



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/063762

PROPOSAL: Dwelling

LOCATION: 1 Pyrmont Road, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 30/09/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30/09/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 30/09/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

*The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.*

Proposal:

New residential dwelling

Location:

Address Lot 47, 1 Pymont Road

Suburb/Town Rokeby, TAS

Postcode 7019

Current
Owners/s:

Applicant:

Personal Information Removed

Does the proposal involve land administered or owned
by the Crown or Council?

Yes

☐

No

☒



Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- ☐ Details of the location of the proposed use or development.
- ☐ A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- ☐ Full description of the proposed use or development.
- ☐ Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- ☐ Declaration the owner has been notified if the applicant is not the owner.
- ☐ Crown or Council consent (if publically-owned land).
- ☐ Any reports, plans or other information required by the relevant zone or code.
- ☐ Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- ☐ **Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- ☐ Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- ☐ Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- ☐ Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 189872	FOLIO 47
EDITION 1	DATE OF ISSUE 01-Apr-2026

SEARCH DATE : 12-May-2026

SEARCH TIME : 09.19 am

DESCRIPTION OF LAND

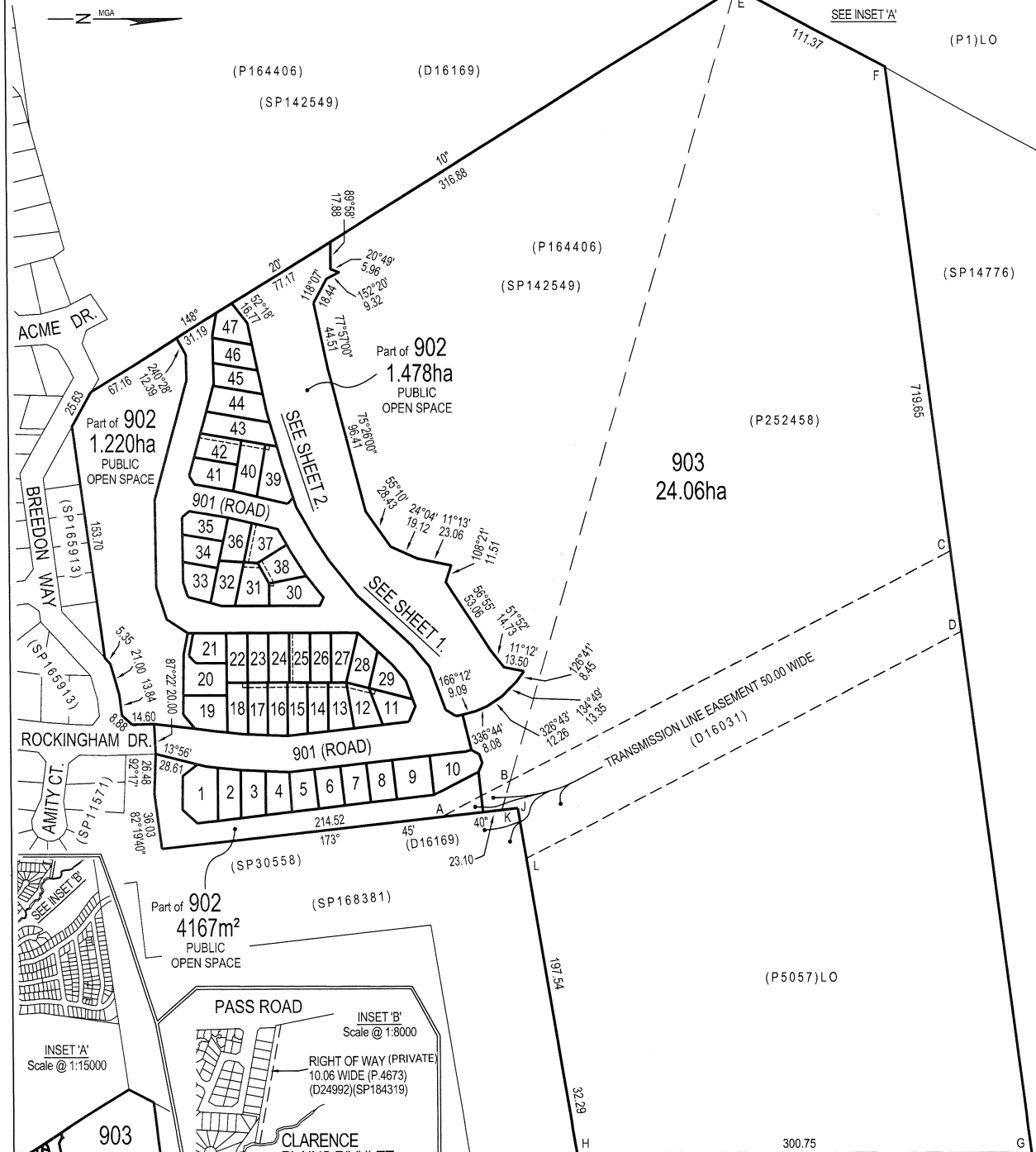
City of CLARENCE

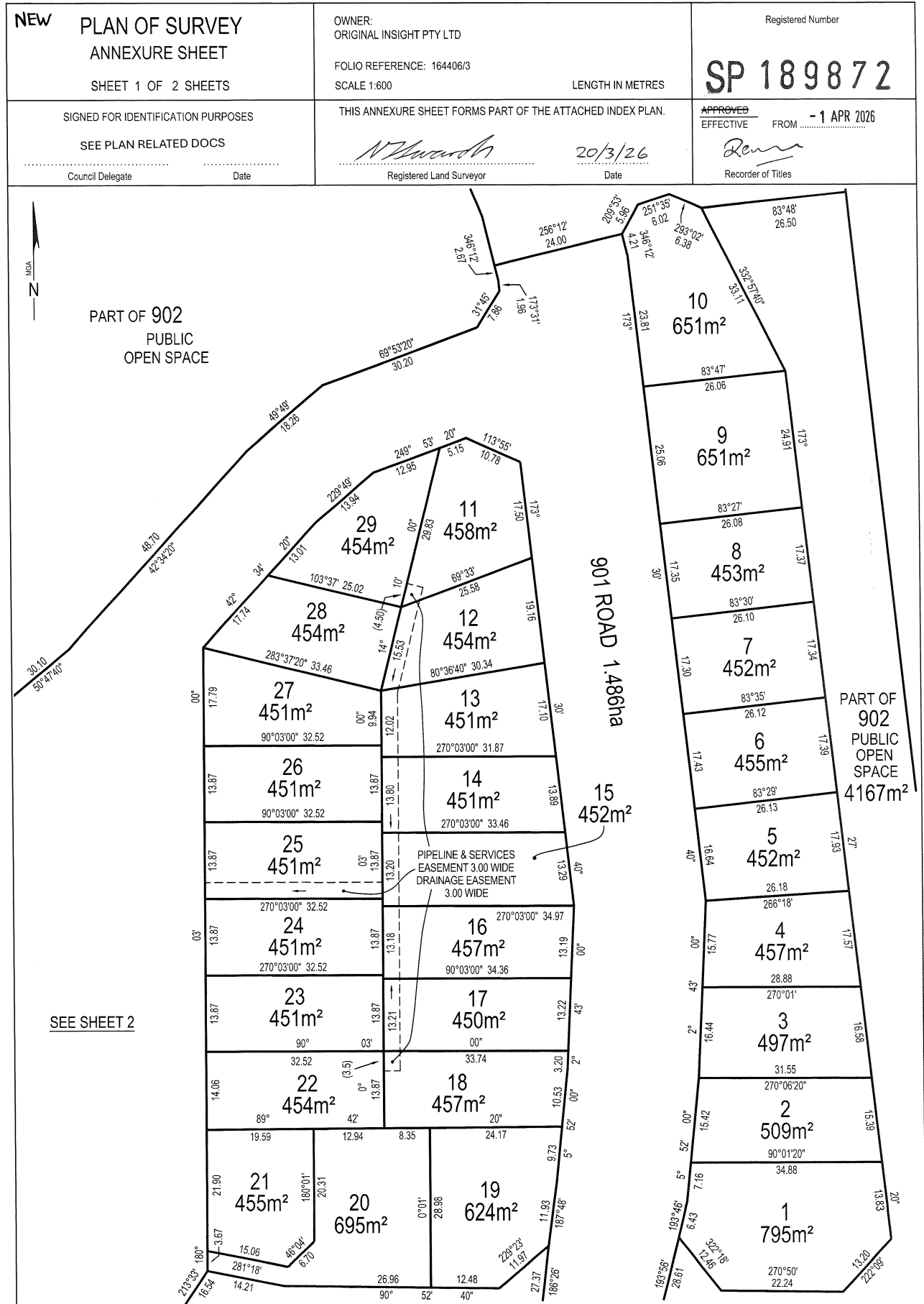
Lot 47 on Sealed Plan [189872](#)Derivation : Part of Lot 37617 (56.81ha) Gtd. to The
Director-General of Housing & ConstructionPrior CT [164406/3](#)SCHEDULE 1[M926006](#) TRANSFER to ORIGINAL INSIGHT PTY LTD Registered
19-Dec-2021 at 12.01 pmSCHEDULE 2

