



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2026/063340**

**PROPOSAL:** Additions & Alterations (Single Dwelling)

**LOCATION:** 11 Phoenix Street, Howrah

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 30/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 30/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Planning Application

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Use this form to obtain planning approval for the use and development of land, including change of use, subdividing land into smaller lots, lot consolidation, or signage.

Please refer to the Planning Application checklist on the following pages to determine what documentation must be submitted with your application.

Proposal: Proposed Alterations & Additions & Retrospective Decks

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Location: **11 Phoenix Street, Howrah**

**Personal Information Removed**



exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

# Residential

Does the proposal involve land administered or owned by the Crown or Council? Yes ☐ No ☒

### Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

### Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

## Personal Information Removed



## Planning Application checklist

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### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

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- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

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### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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- ☐ Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
    - Location and capacity of any existing services or easements on/to the site.
    - Existing pedestrian and vehicle access to the site.
    - Location of existing and proposed buildings on the site.
    - Location of existing adjoining properties, adjacent buildings and their uses.
    - Any natural hazards that may affect use or development on the site.
    - Proposed roads, driveways, car parking areas and footpaths within the site.
    - Any proposed open space, communal space, or facilities on the site.
- 



- Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
- ☐ Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
  - Private open space for each dwelling.
  - External storage spaces.
  - Car parking space location and layout.
  - Major elevations of every building to be erected.
  - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
  - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
  - Materials and colours to be used on rooves and external walls.
- ☐ Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
  - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
  - Plantings proposed for screening from adjacent sites or public places.
- ☐ Any additional reports, plans or other information required by the relevant zone or code.
- 

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



## SEARCH OF TORRENS TITLE

|                 |                               |
|-----------------|-------------------------------|
| VOLUME<br>60501 | FOLIO<br>139                  |
| EDITION<br>5    | DATE OF ISSUE<br>30-Sept-2019 |

SEARCH DATE : 26-June-2026

SEARCH TIME : 01.10 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 139 on Plan [60501](#) (formerly being P1465)

Derivation : Part of 192A-1R-0Ps. Gtd. to W.G.G. Sams.

Prior CT [2847/27](#)SCHEDULE 1

[C897081](#) TRANSFER to STEPHEN JOSEPH ASHTON and KELLY PATRIS  
ASHTON Registered 26-June-2009 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
BENEFITING EASEMENT: Right of Drainage over the drainage  
easement passing through Lot 140 on Plan No. [60501](#)  
BURDENING EASEMENT: Right of Drainage [appurtenant to Lots 137,  
138 and 159 on Plan No. [60501](#)) over the Drainage  
Easement passing through the said land within  
described  
[A151834](#) & [A174150](#) FENCING CONDITION in Transfer  
[A151834](#) BOUNDARY FENCES CONDITION in Transfer  
[E190965](#) MORTGAGE to ING Bank (Australia) Limited Registered  
30-Sept-2019 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**TOWN OF HOWRAH**

SCALE- 60 FEET TO AN INCH

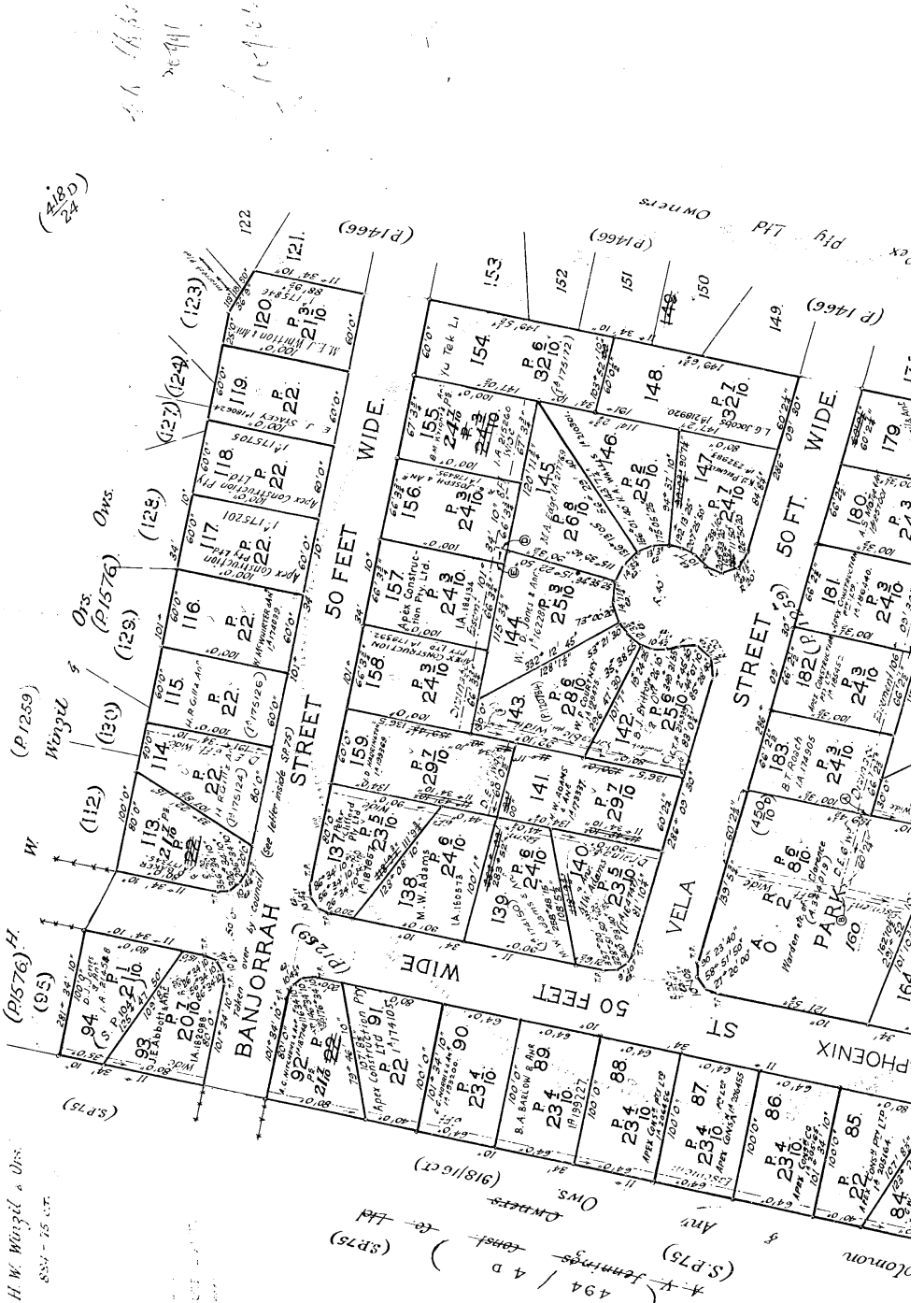
Part of 1224c.100 old to M. G. Sams

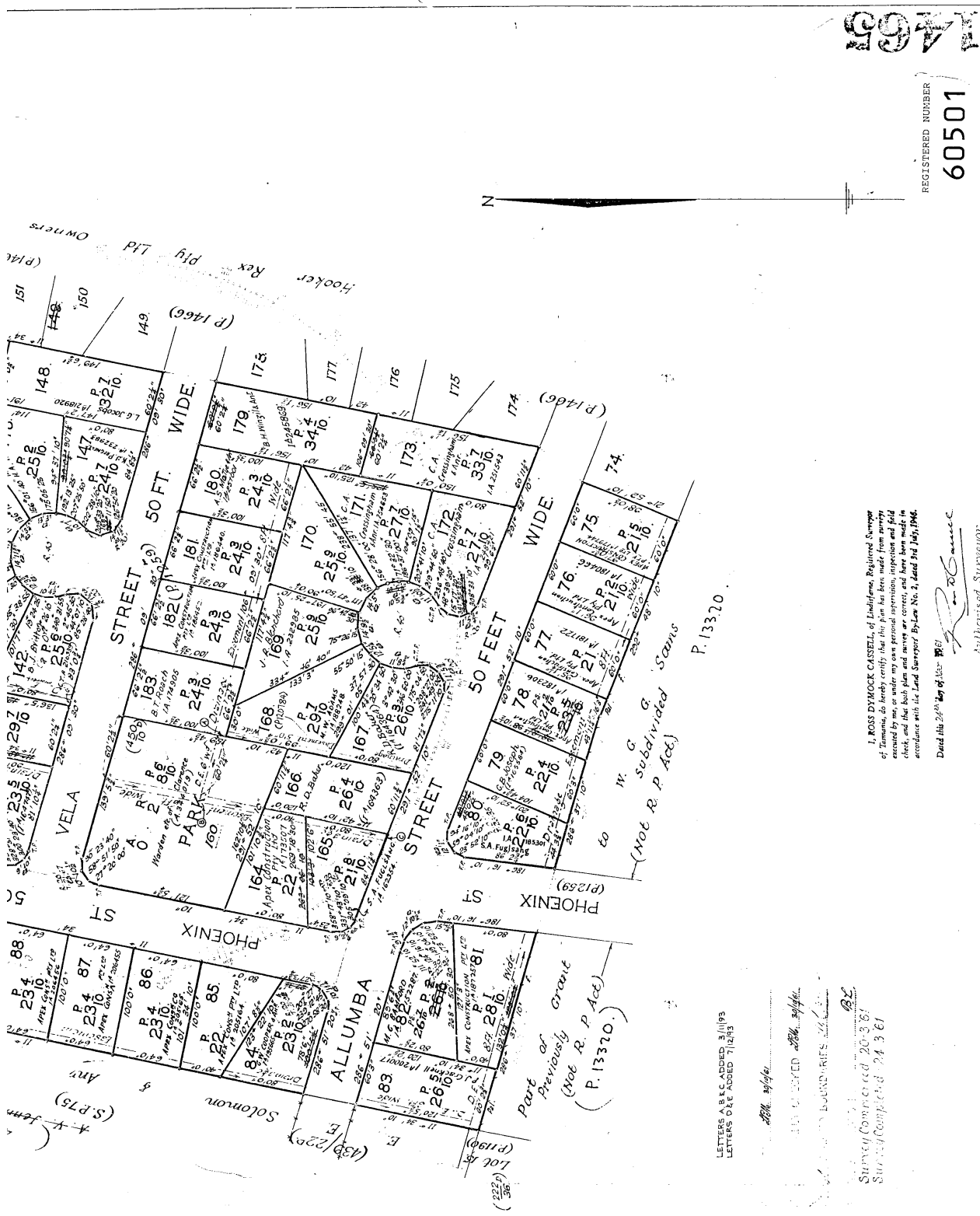
P 1465



**1465**

REGISTERED NUMBER  
**60501**





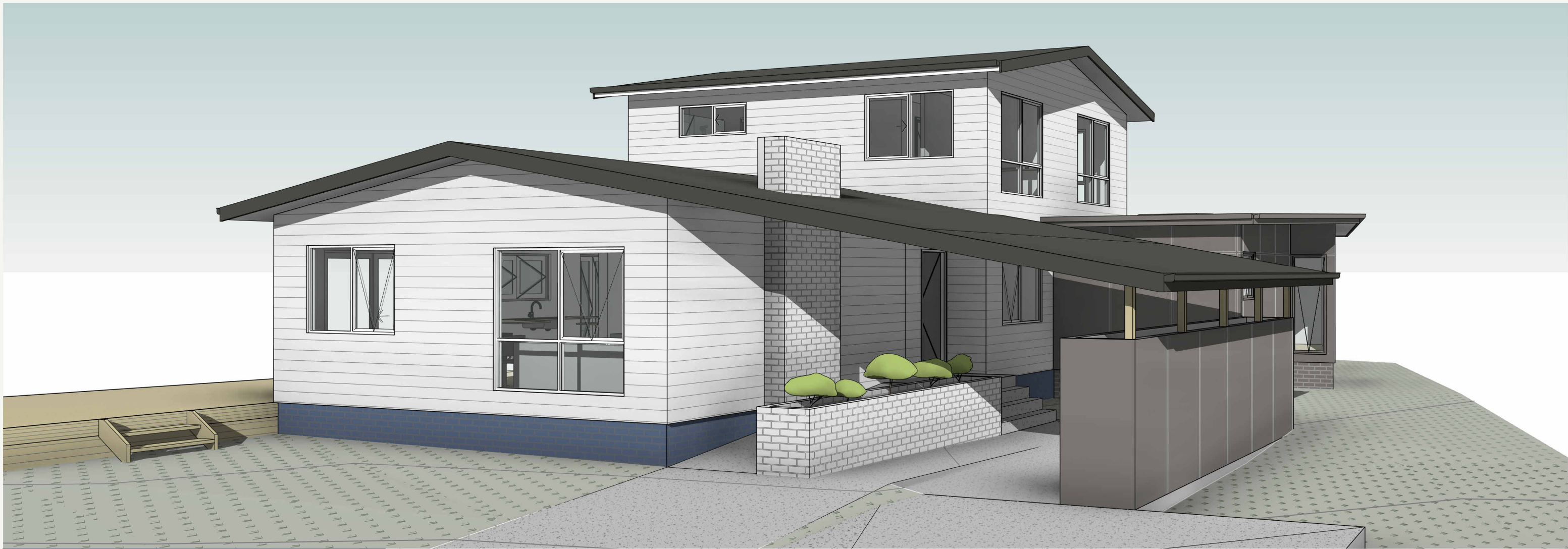
I, ROSS DYWOCK CASSELL, of Lindisfarne, Registered Surveyor of Tasmania, do hereby certify that this plan has been made from survey of land made by or under my own personal supervision, inspection and field check, and that the plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1946.

