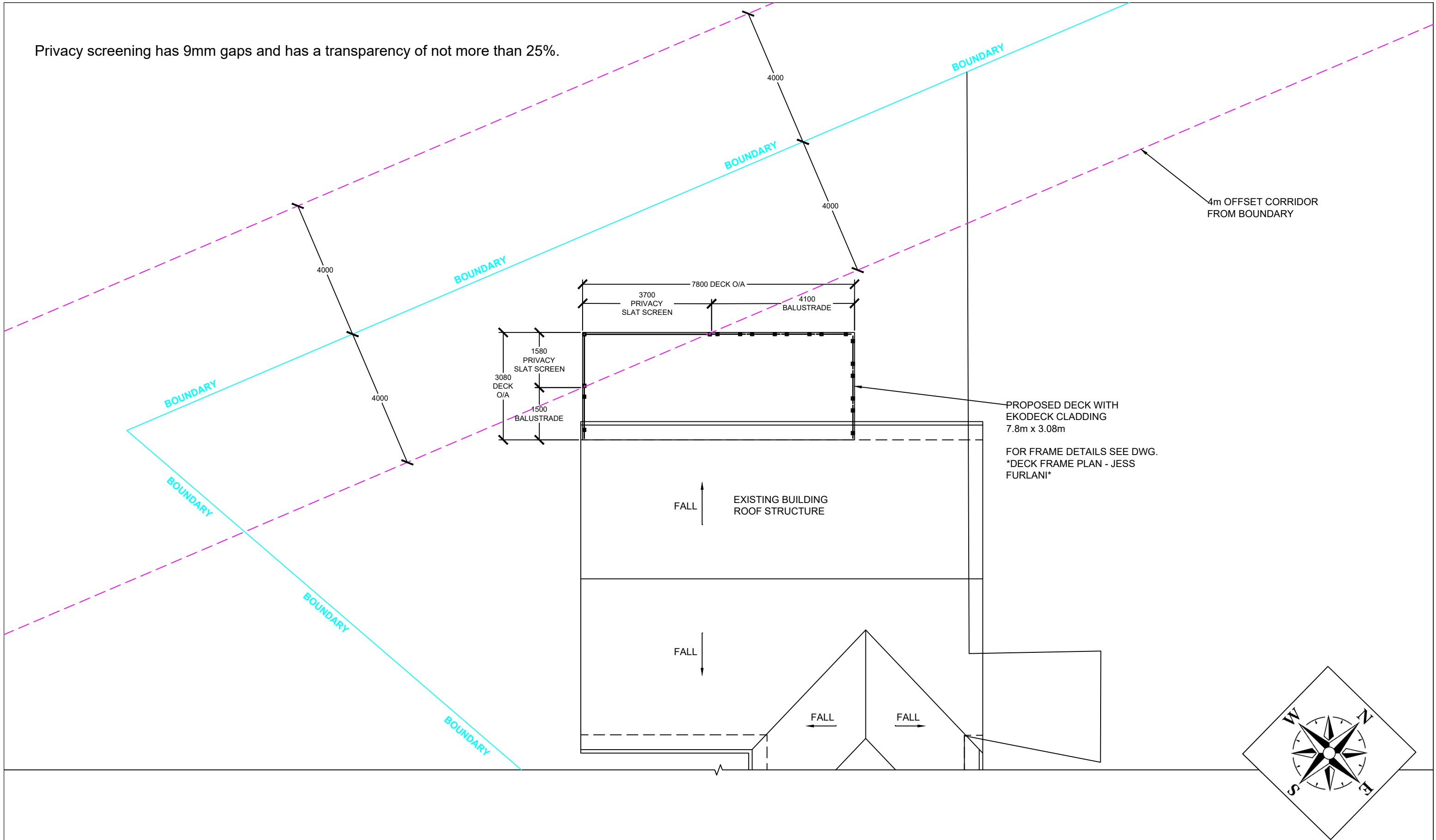
Outdoor Shade Sails, Awnings, Umbrellas, Sun Rooms, Blinds, Screens, Glass Balustrades and Decks

PROJECT NAME PROPOSED DECK
LOCATION 2-7 Cyrus Court, Rose Bay, TAS, 7015
DRAWING TITLE BOUNDARY SETBACKS

Rev	Date	Drawn	Checked / Approved	Remarks

DRAWN BY	Joshua Wing
SCALE	AS NOTED
DRAWING STATUS	Planning Approval
DATE	3/09/2026
DRAWING NO.	KOL-J-8342-03

Privacy screening has 9mm gaps and has a transparency of not more than 25%.