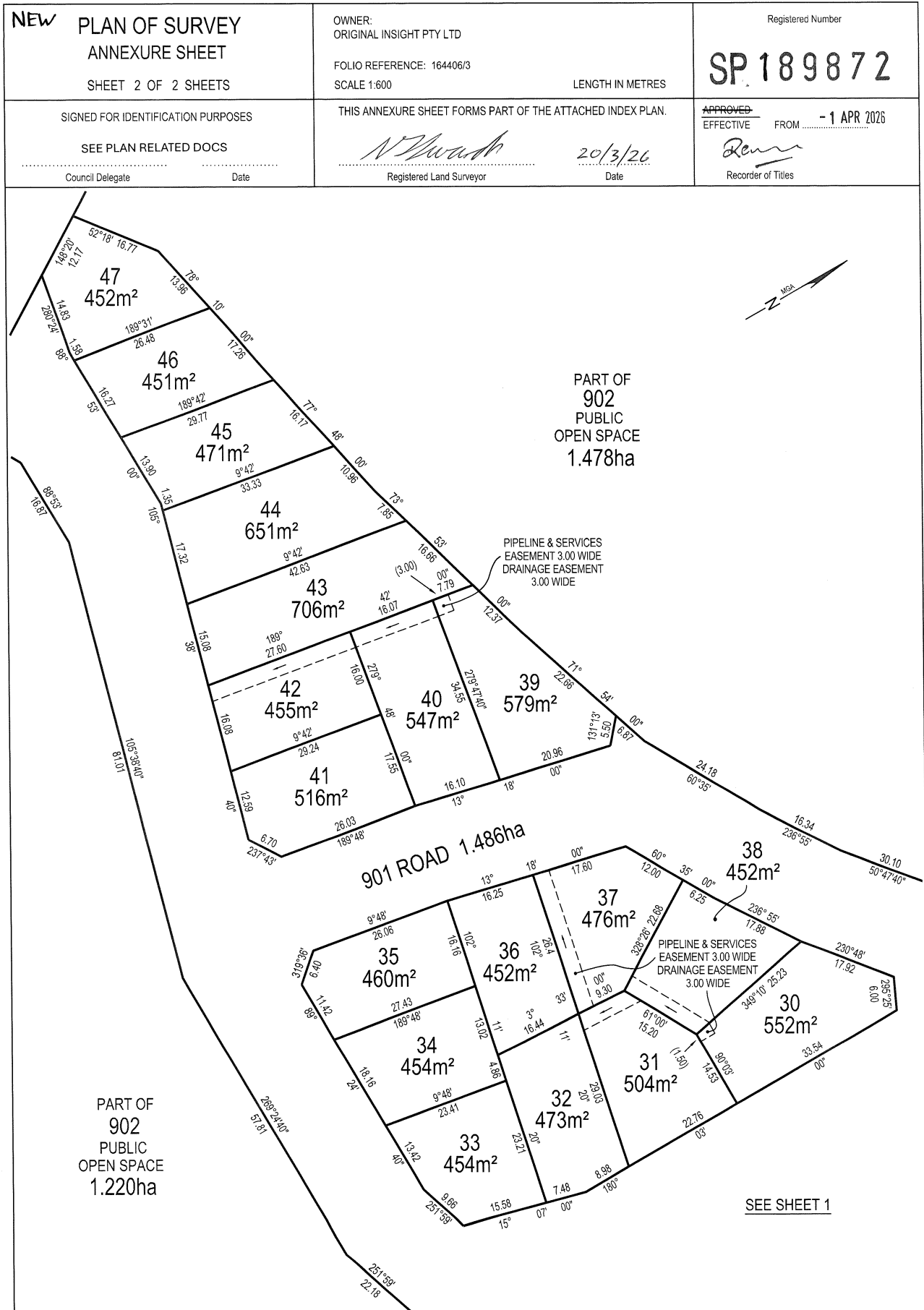
Reservations and conditions in the Crown Grant if any

[SP189872](#) EASEMENTS in Schedule of Easements[SP189872](#) COVENANTS in Schedule of Easements[SP189872](#) FENCING COVENANT in Schedule of Easements[SP142549](#) COVENANTS in Schedule of Easements[SP142549](#) FENCING COVENANT in Schedule of Easements[SP142549](#) WATER SUPPLY RESTRICTION[SP142549](#) SEWERAGE AND/OR DRAINAGE RESTRICTION[N194698](#) MORTGAGE to Manda Capital Holdings Pty Ltd
Registered 21-June-2024 at 12.01 pm[N280782](#) MORTGAGE to RCCC Civil Contracting Pty Ltd
Registered 11-Oct-2025 at noon[E380291](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
01-Apr-2026 at noon[N104005](#) CAVEAT by Manda Capital Holdings Pty Ltd Registered
01-May-2026 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: ORIGINAL INSIGHT PTY LTD FOLIO REFERENCE: 164406/3 GRANTEE: Part of Lot 37617 (56.81ha) and Part of Lot 37843, (18.21ha) Gtd to The Director-General of Housing & Construction	NEW PLAN OF SURVEY BY SURVEYOR: N. J. SWARDS of LEARY COX & CRIPPS SURVEYORS Unit G04 40 Mole Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com LOCATION: City of CLARENCE SCALE 1: 2500 LENGTHS IN METRES	Registered Number SP 189872 APPROVED EFFECTIVE FROM - 1 APR 2026  Recorder of Titles			
PRIORITY FINAL PLAN LOTS 902 & 903 HAVE BEEN COMPILED FROM SP164405, P164406 AND THIS SURVEY <u>INDEX PLAN</u> ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN					
					
<table style="width: 100%;"> <tr> <td style="width: 35%;"> <i>N. Swards</i> Registered Land Surveyor </td> <td style="width: 35%;"> 20/3/26 Date </td> <td style="width: 30%;"> SEE PLAN RELATED DOCS Council Delegate _____ Date _____ </td> </tr> </table>			<i>N. Swards</i> Registered Land Surveyor	20/3/26 Date	SEE PLAN RELATED DOCS Council Delegate _____ Date _____
<i>N. Swards</i> Registered Land Surveyor	20/3/26 Date	SEE PLAN RELATED DOCS Council Delegate _____ Date _____			





SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189872

PAGE 1 OF 7 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

NEW EASEMENTS

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan ("the Easement Land").

Lots 11 to 18 (inclusive), 25, 30, 31, 37, 38, 39, 40 and 42 on the Plan are each SUBJECT TO a right of drainage in gross in favour of Clarence City Council over that part of the respective Lot marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE DRAINAGE EASEMENT 3.00 WIDE" on the Plan.

EXISTING EASEMENTS

Each Lot on the Plan (but excluding that part of Lot 903 marked "EFGHJK") is TOGETHER WITH a right of way over the area marked "RIGHT OF WAY, 10.06 WIDE" on the Plan more fully defined in SP142549. (PRIVATE)

Lots 902 & 903 are

~~Lot 902~~ on the Plan is SUBJECT TO a Transmission Line Easement (in favour of the Hydro Electric Commission) over that part of the Lot marked "TRANSMISSION LINE EASEMENT 50.00 WIDE" on the Plan and as created by and more fully set forth in SP142549.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786)	PLAN SEALED BY: Clarence City Council
FOLIO REF: Volume 164406 Folio 3	DATE: 3 MAR 2026
SOLICITOR	PPPLAN/PMTD -
& REFERENCE: Butler, McIntyre & Butler: 250343	REF NO. 2021/024236
	Stage 1-3
	Council Delegate
	Peter HARMER - ACTS HOG
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

EXISTING COVENANTS

Each Lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP142549.