Dated this 24th day of May 1961  
 R. G. G. Cassels  
 Authorised Surveyor

LETTERS A B C ADDED 3/11/63  
 LETTERS D E F ADDED 7/12/63

Still 3/1/64  
 11/1/64

Survey Completed 20/3/61  
 Survey Completed 24/3/61



# OSSA

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K. & S. ASHTON  
P-26013 - PROPOSED ALTERATIONS & ADDITIONS  
11 PHOENIX STREET,  
HOWRAH, TAS 7018

COVER SHEET

09-09-2026 001 OF 016

5 09-09-2026 ISSUED TO ADDRESS PLANNING RFI  
4 04-08-2026 COLOURS AMENDED, ISSUED FOR CLIENT REVIEW  
3 03-08-2026 ISSUED FOR PLANNING APPLICATION SUBMISSION  
2 30-07-2026 ISSUED FOR CLIENT REVIEW  
1 02-07-2026 ISSUED FOR CLIENT REVIEW

STANDARD COMPLIANCE & GENERAL NOTES

EFFECTIVE JULY 2025

GENERAL COMPLIANCE

1. THIS DOCUMENT IS PREPARED SOLELY FOR THE CLIENT OF OSSA DESIGN TASMANIA FOR THE PURPOSE COMMUNICATED TO THE DESIGNER. USE BY OTHERS WITHOUT WRITTEN CONSENT IS AT THEIR OWN RISK. THE DESIGNER ACCEPTS NO LIABILITY FOR UNAUTHORISED USE. ALL DISCREPANCIES MUST BE REFERRED TO THE DESIGNER BEFORE PROCEEDING.
2. THIS DOCUMENT MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS, AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN.
3. THE BUILDER AND SUB-CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, LEVELS & SPECIFICATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. A COPY OF THE BUILDING & PLUMBING APPROVALS ARE TO BE KEPT ON THE PROJECT SITE AT ALL TIMES.
5. ALL DESIGN, DEMOLITION, CONSTRUCTION AND OCCUPANCY WORKS MUST COMPLY WITH THE BUILDING ACT 2016, BUILDING REGULATIONS 2016, WORKPLACE STANDARDS TASMANIA AND THE NATIONAL CONSTRUCTION CODE (NCC 2022) INCLUDING HOUSING PROVISIONS, VOLUMES 1, 2 & 3.
6. ALL MATERIALS, PRODUCTS AND WORKMANSHIP TO MEET THE RELEVANT AUSTRALIAN STANDARDS.

DRAWING CONVENTIONS

1. UNLESS NOTED OTHERWISE, ALL DIMENSIONS IN MILLIMETRES, LEVELS IN METRES.
2. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
3. THESE DRAWINGS MUST BE PRINTED IN COLOUR.

PLANNING APPROVAL & PLANNING SCHEME

1. WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE CONDITIONS OF THE PLANNING APPROVAL ISSUED UNDER LAND USE PLANNING & APPROVALS ACT 1993 AND RELEVANT PLANNING SCHEME.

ENERGY EFFICIENCY & SUSTAINABILITY

1. BUILDING FABRIC, SERVICES AND ON-SITE RENEWABLE ENERGY SYSTEMS TO MEET NCC 2022 SECTION J (VOL 1) / PART 12 (VOL2) DEEMED TO SATISFY PROVISIONS OR AN APPROVED PERFORMANCE SOLUTION.

STRUCTURAL DESIGN & CERTIFICATION

1. STRUCTURAL ELEMENTS TO BE DESIGNED AND CERTIFIED BY A TASMANIAN LICENSED ENGINEER TO AS/NZS 1170 LOADING CODES, AS 4100, AS 3600, AS 3700, AS 1720 AND / OR AS 1684 AS REQUIRED.
2. GEOTECHNICAL CONDITIONS TO BE CONFIRMED BY SITE INVESTIGATION AND FOOTING DESIGN UNDERTAKEN IN ACCORDANCE WITH AS 2870.

WORKPLACE HEALTH & SAFETY

1. PRINCIPAL CONTRACTOR TO PREPARE AND IMPLEMENT A CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN (CEMP) AND SITE-SPECIFIC WHS MANAGEMENT PLAN MEETING THE OBLIGATIONS OF THE WORK HEALTH AND SAFETY ACT 2012 AND REGULATIONS.
2. ALL PERSONNEL TO HOLD CURRENT WHITE CARDS. HIGH-RISK WORKS (E.G. EXCAVATION, CONFINED SPACES, WORKING AT HEIGHT) REQUIRE SAFE WORK METHOD STATEMENTS.

SITE WORKS, ENVIRONMENTAL & EROSION CONTROL

1. GRADING, DRAINAGE AND SEDIMENT CONTROL MEASURES TO COMPLY WITH COUNCIL STORMWATER MANAGEMENT CODE AND AS 3798 – GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS.
2. DUST, NOISE AND VIBRATION TO BE MANAGED IN ACCORDANCE WITH THE ENVIRONMENTAL MANAGEMENT AND POLLUTION CONTROL ACT 1994 AND COUNCIL ENVIRONMENTAL MANAGEMENT CONDITIONS.
3. EXISTING VEGETATION IDENTIFIED FOR RETENTION TO BE PROTECTED BY TREE PROTECTION ZONES PER AS 4970.

DEMOLITION & HAZARDOUS MATERIALS

1. DEMOLITION WORKS TO COMPLY WITH AS 2601; HAZARDOUS MATERIALS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH WORKSAFE TASMANIA CODES OF PRACTICE.
2. IF ASBESTOS-CONTAINING MATERIALS ARE PRESENT, PREPARE AN ASBESTOS REMOVAL CONTROL PLAN IN LINE WITH WORK HEALTH AND SAFETY REGULATIONS 2012.

PLUMBING & DRAINAGE

1. PLUMBING AND DRAINAGE DESIGN AND INSTALLATION SHALL COMPLY WITH NCC 2022 VOLUME 3 AND AS/NZS 3500 SERIES.

ELECTRICAL & COMMUNICATIONS

1. ELECTRICAL INSTALLATION TO COMPLY WITH AS/NZS 3000 AND TASNETWORKS SERVICE & INSTALLATION RULES.

SERVICE AUTHORITY & UTILITY COORDINATION

1. COORDINATE WITH TASWATER, TASNETWORKS, AURORA, NBNCO, TELSTRA AND LOCAL COUNCIL FOR ASSET LOCATIONS, CONNECTION APPROVALS, OUTAGES AND INSPECTIONS.
2. MAINTAIN MINIMUM CLEARANCES TO OVERHEAD AND UNDERGROUND SERVICES, MARK ALL EXISTING SERVICES ON DRAWINGS AND CONSULT WITH AUTHORITIES AS REQUIRED.

COMPLETION

1. ON COMPLETION, THE BUILDER MUST ENSURE SUBMISSION OF ALL REQUIRED COMPLIANCE DOCUMENTATION TO THE DESIGNER, BUILDING SURVEYOR AND COUNCIL AS REQUIRED, INCLUDING, BUT NOT LIMITED TO:
  - A. FINAL STAMPED DRAWINGS
  - B. OCCUPANCY PERMIT AND / OR CERTIFICATE OF FINAL INSPECTION.
  - C. CERTIFICATES FOR PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS, ENERGY EFFICIENCY, WATERPROOFING, GLAZING, AND ANY FIRE SAFETY SYSTEMS
  - D. COUNCIL INSPECTION RECORDS AND COMPLIANCE DOCUMENTS PER PERMIT CONDITIONS
  - E. AS-BUILT PLANS (WHERE APPLICABLE)
2. A COMPLETE HANDOVER PACKAGE MUST BE PROVIDED TO THE CLIENT, INCLUDING:
  - A. WARRANTIES, PRODUCT MANUALS, AND MAINTENANCE GUIDES
  - B. AS-BUILT PLANS (WHERE APPLICABLE)
3. ALL PARTIES MUST RETAIN DIGITAL RECORDS OF PLANS, PERMITS, AND CERTIFICATES FOR A MINIMUM OF 7 YEARS IN ACCORDANCE WITH THE BUILDING ACT 2016.

DRAWING LIST

|     |                                    |
|-----|------------------------------------|
| 001 | COVER SHEET                        |
| 002 | PROJECT INFORMATION                |
| 003 | EXISTING SITE PLAN                 |
| 004 | PROPOSED SITE PLAN                 |
| 005 | SOIL & WATER MANAGEMENT PLAN       |
| 006 | EXISTING LOWER FLOOR PLAN          |
| 007 | EXISTING UPPER FLOOR PLAN          |
| 008 | EXISTING ELEVATIONS SHEET 1 OF 2   |
| 009 | EXISTING ELEVATIONS SHEET 2 OF 2   |
| 010 | DEMOLITION LOWER FLOOR PLAN        |
| 011 | DEMOLITION ELEVATIONS              |
| 012 | PROPOSED LOWER FLOOR PLAN          |
| 013 | PROPOSED ELEVATIONS SHEET 1 OF 2   |
| 014 | PROPOSED ELEVATIONS SHEET 2 OF 2   |
| 015 | PROPOSED PERSPECTIVES SHEET 1 OF 2 |
| 016 | PROPOSED PERSPECTIVES SHEET 2 OF 2 |

SITE INFORMATION

|                                 |                                  |
|---------------------------------|----------------------------------|
| CERTIFICATE OF TITLE REFERENCE: | LOT 139 ON PLAN 60501            |
| PROPERTY IDENTIFICATION NUMBER: | 5090965                          |
| LOCAL GOVERNMENT AREA:          | CLARENCE CITY COUNCIL            |
| PLANNING SCHEME:                | TASMANIAN PLANNING SCHEME        |
| PLANNING ZONE:                  | GENERAL RESIDENTIAL              |
| PLANNING OVERLAY/S:             | AIRPORT OBSTACLE LIMITATION AREA |

PROJECT INFORMATION

|                              |                                                            |
|------------------------------|------------------------------------------------------------|
| NCC BUILDING CLASSIFICATION: | CLASS 1a                                                   |
| NCC CLIMATE ZONE:            | ZONE 7                                                     |
| WIND CLASSIFICATION:         | TBC                                                        |
| GEOTECHNICAL CLASSIFICATION: | TBC                                                        |
| BUSHFIRE ATTACK LEVEL:       | N / A                                                      |
| CORROSION ENVIRONMENT:       | MEDIUM                                                     |
|                              | REFER TO NCC HOUSING PROVISIONS STANDARD 2022 TABLE 6.3.9a |