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Outdoor Shade Sails, Awnings, Umbrellas, Sun Rooms, Blinds, Screens, Glass Balustrades and Decks

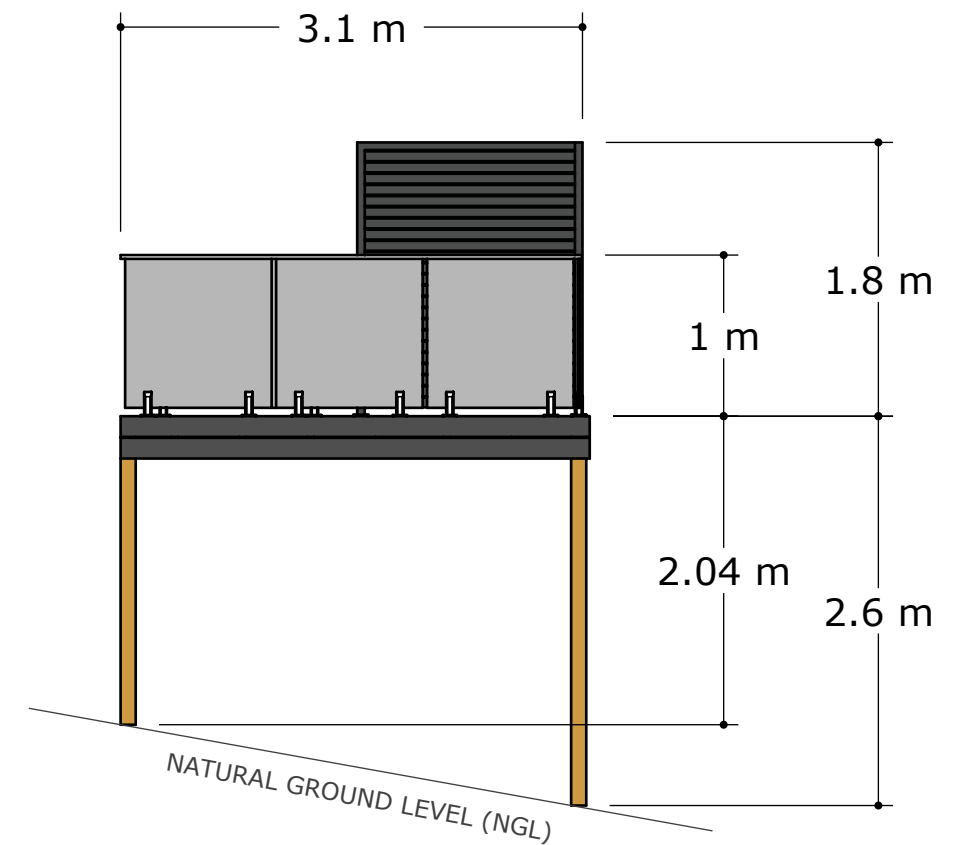
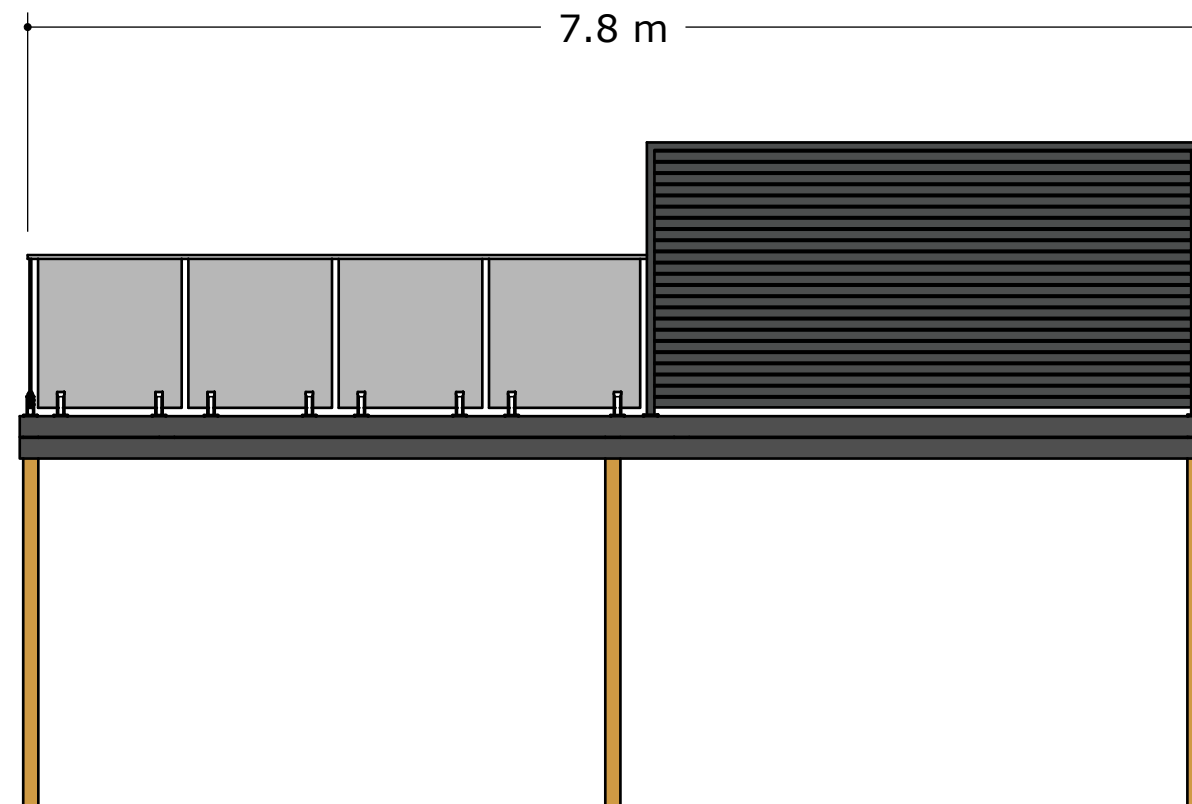
PROJECT NAME PROPOSED DECK
LOCATION 2-7 Cyrus Court, Rose Bay, TAS, 7015
DRAWING TITLE LAYOUT PLAN