FENCING COVENANT

The owner of each Lot on the Plan covenants with Original Insight Pty Ltd (ACN 168 660 786) ("the Vendor") that the Vendor shall not be required to fence.

DEFINITIONS

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

(6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:

- (a) reinstate the ground level of the Easement Land; or
- (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
- (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

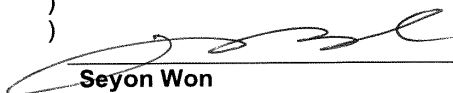


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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Original Insight Pty Ltd (ACN 168 660 786)**, the Registered Proprietor of the land contained in Certificate of Title Volume 164406 Folio 3 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:

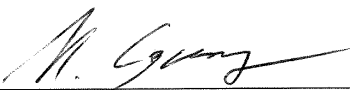
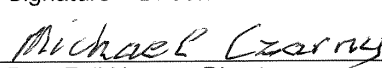

Seyon Won
 Sole Director and Company Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **Manda Capital Holdings Pty Ltd (ACN 168 795 088)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N194698 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/Company Secretary*
 Print Full Name – Director/Company Secretary*
 *Delete whichever is inapplicable

30/03/26
 30/03/26

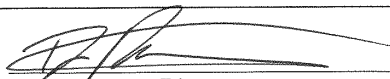
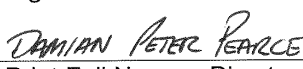
* STANLEY JOHN WALSH
 SOLICITOR FOR THE VENDOR

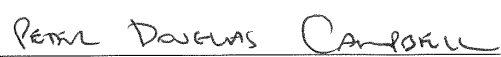
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 7 OF 7 PAGES	Registered Number SP 189872
SUBDIVIDER: Original Insight Pty Ltd (ACN 168 660 786) FOLIO REFERENCE: Volume 164406 Folio 3	

Executed by **RCCC Civil Contracting Pty Ltd (ACN 097 095 611)**, the Registered Mortgagee of the land contained in Certificate of Title Volume 164406 Folio 3 under Mortgage N280782 in accordance with section 127 of the Corporations Act 2001 (Cth) by being signed by:


 Signature – Director

 Print Full Name – Director

 Signature – Director/~~Company Secretary~~*

 Print Full Name – Director/~~Company Secretary~~*

*Delete whichever is inapplicable

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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UNREGISTERED DEALINGS REPORT

SEARCH DATE : 25-Aug-2026

SEARCH TIME : 03:29 pm

CT: 189872/47

N307775 PRIORITY NOTICE reserving priority for 90 days
W/CAVEAT Manda Capital Holdings Pty Ltd
D/MORTGAGE Manda Capital Holdings Pty Ltd to Original
Insight Pty Ltd
D/MORTGAGE RCCC Civil Contracting Pty Ltd to Original
Insight Pty Ltd
TRANSFER Original Insight Pty Ltd to Georgia Erin
Ambler
TRANSFER Original Insight Pty Ltd to Homes Tasmania
MORTGAGE Georgia Erin Ambler and Homes Tasmania to
B&E Ltd Lodged by SOUTHERN PROPERTY & CONVEYANCING
on 30-July-2026 BP: N307775

25 August 2026

Att: Planning Department
Clarence City Council

Via email: cityplanning@ccc.tas.gov.au

Dear Sir/Madam,

Application for development – lot 47, 1 Pyrmont Road, Rokeby

Please find enclosed application for development for a single residential dwelling development lot 47, 1 Pyrmont Road, Rokeby, and supporting documentation:

- Completed application form
- Title documents (Folio Text, Folio Plan, Schedule of Easements for SP189872 and a part 5 agreement E380291
- DA plans
- DA review and submission checklist

We have undertaken an assessment of the application and note that the proposal is to be assessed as a “discretionary” application under the General Residential Zone with respect to the following:

- Waterway and coastal protection area

C7.6.1(P1.1 & P1.2) The proposed dwelling is located within the identified overlay area and has been positioned to utilise the existing site conditions. The development requires only a minimal amount of excavation for the building footprint, thereby minimising cut and fill and reducing potential adverse impacts on natural assets. Therefore, the proposal can meet the requirement of P1.1 & P1.2

The proposed development is located on an allotment subject to the Bushfire-Prone Areas Overlay.

- The dwelling will be constructed to the assessed bushfire attack level, details of the construction requirements will be included within the building documents.



The proposed development is located on an allotment subject to the Airport obstacle limitation overlay.

- The proposed dwelling is located within safeguarding of airports (obstacle limitation area). The proposal complies with the height restriction requirements of this code.

It is our assessment that in all other aspects this proposed development complies with the requirements of the Tasmanian Planning Scheme.

Yours faithfully
Cunic.

A handwritten signature in black ink that reads "Parindi".