PROJECT CONSULTANTS

|                           |       |
|---------------------------|-------|
| BUILDING SURVEYOR:        | TBC   |
| LAND SURVEYOR:            | N / A |
| ENGINEER:                 |       |
| STRUCTURAL:               | TBC   |
| CIVIL / HYDRAULIC:        | N / A |
| ENERGY ASSESSOR:          | TBC   |
| GEOTECHNICAL ASSESSOR:    | N / A |
| BUSHFIRE ASSESSOR:        | N / A |
| ENVIRONMENTAL CONSULTANT: | N / A |
| TOWN PLANNER:             | N / A |
| ASSET LOCATOR:            | N / A |

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CLIENT:

K. & S. ASHTON

PROJECT:

P-26013  
PROPOSED ALTERATIONS  
& ADDITIONS

11 PHOENIX STREET,  
HOWRAH, TAS 7018

SHEET:

PROJECT INFORMATION

09-09-2026

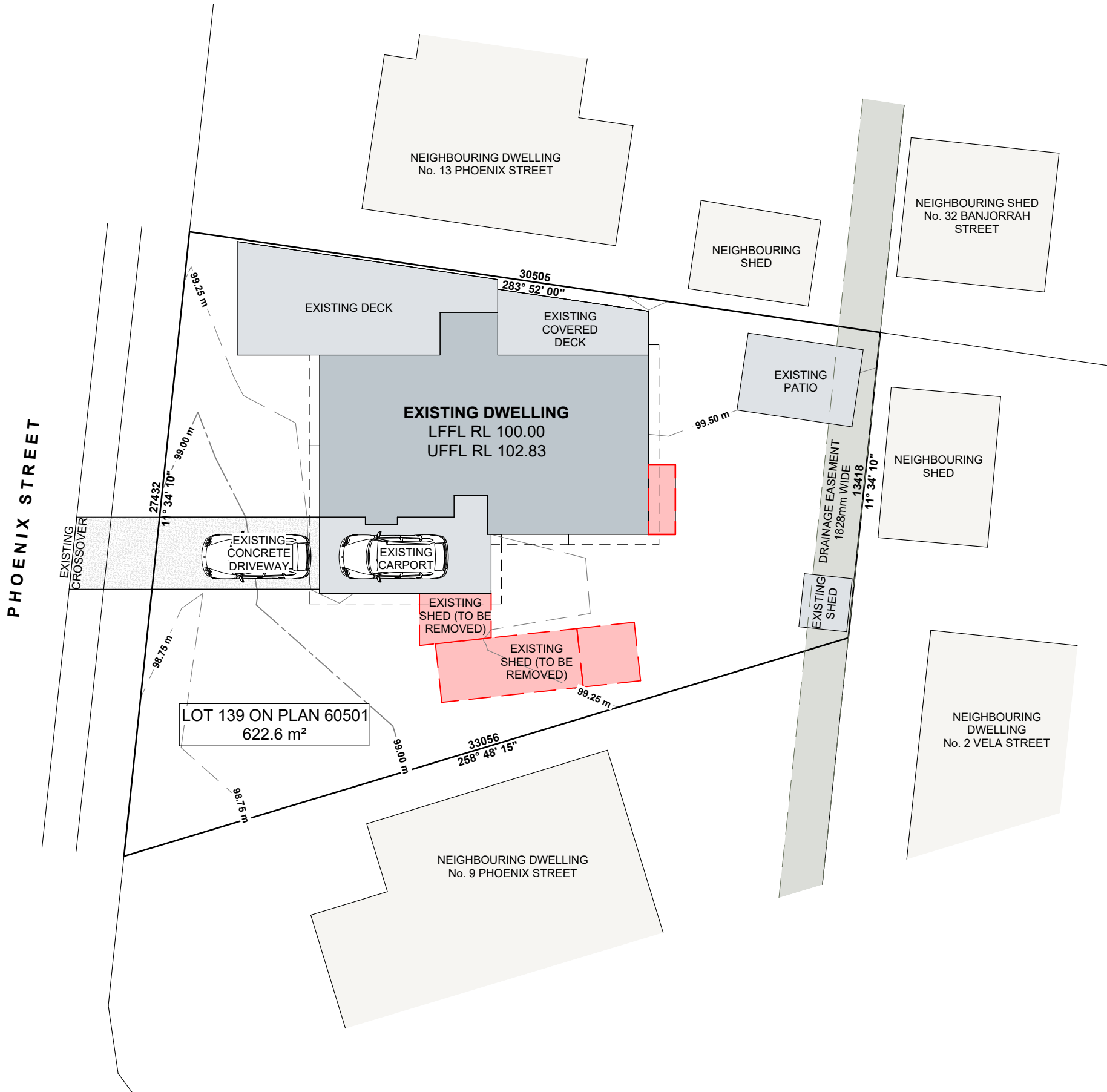
002

OF 016

Document Set ID: 6039840

Version: 1, Version Date: 09/09/2026

| SITE AREAS - EXISTING      |          |           |
|----------------------------|----------|-----------|
| AREA                       | m²       | % of SITE |
| EXISTING CARPORT           | 25.9 m²  | 4.2%      |
| EXISTING DECKS             | 61.7 m²  | 9.9%      |
| EXISTING DWELLING          | 110.9 m² | 17.8%     |
| EXISTING OUTBUILDINGS      | 51.2 m²  | 8.2%      |
| EXISTING BUILDINGS         | 249.6 m² | 40.1%     |
| EXISTING CONCRETE DRIVEWAY | 22.5 m²  | 3.6%      |
| REMAINING SITE AREA        | 350.5 m² | 56.3%     |
| SITE AREAS                 | 373.0 m² | 59.9%     |
| TOTAL                      | 622.6 m² | 100.0%    |



**EXISTING SITE PLAN**  
1 : 200

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SHEET:

EXISTING SITE PLAN

1 : 200

09-09-2026 003

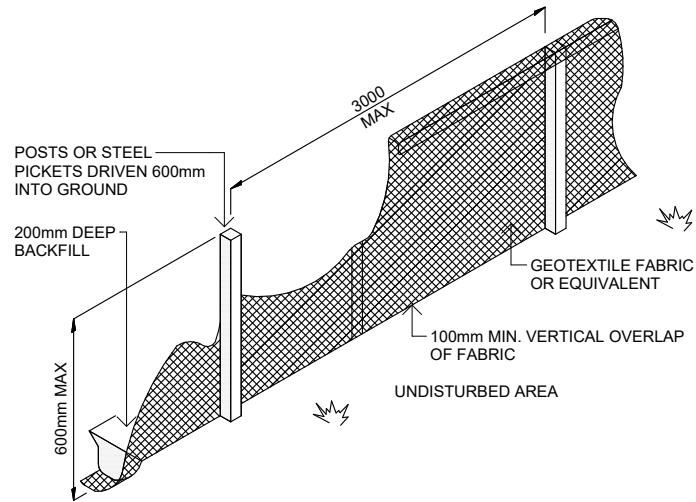
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CUT & FILL NOTES

- EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION, ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE.  
EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED
- IDENTIFY AREAS OF BARE SOIL ESPECIALLY ON SLOPES GREATER THAN 3:1 THAT MAY NEED EROSION CONTROL MATS OR EROSION CONTROL BLANKETS
- PROVIDE 600H GEOFABRIC OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS. SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES
- PROVIDE STABILISED SITE ACCESS VIA GRAVEL EXISTING DRIVEWAY / CROSSOVER
- BUILDER TO ENSURE ADEQUATE PROTECTION PREVENTION METHODS ARE INSTALLED TO PROTECT PUBLIC / CONTRACTORS / OCCUPANTS FROM INJURY



SEDIMENT FENCE DETAIL

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11 PHOENIX STREET,  
HOWRAH, TAS 7018

SHEET:

SOIL & WATER  
MANAGEMENT PLAN

SCALE VARIES

005 OF 016

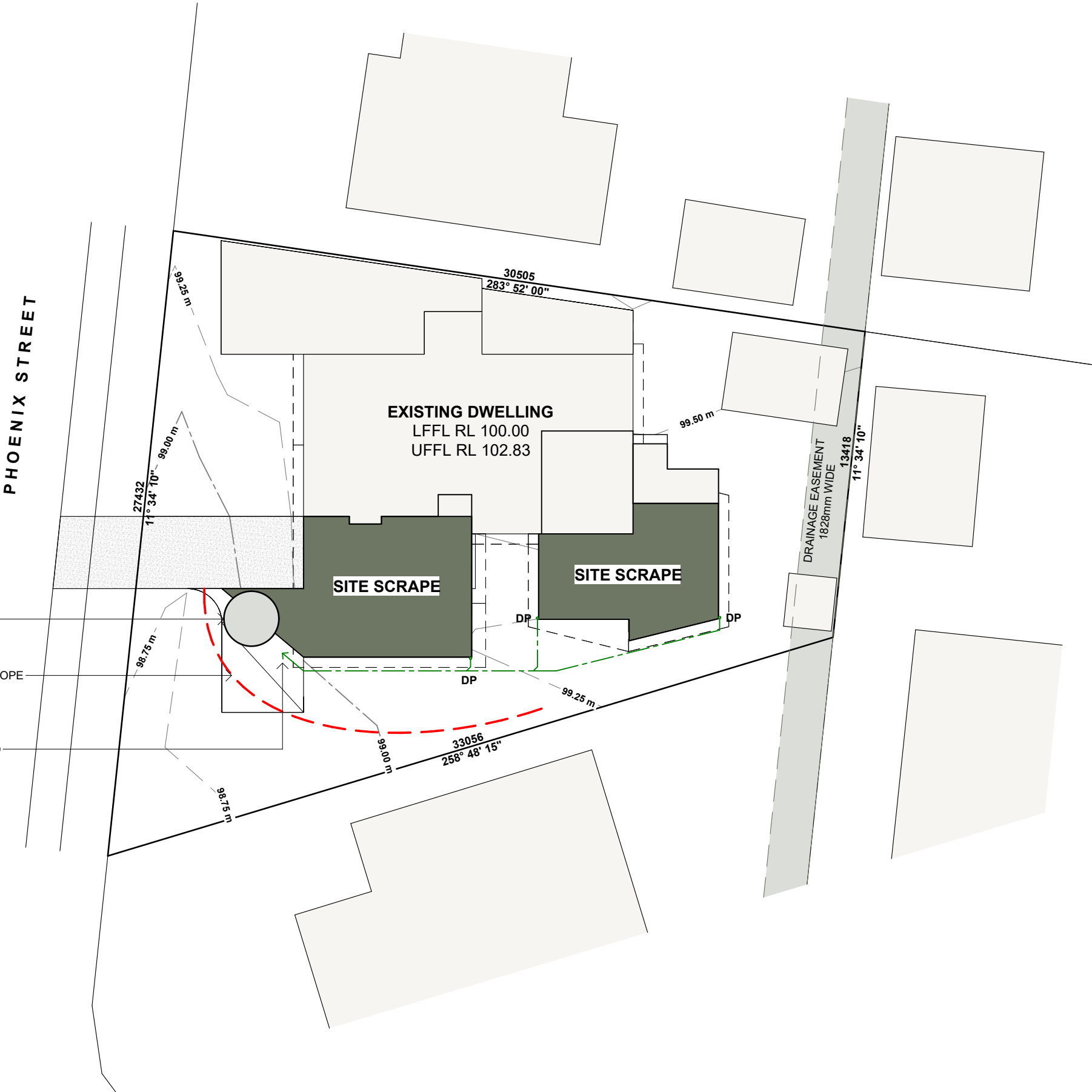
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Document Set ID: 6039840

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PLUMBING LEGEND

- |     |                                                        |
|-----|--------------------------------------------------------|
| --- | Ø100 SEWER LINE                                        |
| --- | Ø90 STORMWATER LINE                                    |
| --- | Ø100 AGRICULTURAL DRAIN                                |
| --- | WATERSTOP IN ACCORDANCE WITH AS3740 & NCC HP PART 10.2 |
| AAV | AIR ADMITTANCE VALVE                                   |
| BSN | Ø40 BASIN                                              |
| BTH | Ø40 BATH                                               |
| DP  | Ø90 DOWNPIPE                                           |
| FW  | Ø50 FLOOR WASTE                                        |
| GT  | GARDEN TAP                                             |
| HP  | HIGH POINT                                             |
| HWC | HOT WATER CYLINDER                                     |
| ORG | Ø100 OVERFLOW RELIEF GULLY                             |
| SH  | Ø50 SHOWER                                             |
| SNK | Ø50 SINK                                               |
| TR  | Ø40 TROUGH                                             |
| V   | Ø50 VENT TO ATMOSPHERE                                 |
| WC  | Ø100 WATER CLOSET                                      |