Rev	Date	Drawn	Checked / Approved	Remarks

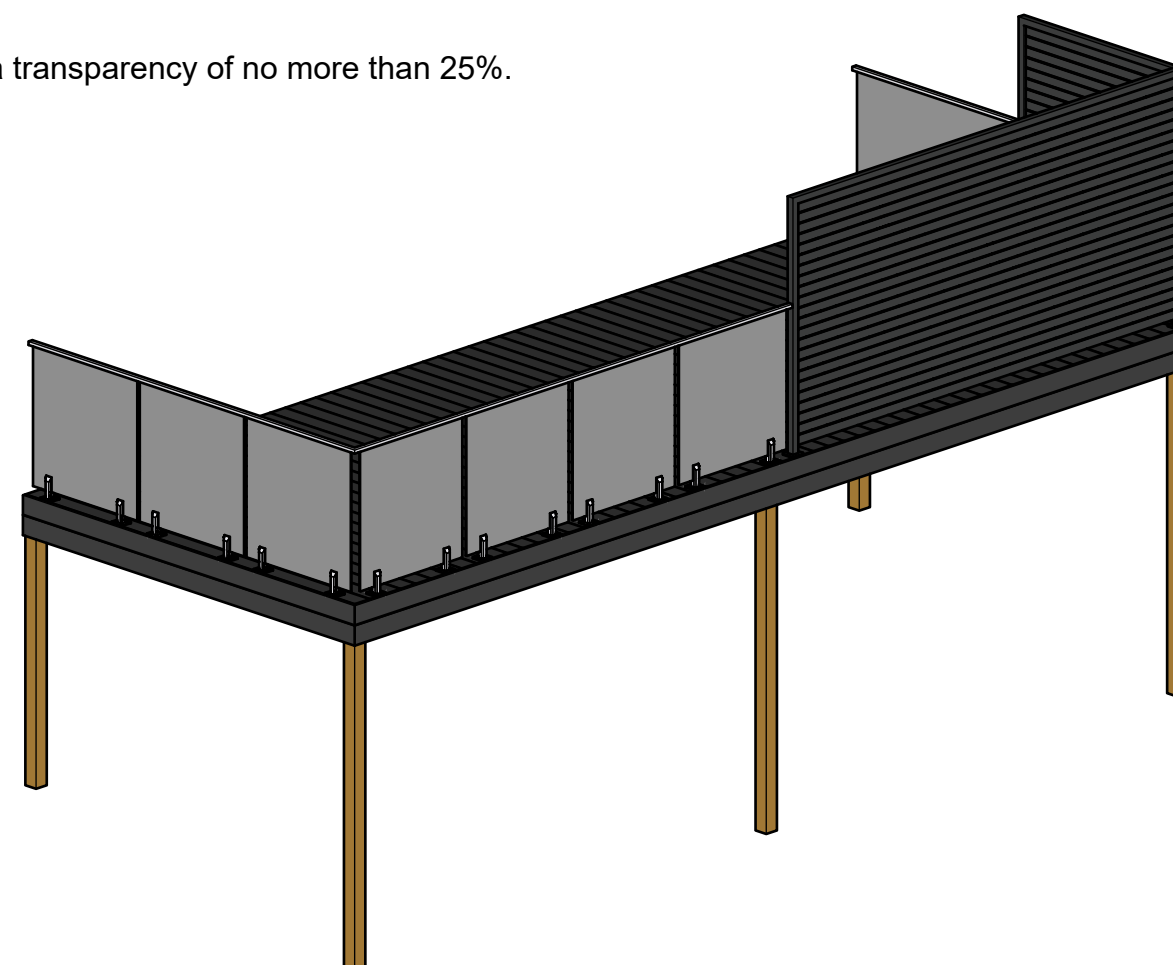
DRAWN BY	Joshua Wing
SCALE	1:100
DRAWING STATUS	Planning Approval
DATE	3/09/2026
DRAWING NO.	KOL-J-8342-04



Please note the colours, sizes, layouts and pictured products are for visual purposes only and are not for construction or to be treated as a plan of any sort. Colours, sizes, layouts and pictured products may change in the final product/installation process. Multiple products may be pictured but not all included in one quote so please refer to your individual quotes for all inclusions/exclusions.



Privacy screening has 9mm gaps and has a transparency of no more than 25%.



COLOUR(S)
 FRAME - TREATED PINE
 TRIM/GUTTER - GREYSTONE ECODECK/MONUMENT SLAT(S)
 POSTS - TREATED PINE
 ROOF -



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