Parindi Mistry
Project Coordinator - Approvals

DA Plan Review and Submission Checklist

File Number: H1024

Address: Lot 47, 1 Pyrmont Road, Rokeby

Item to Check	Y/N/NA	Comments
Planning Context and Site Information		
Site boundaries are clearly shown	YES	
North point is included	YES	
Street frontage and adjoining lots are identified	YES	
Contours, slope, and key levels are shown	YES	
Existing buildings and structures on site are shown	NA	
Easements, rights of way, and restrictions are identified	YES	
Relevant planning zone under the Tasmanian Planning Scheme is identified	YES	
Applicable codes, overlays, or constraints are identified	YES	
Use and Development Standards		
Proposed use is permitted or capable of approval in the applicable zone	YES	
Number of dwellings is clearly identified	YES	
Front setback shown and is compliant	YES	
Side setbacks shown and are compliant	YES	RW length <9m on the South eastern boundary and complies.
Rear setback is shown and is compliant	YES	
Building height appears compliant	YES	
Building FFL <1m or setback >3m from boundaries	YES	
Site coverage appears compliant	YES	
Private open space provision is shown and complies	YES	
Any likely variation to acceptable solutions has been identified	YES	
3. Residential Amenity		
Dwelling orientation supports reasonable solar access	YES	
Building envelope shown on plans and complies	YES	
Overshadowing of adjoining properties appears acceptable	NA	
Overlooking and privacy impacts have been considered	YES	
Internal layout appears functional and liveable	YES	
Private open space is usable, accessible, and connected to living areas	YES	
Building bulk and scale are reasonably compatible with the surrounding area	YES	
4. Access, Parking and Movement		
Vehicle access location is clearly shown	YES	
Access arrangement appears safe and practical	YES	
Driveway gradients and widths appear workable and are shown	YES	
On-site manoeuvring is adequate where required	YES	
Number of parking spaces appears compliant	YES	
Pedestrian access to each dwelling is safe and clear	YES	
Driveway material is noted	YES	
Driveway retaining is shown and dimensioned	YES	
5. Site Constraints and Tasmanian Code Considerations		

Bushfire-prone area considerations have been identified where relevant	NA
Flood-prone or inundation constraints have been identified where relevant	NA
Coastal, landslip, or erosion risk constraints have been identified where relevant	NA
Biodiversity, vegetation, or significant tree constraints have been considered where relevant	NA
Heritage or local area character issues have been considered where relevant	NA
Waterway and coastal protection area have been considered where relevant	YES
Safeguarding of airports code have been considered where relevant	YES
Road and railway assets code have been cosidered where relevant	NA
Stormwater constraints and lawful point of discharge have been considered	YES
Potential retaining walls or significant earthworks are identified	NA
Retaining wall heights and materials shown	YES

6. Servicing and Infrastructure

Water and sewer servicing can be reasonably achieved	YES
Stormwater management concept has been considered	YES
Driveway drainage is shown	YES
Tanks have been noted, where required	NA
Electricity, telecommunications, and other utility servicing appear feasible	YES
Mail, waste, and service areas are appropriately located	NA

7. Documentation Quality and Approval Risk

Plans are legible and generally to scale	YES
Key dimensions and setbacks are shown	YES
Floor plans, site plan, and elevations are generally coordinated	YES
Elevations are correctly noted	YES
Major approval risks or non-compliances have been identified	NA
Further specialist input is identified where needed (e.g. bushfire, stormwater, traffic, geotech)	YES

PROPOSED NEW RESIDENCE

LOT 47, 1 PYRMONT ROAD

ROKEBY

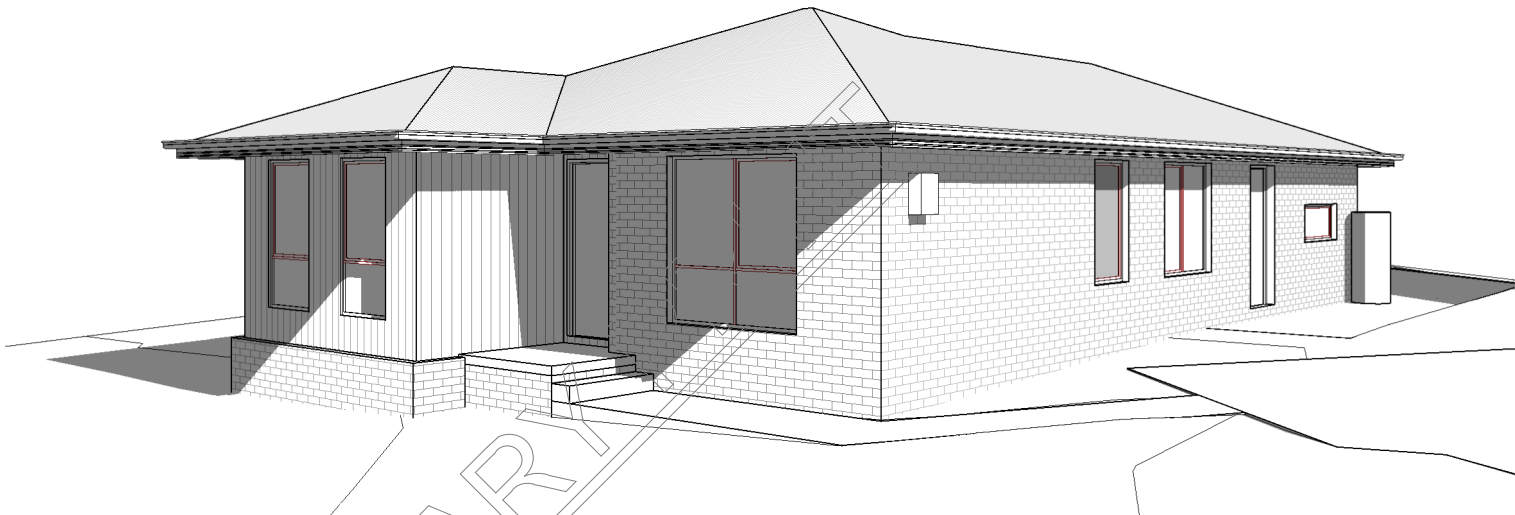
G. AMBLER

H1024

PD26321

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	CUT/FILL PLAN
04	LOCALITY PLAN
05	FLOOR PLAN
06	DOOR AND WINDOW SCHEDULES
07	ELEVATIONS
08	ELEVATIONS
09	ROOF PLAN
10	FLOOR FINISHES PLAN
11	ELECTRICAL/REFLECTED CEILING PLAN
12	PERSPECTIVES