SOIL & WATER MANAGEMENT PLAN

1 : 200

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SHEET:

EXISTING LOWER FLOOR PLAN

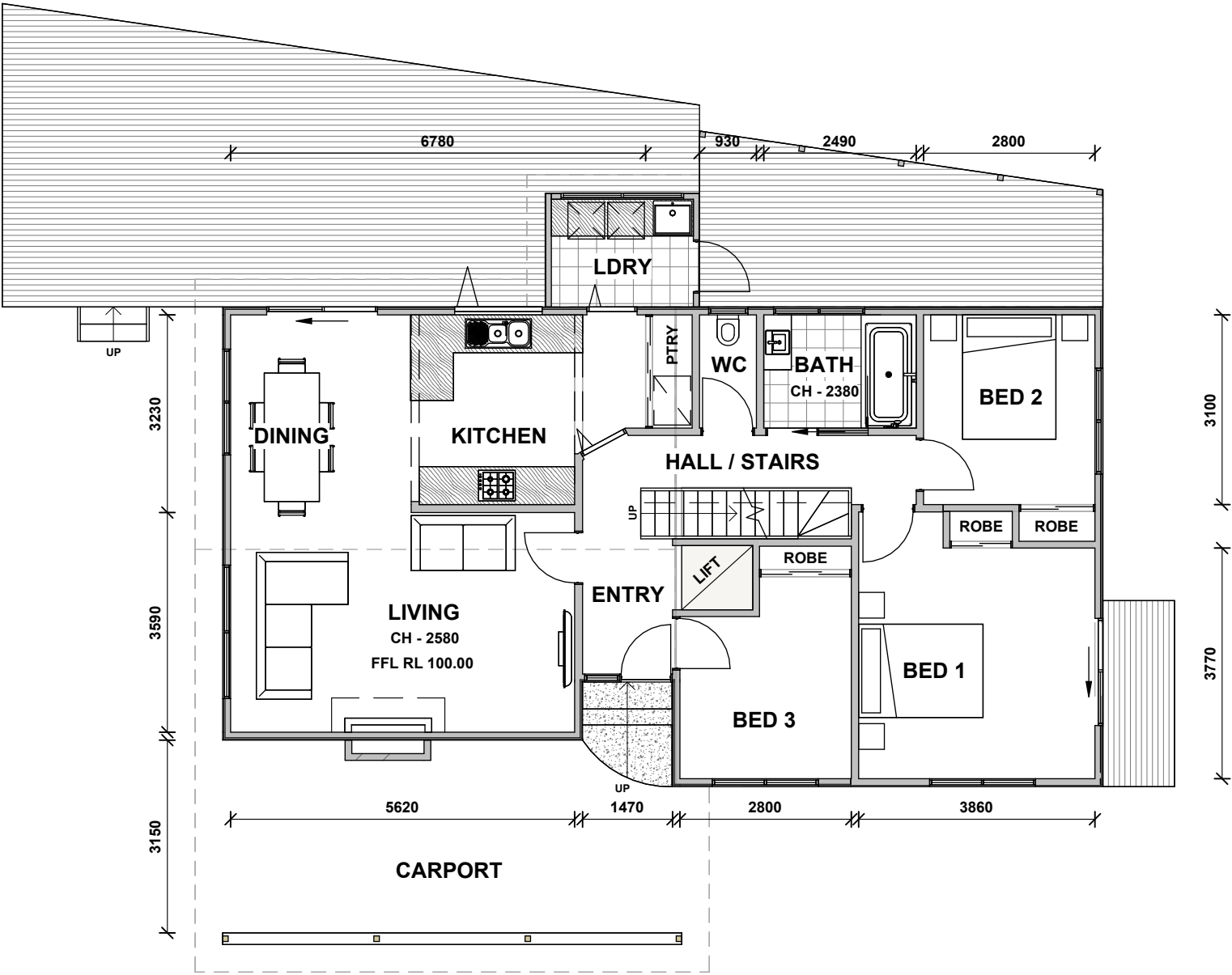
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**EXISTING LOWER FLOOR PLAN**  
1 : 100

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PROPOSED ALTERATIONS  
& ADDITIONS

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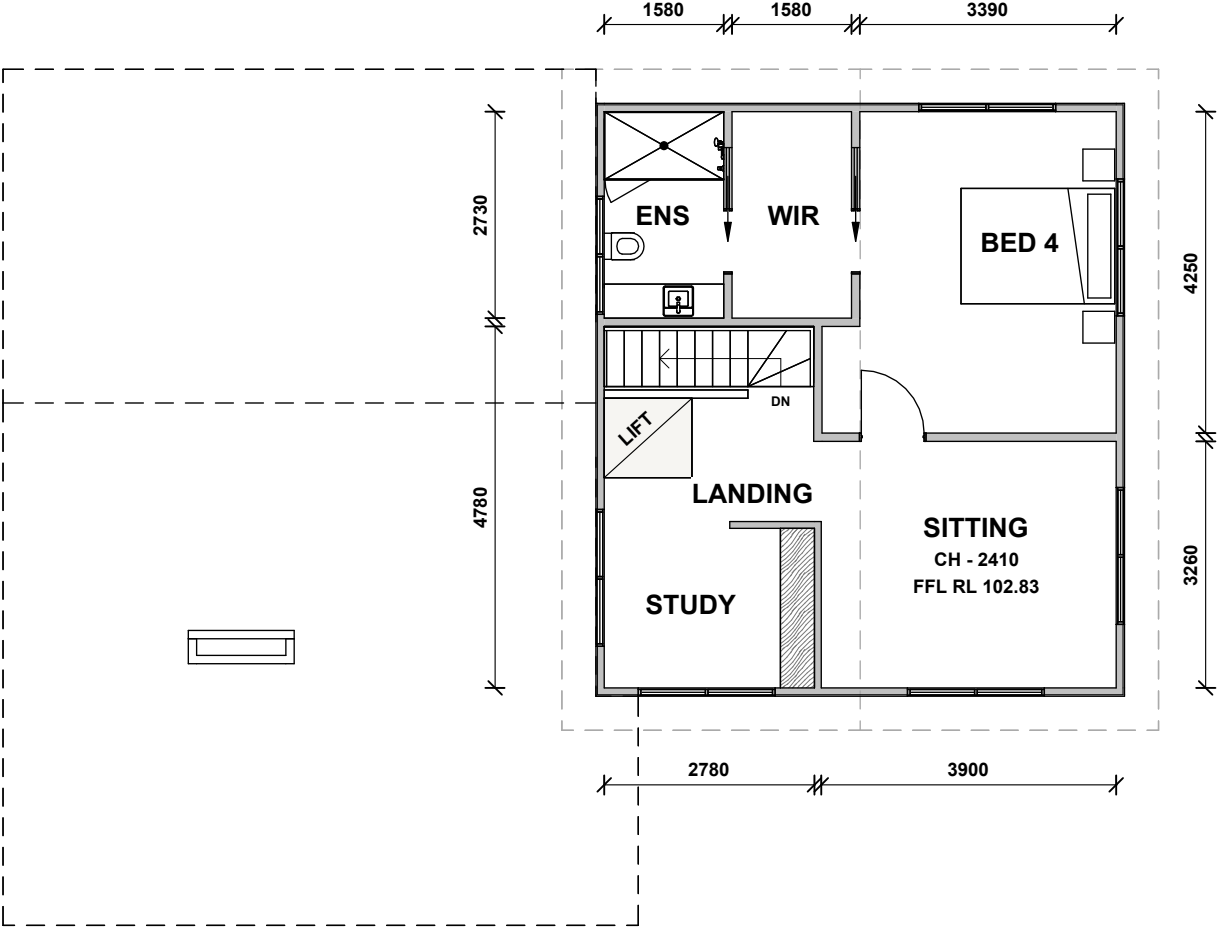
SHEET:

EXISTING UPPER FLOOR PLAN

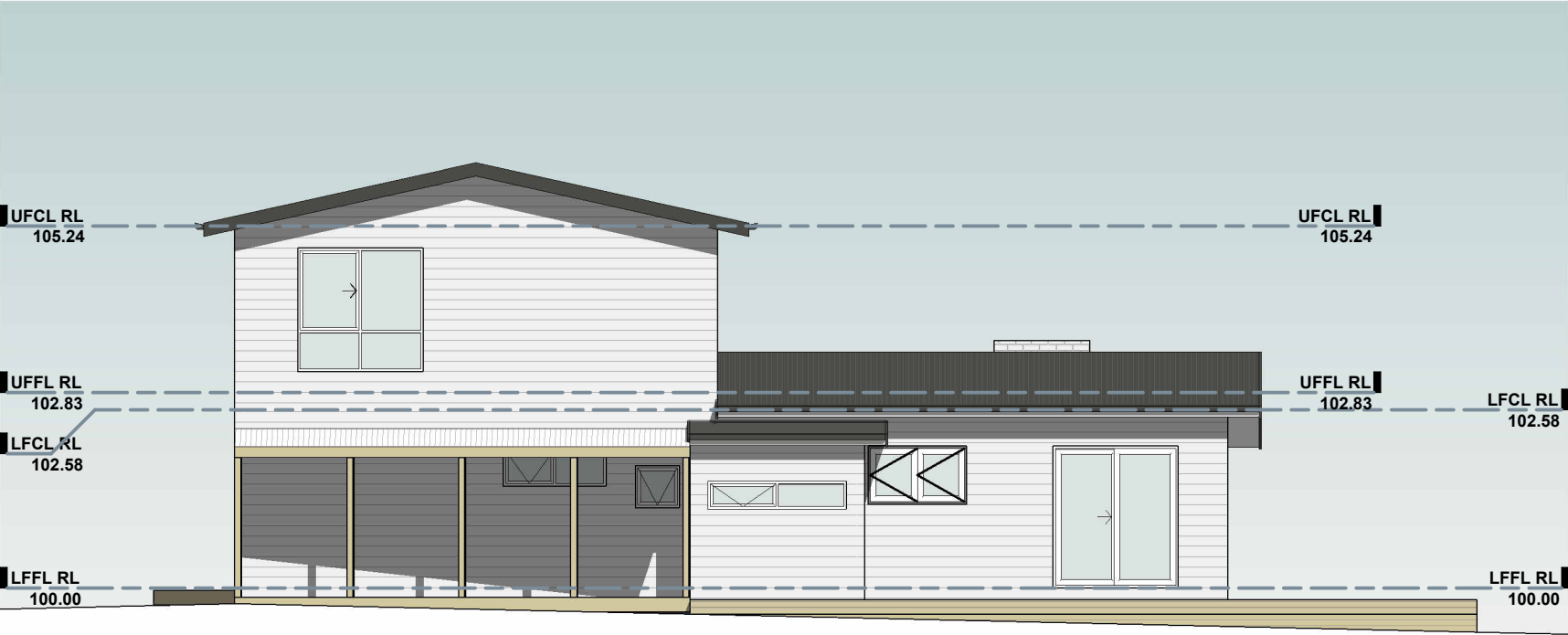
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09-09-2026 007 OF 016