GENERAL PROJECT INFORMATION
TITLE REFERENCE: 47/189872
SITE AREA: 452 m²
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: CLASS P
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: N/A
BAL RATING: BAL-LOW (TBC)
OTHER KNOWN HAZARDS: NONE KNOWN



FLOOR AREA 115.48 m2 (12.43 SQUARES)

NOT FOR CONSTRUCTION

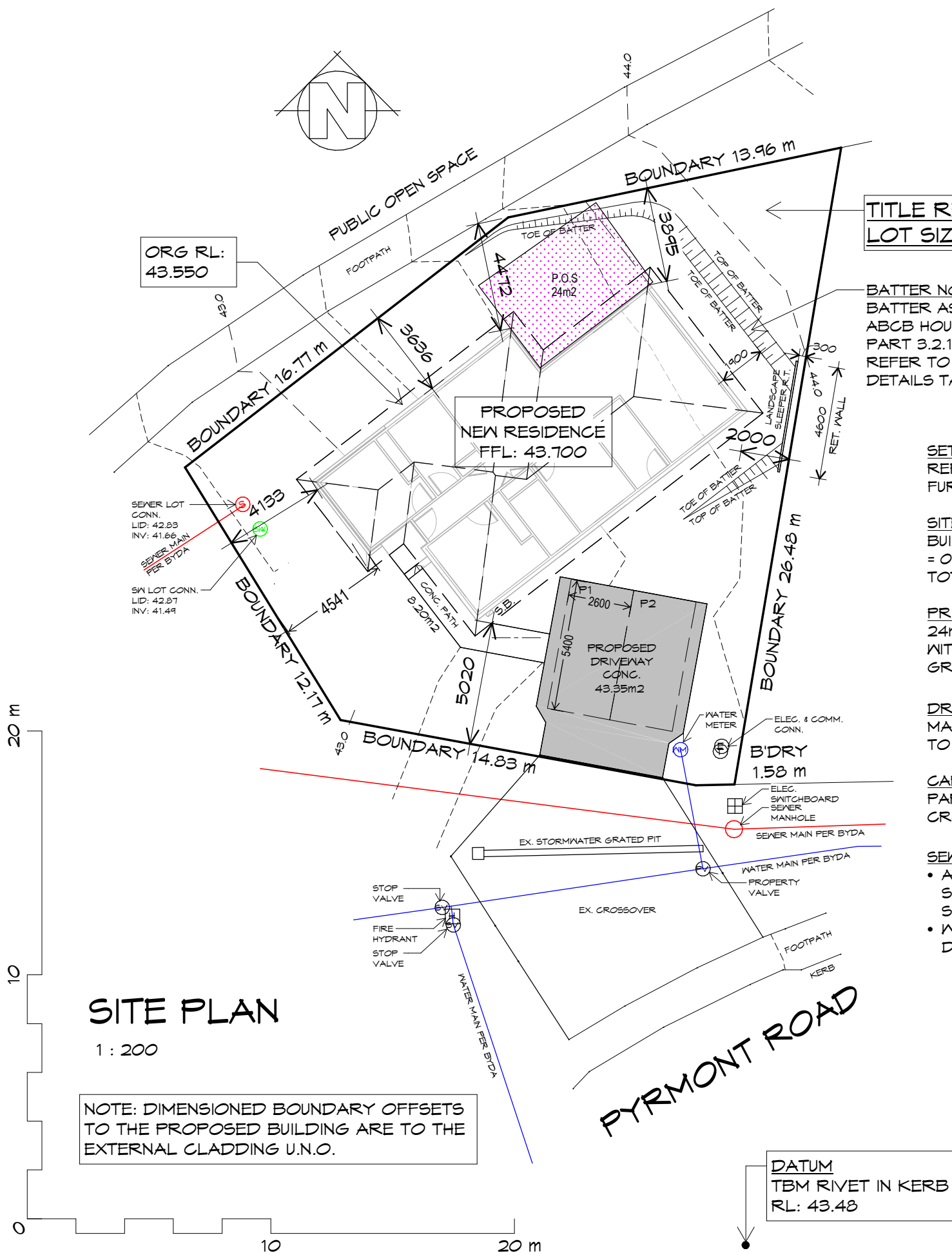
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Accredited Building Practitioner:
primedesigntas.com.au
Frank Geskus -No CC246A



AUGUST 2026
PLANNING



- GENERAL NOTES**
- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
 - WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
 - ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
 - ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
 - CONFIRM ALL FLOOR AREAS
 - ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
 - BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
 - ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
 - ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
 - IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
 - BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
 - BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
 - CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- SURVEY NOTES**
- THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES PTY LTD FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
 - SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER BYDA ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
 - THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.
 - HORIZONTAL DATUM: GDA2020 / VERTICAL DATUM: AHD83
 - BEARING DATUM: MGA2020
 - CONTOUR INTERVAL: 0.250m
- SETBACKS**
REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER DETAILS.
- SITE COVERAGE**
BUILDING FOOTPRINT 115.48 / SITE AREA 452.0
= 0.255
TOTAL SITE COVERAGE 25.5%
- PRIVATE OPEN SPACE**
24m² MINIMUM,
WITH A MINIMUM DIMENSION OF 4m
GRADIENT NO STEEPER THAN 1:10
- DRIVEWAY GRADIENT**
MAXIMUM GRADIENT 1:4 (25%)
TO AS 2890
- CAR PARKING GRADIENT**
PARALLEL TO PARKING ANGLE 1:20 (5%)
CROSSFALL 1:16 (6.25%)
- SEWER AND WATER SERVICES**
- ALL WORKS IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA AND TASWATER SUPPLEMENTS
 - WORKS TO BE DONE BY TASWATER AT DEVELOPERS COST

REV.	DATE	DESCRIPTION
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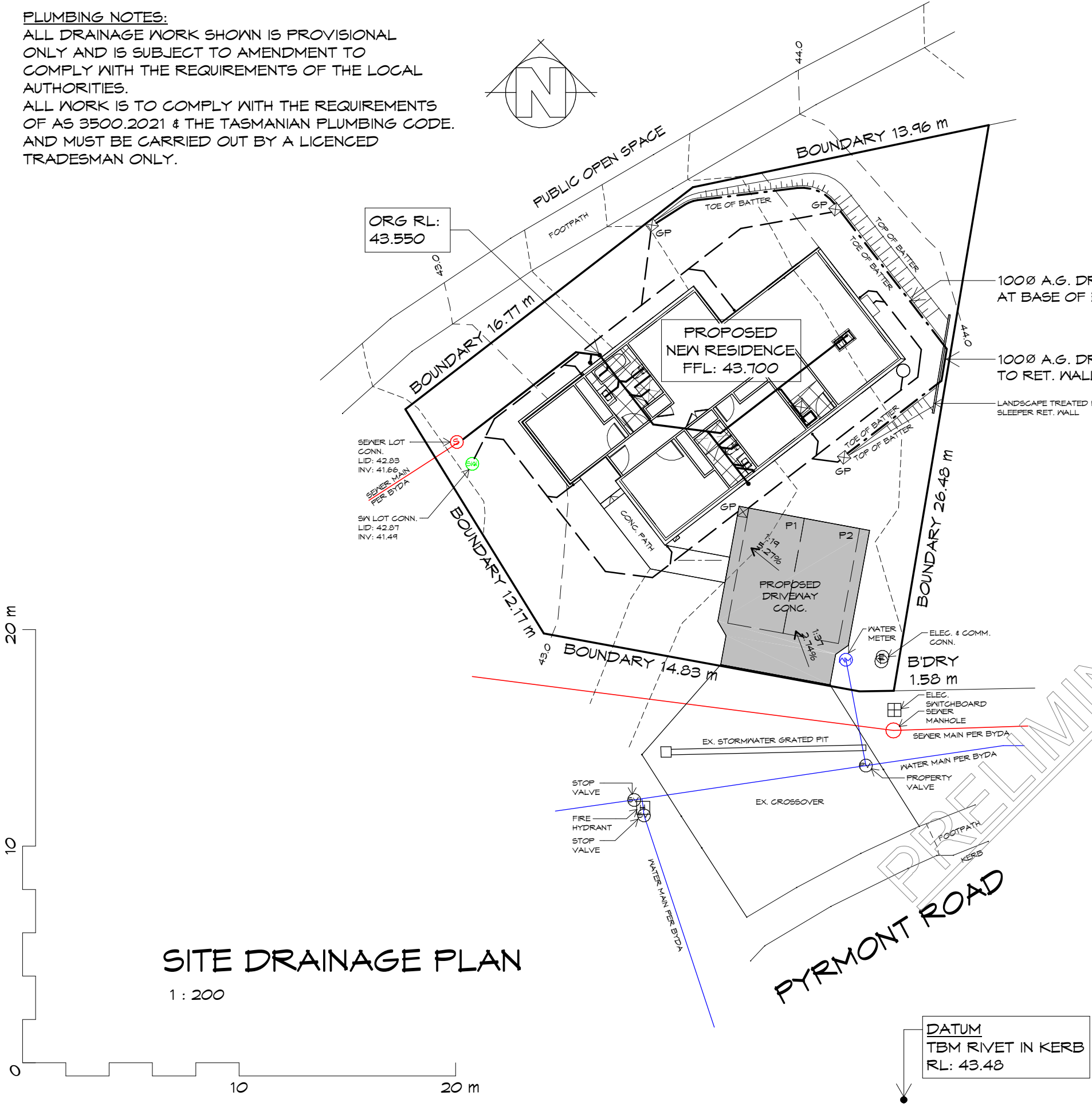
Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
SITE PLAN

Date: 18.08.2026	Drafted by: L.L./T.W.	Approved by: Approver
Project/Drawing no: PD26321 - 01	Scale: 1 : 200	Revision: 02
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THIS PROJECT HAS BEEN DETERMINED TO HAVE A BUSHFIRE ATTACK LEVEL (BAL) OF - BAL LOW
ALL CONSTRUCTION MUST COMPLY WITH AS3959.
THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

PLUMBING NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.