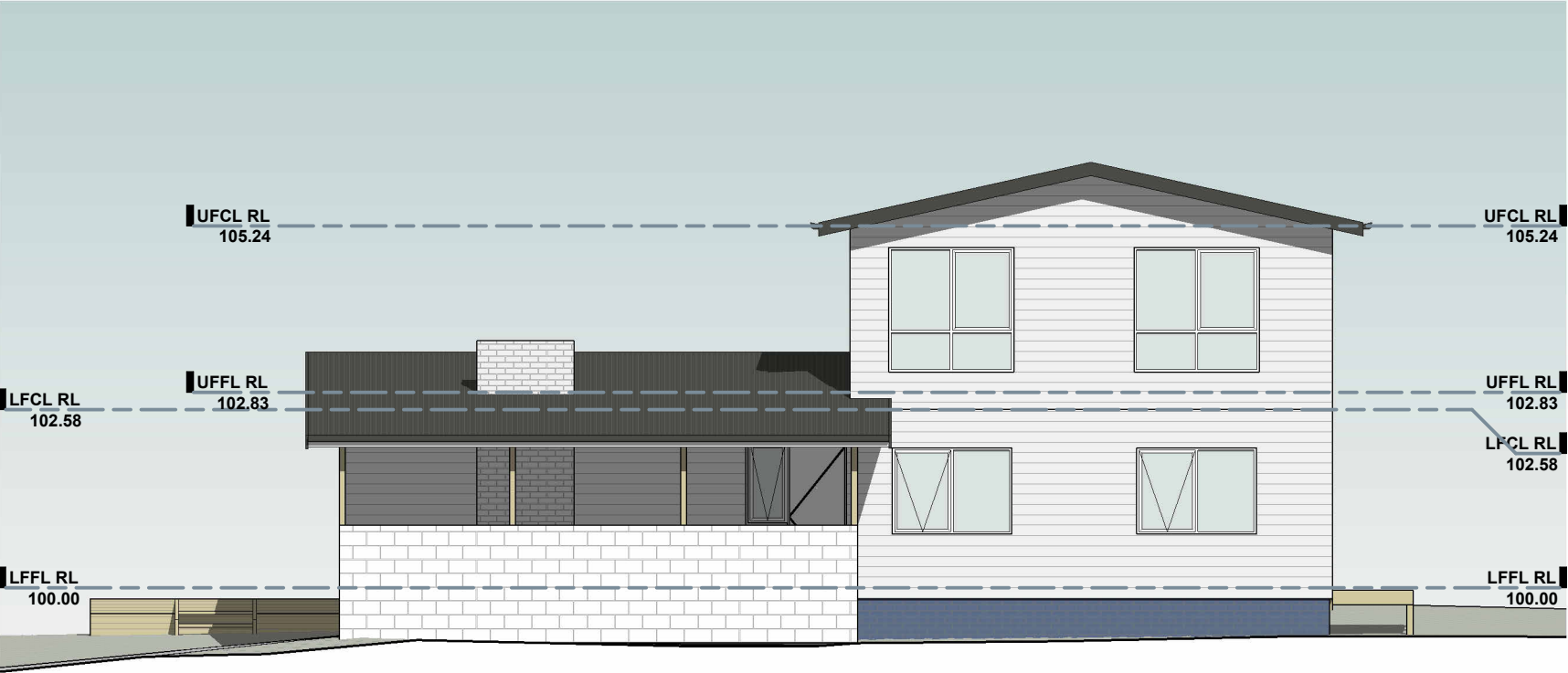
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Version: 1, Version Date: 09/09/2026



**EXISTING UPPER FLOOR PLAN**  
**1 : 100**



**EXISTING NORTH ELEVATION**  
1 : 100



**EXISTING SOUTH ELEVATION**  
1 : 100

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SHEET:

EXISTING ELEVATIONS  
SHEET 1 OF 2

1 : 100

09-09-2026 008

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Version: 1, Version Date: 09/09/2026

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CLIENT:

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PROJECT:

P-26013  
PROPOSED ALTERATIONS  
& ADDITIONS

11 PHOENIX STREET,  
HOWRAH, TAS 7018

SHEET:

EXISTING ELEVATIONS  
SHEET 2 OF 2

1 : 100

09-09-2026 009

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**EXISTING EAST ELEVATION**  
1 : 100



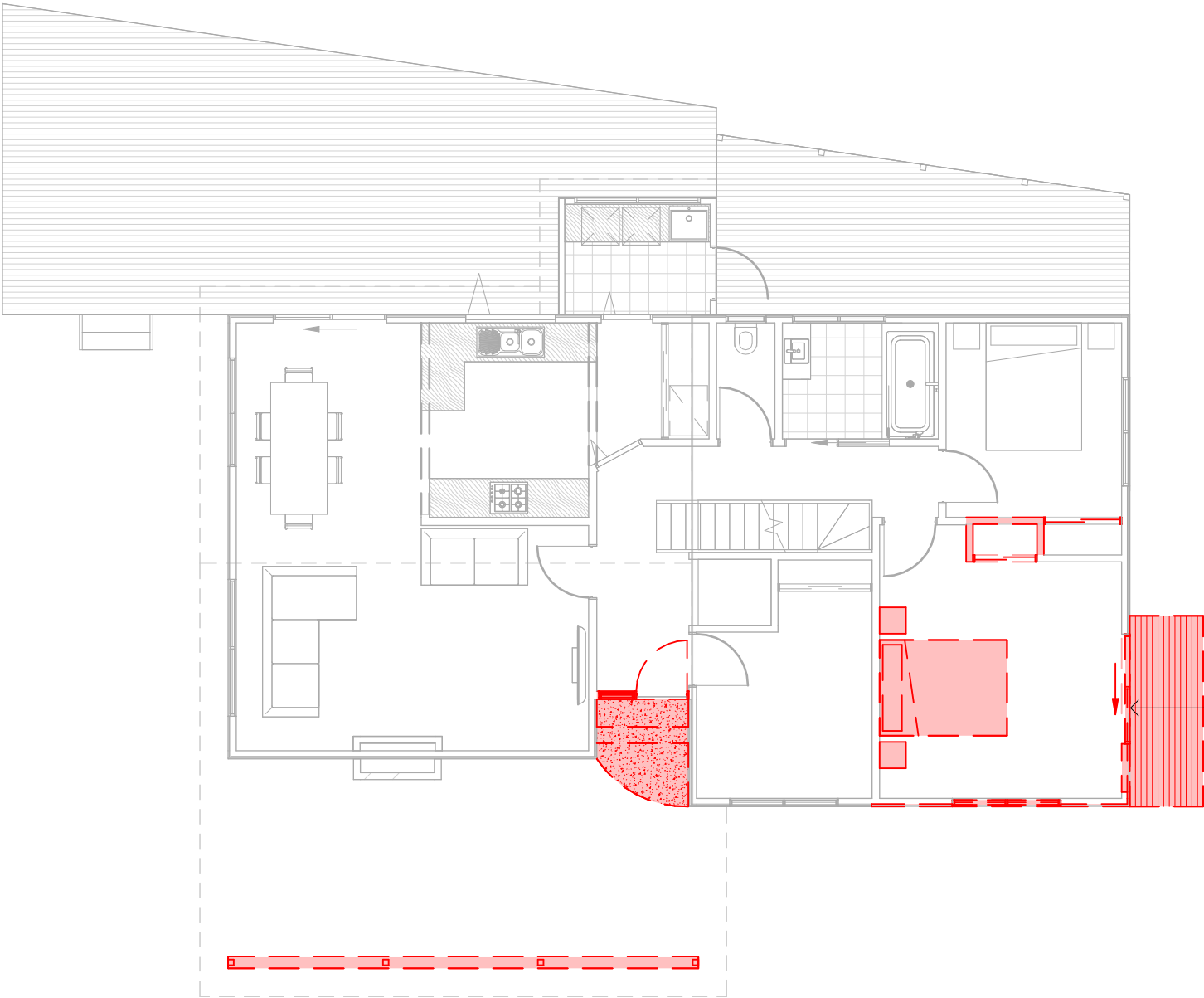
**EXISTING WEST ELEVATION**  
1 : 100

DEMOLITION NOTES

- 1. DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS2601, DEMOLITION WORK CODE OF PRACTICE AND OTHER CURRENT NATIONAL CONSTRUCTION CODES AND RELEVANT AUSTRALIAN STANDARDS.
- 2. ALL DEMOLITION TO BE CARRIED OUT DURING PERMIT HOURS ONLY.
- 3. BUILDER TO ENSURE ADEQUATE PROTECTION PREVENTION METHODS ARE INSTALLED TO PROTECT PUBLIC / CONTRACTORS / OCCUPANTS FROM INJURY.
- 4. SITE TO BE KEPT CLEAN AND TIDY DURING DEMOLITION.
- 5. MAKE GOOD ALL AFFECTED SURFACES & FINISHES FOR FUTURE USE.
- 6. DISPOSAL OF ALL WASTE MATERIAL SHALL BE AT AN APPROVED REFUSE SITE.
- 7. ALL CONTRACTORS TO CONFIRM ALL EXISTING MEASUREMENTS & PROPOSED SCOPE OF WORKS PRIOR TO STARTING ANY WORKS.
- 8. BUILDER TO INVESTIGATE AND LOCATE ANY MATERIALS THAT MAY CONTAIN ASBESTOS. IF ASBESTOS IS PRESENT, A SUITABLE ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE ANY MATERIALS THAT CONTAIN ASBESTOS IN ACCORDANCE WITH RELEVANT REMOVAL GUIDELINES.
- 9. ALL MATERIALS, FINISHES & PRODUCTS SHALL BE RE-USED / SALVAGED WHERE POSSIBLE AND APPROPRIATE.
- 10. BUILDER TO PROVIDE ADEQUATE MEASURES TO PREVENT TRACKING OF MUD AND DEBRIS ONTO ROAD.
- 11. DISCONNECT AND MAKE SAFE / TEMPORARILY CAP / DIVERT EXISTING SERVICES AFFECTED AS REQUIRED TO THE REQUIREMENTS OF RELEVANT AUTHORITIES.
- 12. ALL EXISTING STRUCTURES SHALL BE MAINTAINED IN A STABLE MANNER AND ALL TEMPORARY PROPPING SHALL BE DESIGNED AND CHECKED BY A QUALIFIED STRUCTURAL ENGINEER.

DEMOLITION LEGEND

-  DENOTES EXISTING ELEMENTS TO BE RETAINED
-  DENOTES EXISTING ELEMENTS TO BE REMOVED



RETAIN EXISTING SLIDING DOOR FOR FUTURE USE. REFER TO SHEET 012 - PROPOSED LOWER FLOOR PLAN FOR LOCATION

DEMOLITION LOWER FLOOR PLAN  
1 : 100

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K. & S. ASHTON

PROJECT:

P-26013  
PROPOSED ALTERATIONS  
& ADDITIONS

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SHEET:

DEMOLITION LOWER  
FLOOR PLAN

1 : 100

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-  DENOTES EXISTING ELEMENTS TO BE REMOVED

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SHEET:

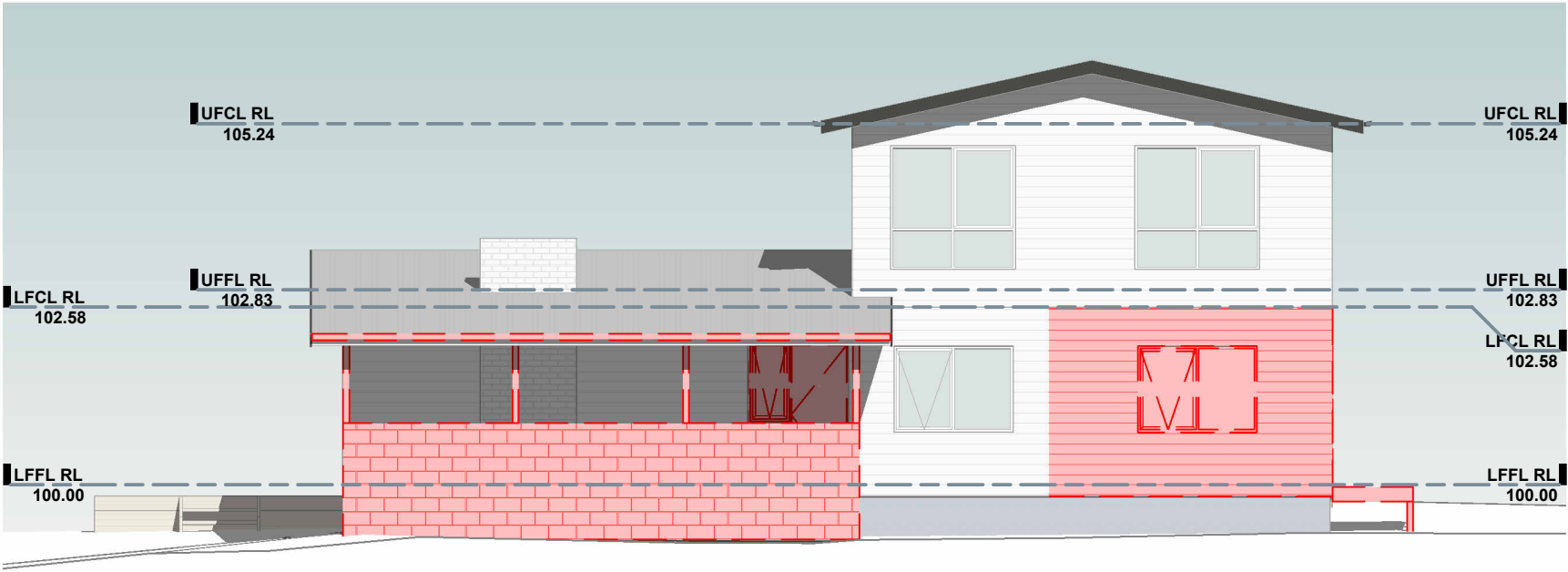
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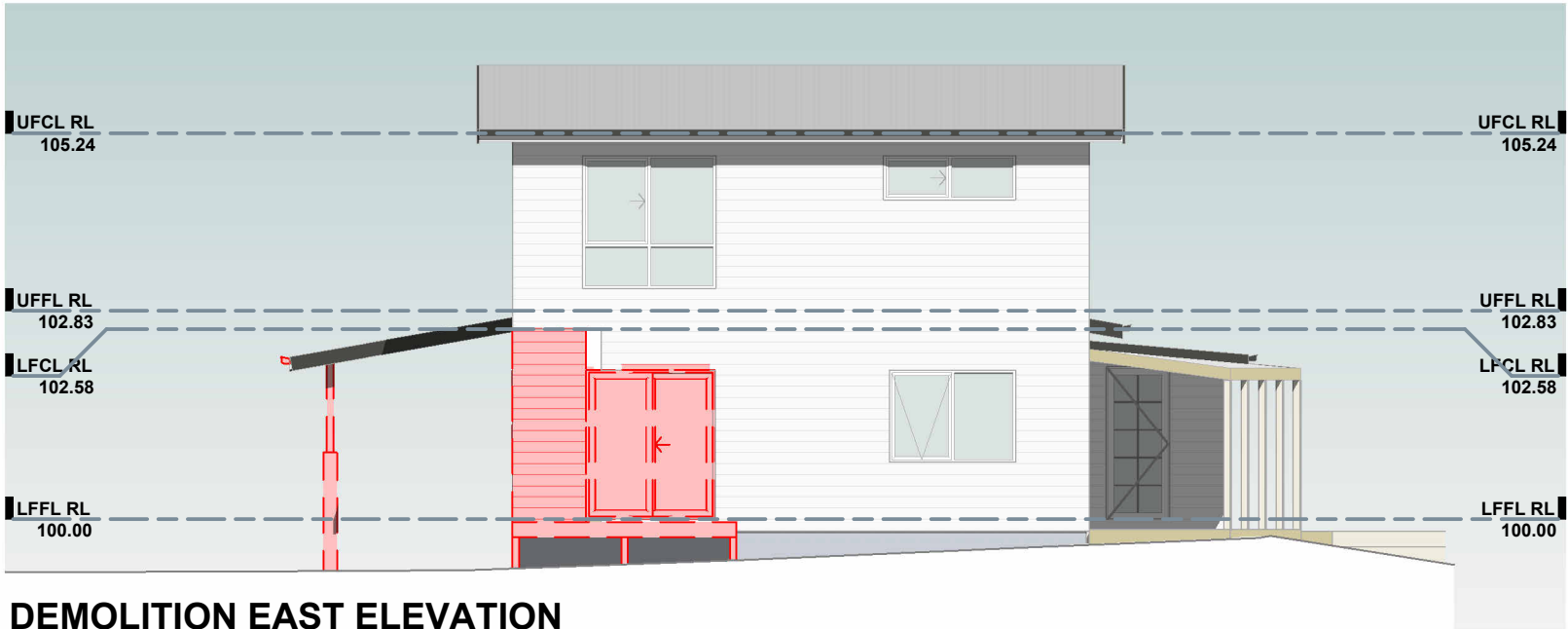
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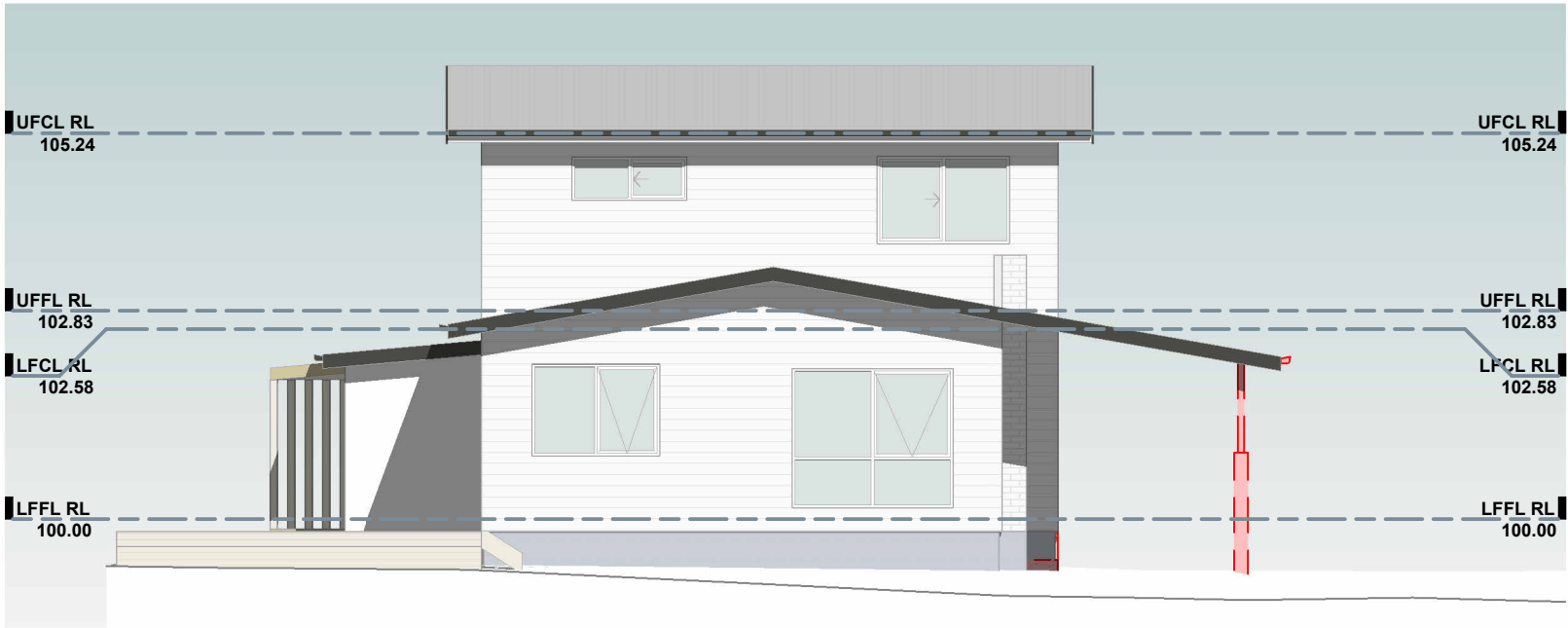
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DEMOLITION SOUTH ELEVATION  
1 : 100



DEMOLITION EAST ELEVATION  
1 : 100



DEMOLITION WEST ELEVATION  
1 : 100

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SHEET:  
PROPOSED LOWER FLOOR  
PLAN

1 : 100

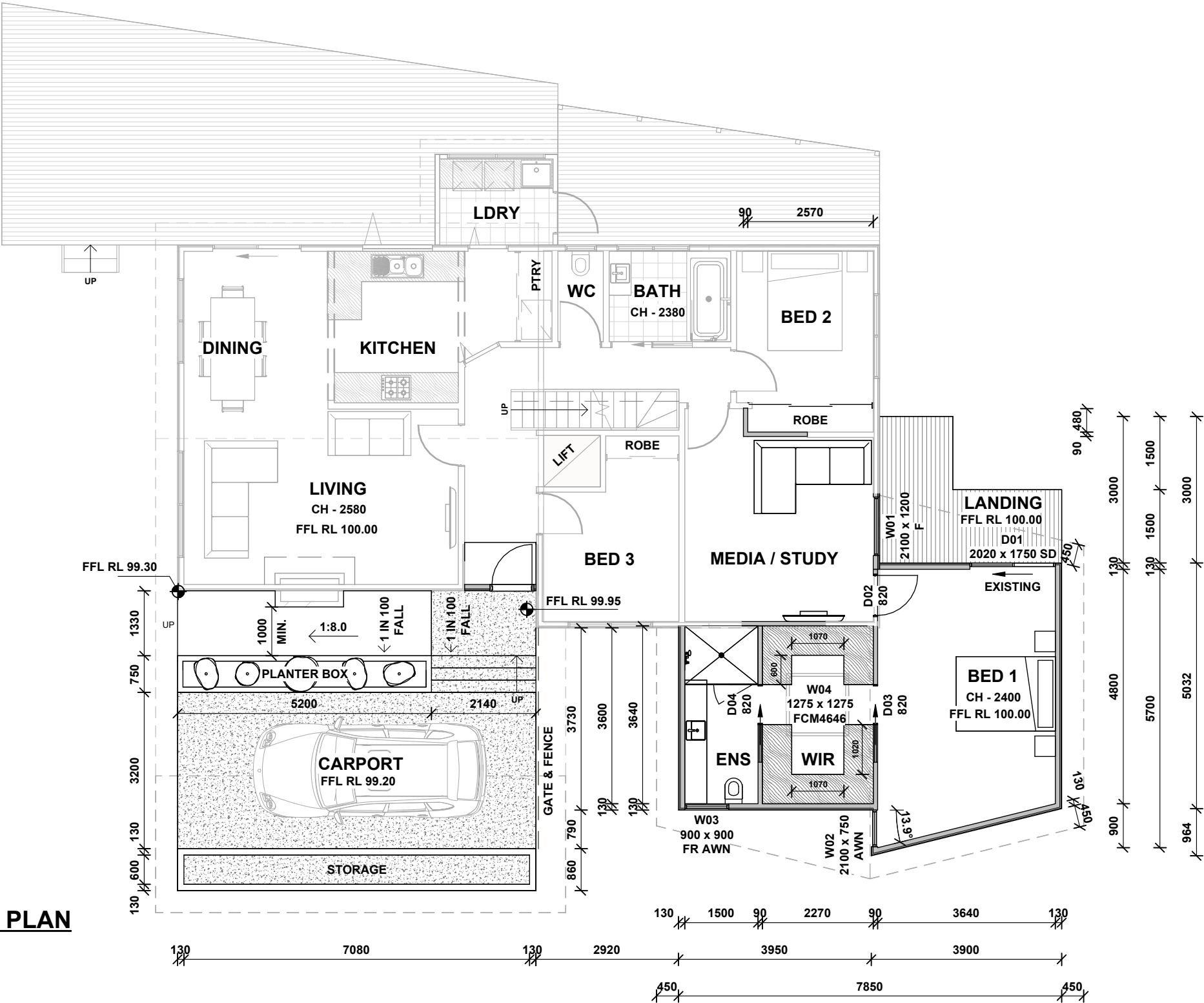
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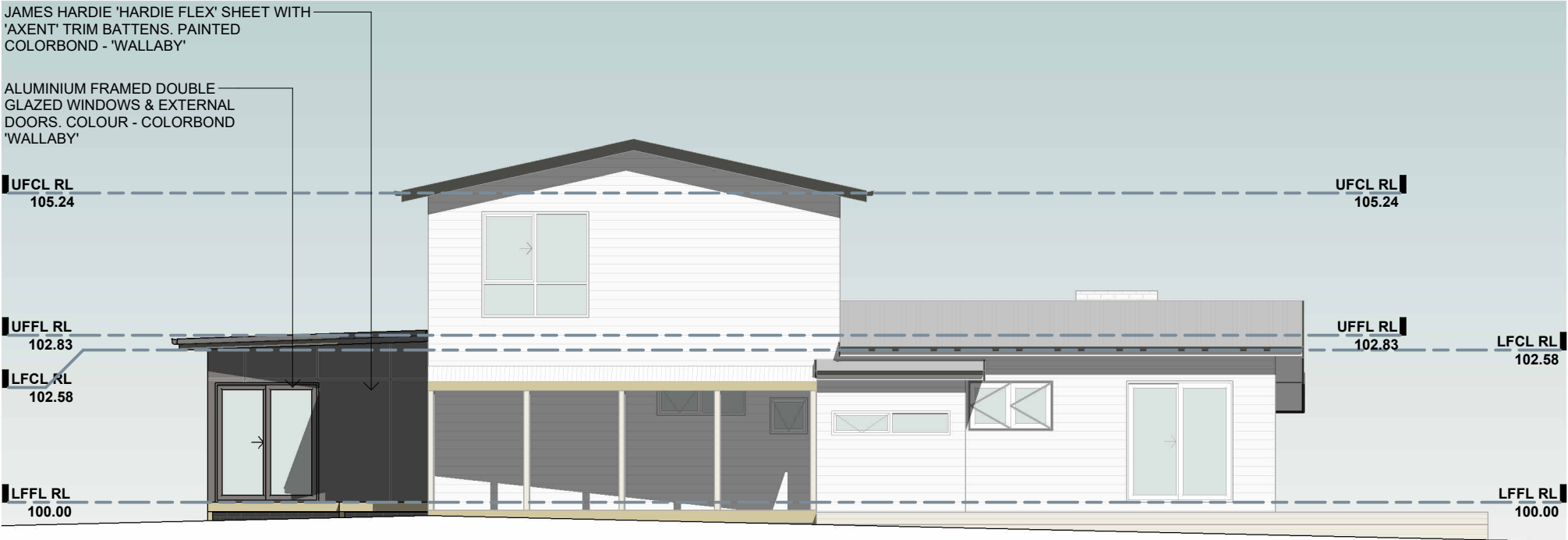
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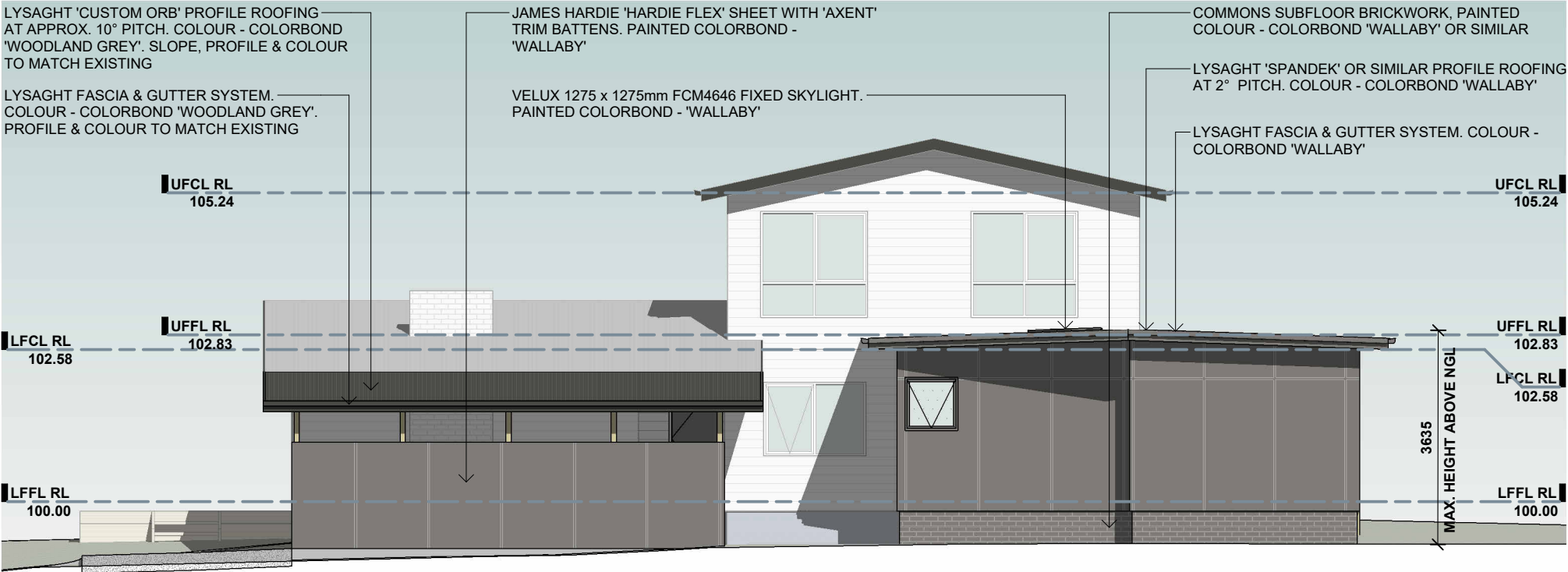
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PROPOSED LOWER FLOOR PLAN  
1 : 100





**PROPOSED NORTH ELEVATION**  
1 : 100



**PROPOSED SOUTH ELEVATION**  
1 : 100

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**P-26013**  
**PROPOSED ALTERATIONS & ADDITIONS**

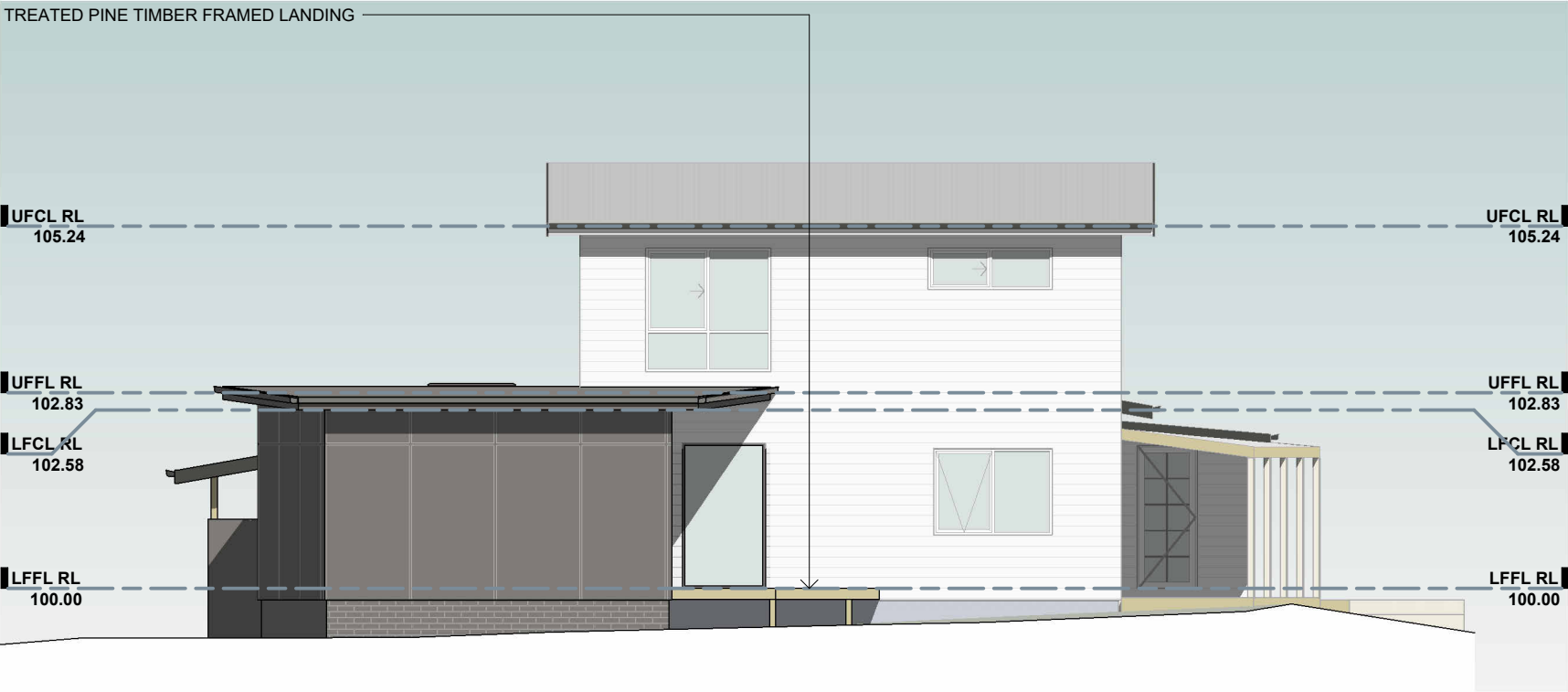
**11 PHOENIX STREET,  
HOWRAH, TAS 7018**

SHEET:  
**PROPOSED ELEVATIONS  
SHEET 1 OF 2**

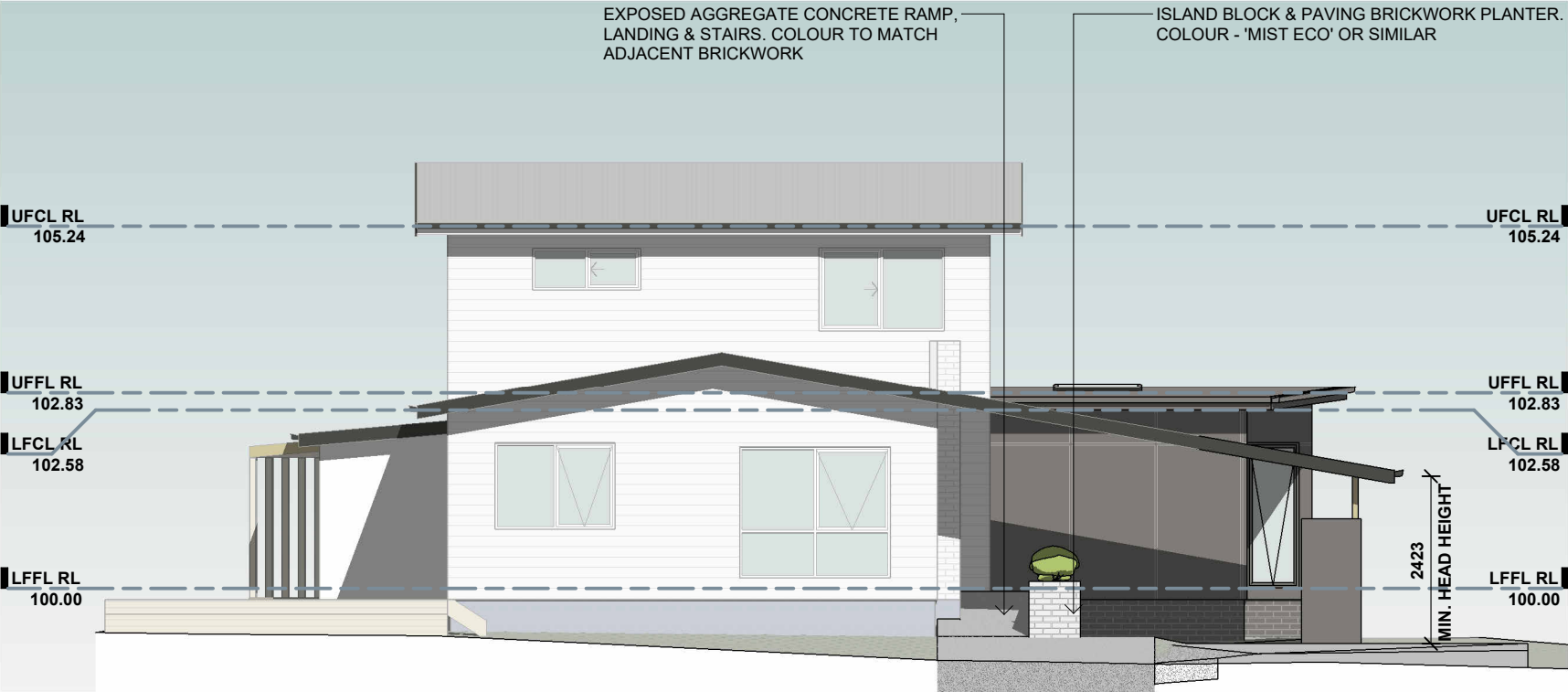
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**PROPOSED EAST ELEVATION**  
1 : 100



**PROPOSED WEST ELEVATION**  
1 : 100

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PROPOSED ALTERATIONS  
& ADDITIONS

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SHEET:

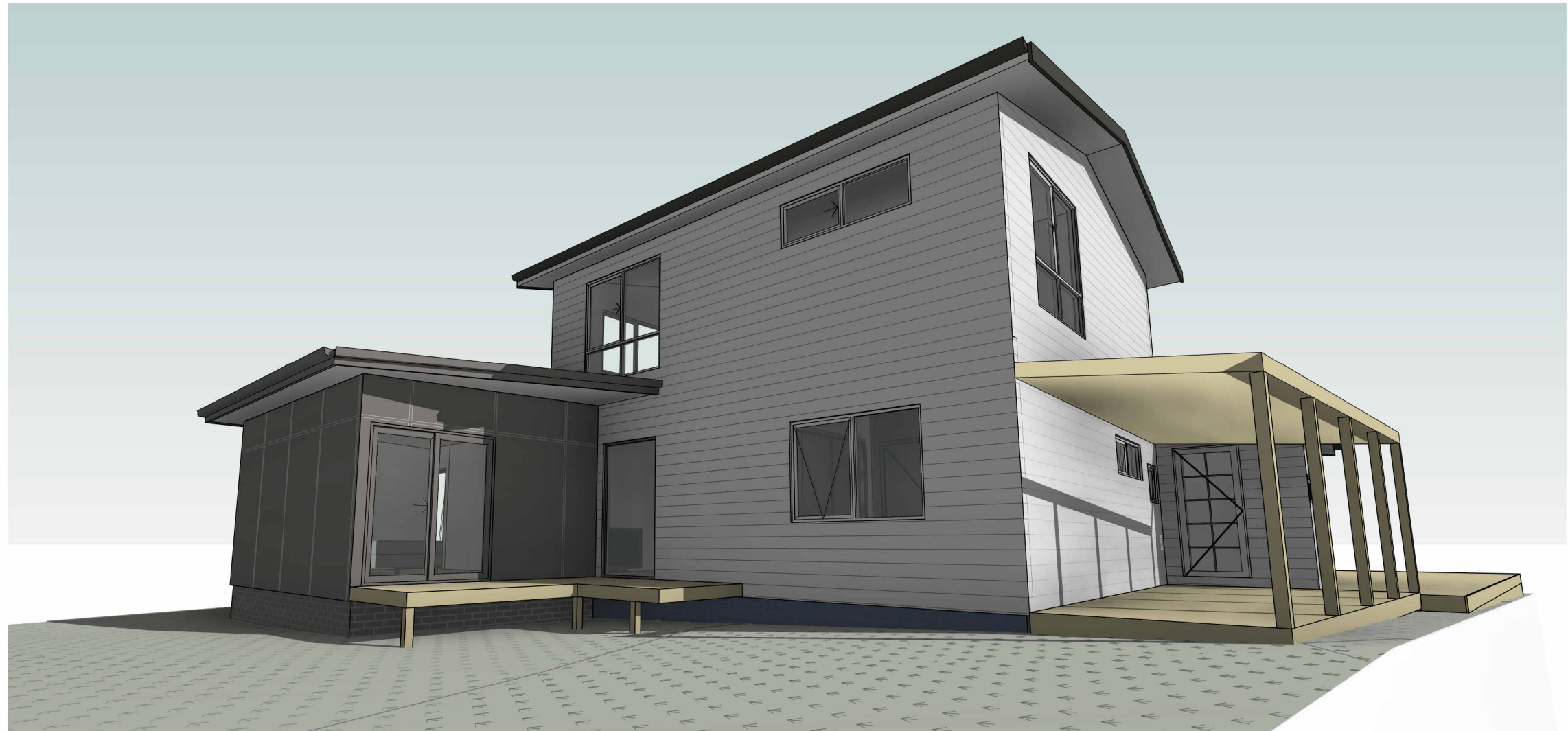
PROPOSED ELEVATIONS  
SHEET 2 OF 2

1 : 100

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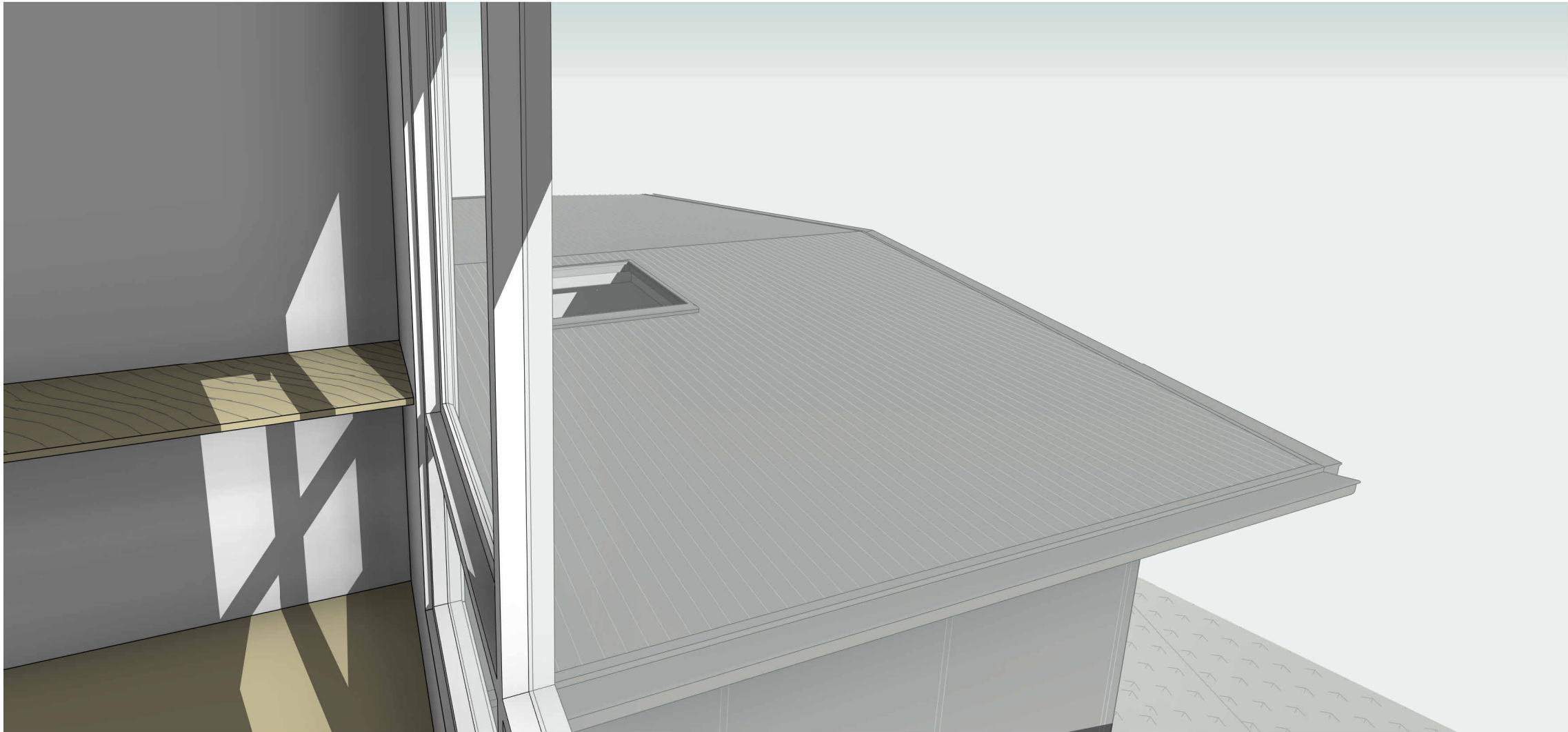
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PROJECT:  
**P-26013**  
**PROPOSED ALTERATIONS**  
**& ADDITIONS**

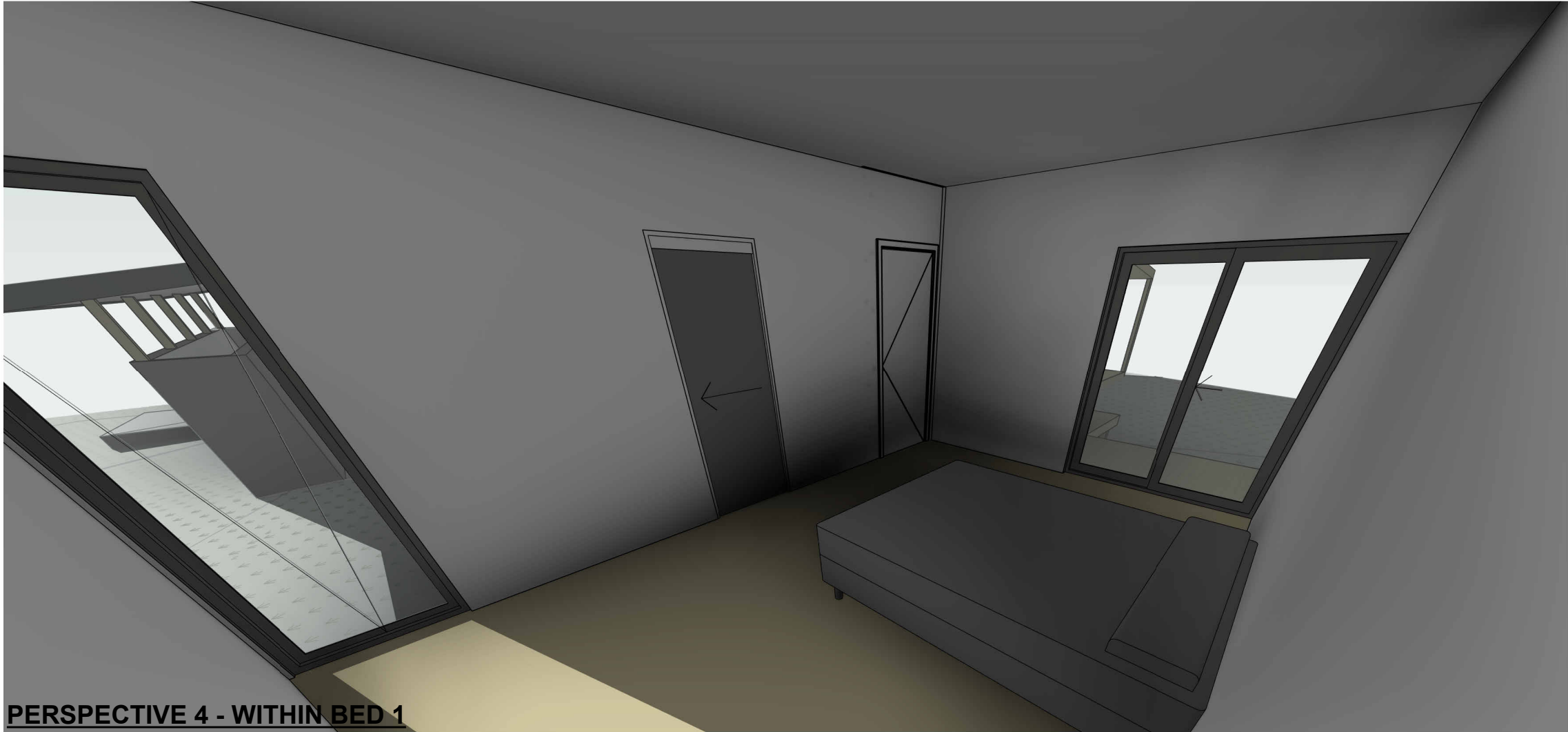
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**HOWRAH, TAS 7018**

SHEET:  
**PROPOSED PERSPECTIVES**  
**SHEET 1 OF 2**

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**PERSPECTIVE 3 - FROM UPPER FLOOR STUDY**



**PERSPECTIVE 4 - WITHIN BED 1**