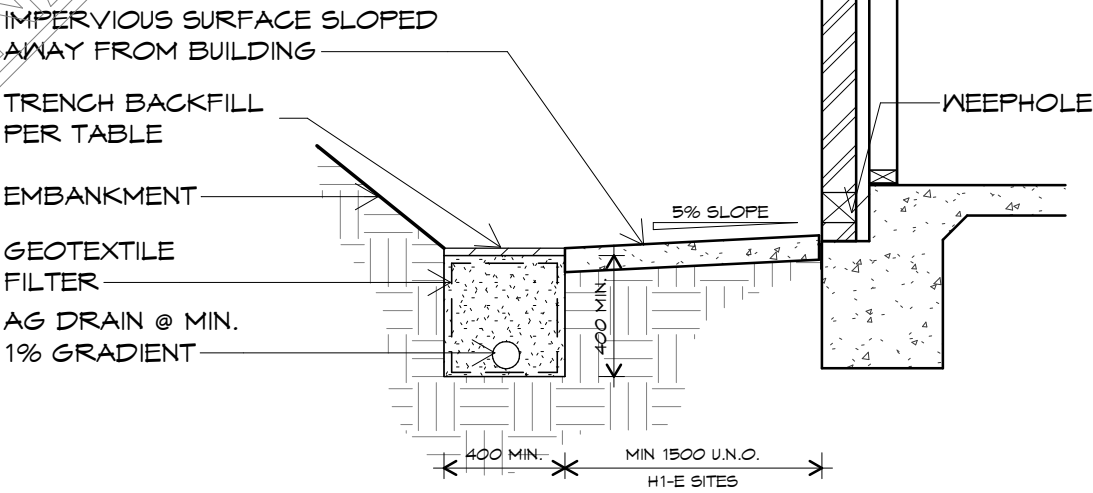
LEGEND

- GP 450X 450 SURFACE DRAINAGE PIT
- WET AREAS
- SEWER LINE
- STORMWATER LINE
- 100φ AG DRAIN
- G.T. 150mm GRATED TRENCH

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER ASNZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2

TRENCH BACKFILL PER SITE CLASS TO COMPLY WITH AS2870 PART 5.6.3

SOIL CLASS	BACKFILL MATERIAL
A-S	CRUSHED DRAINAGE ROCK
M-E	COMPACTED CLAY



SITE DRAINAGE PLAN
1 : 200



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Date: 18.08.2026
Drafted by: L.L./T.W.
Approved by: Approver

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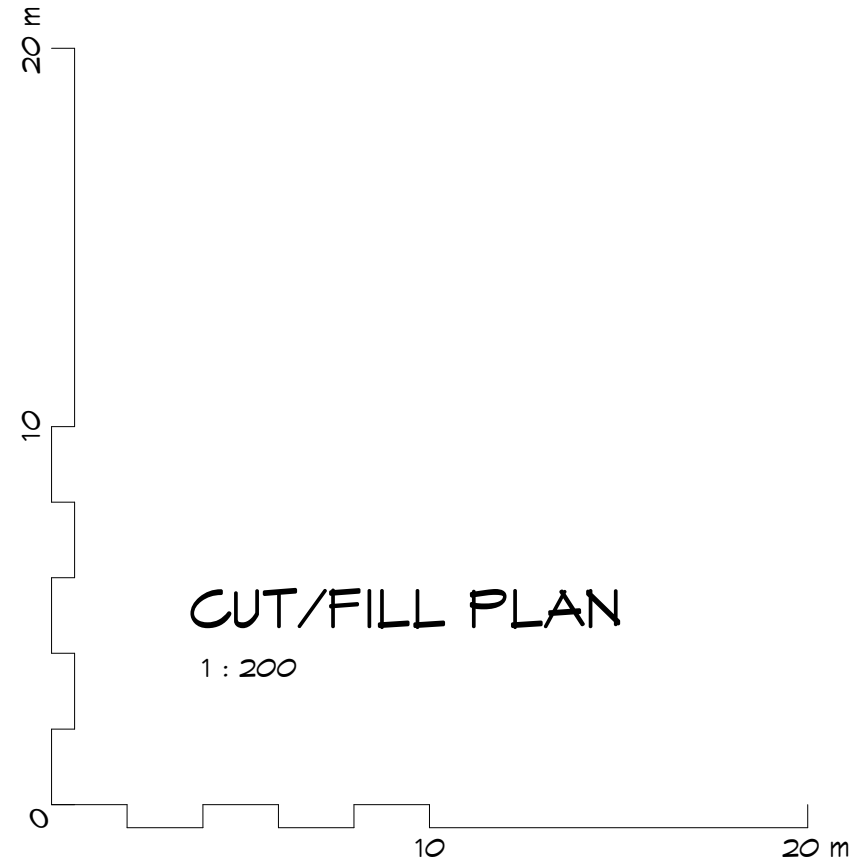
Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
SITE DRAINAGE PLAN

Date: 18.08.2026
Drafted by: L.L./T.W.
Approved by: Approver

Project/Drawing no: PD26321 - 02
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CUT/FILL SCHEDULE	
CUT VOLUME (m3)	FILL VOLUME (m3)
34.20	0.00

NOTE:
THE CUT AND FILL VOLUMES CALCULATED BY
REVIT ARE APPROXIMATE, GENERALLY
PROVIDING RESULTS WITH +/- 1% TO 2%
ACCURACY



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Date:	Drafted by:	Approved by:
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Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
CUT/FILL PLAN

Date:	Drafted by:	Approved by:
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PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD,
ROKEBY

LOCALITY PLAN
1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND FALLS WITHIN A **BUSHFIRE PRONE AREA**.
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.



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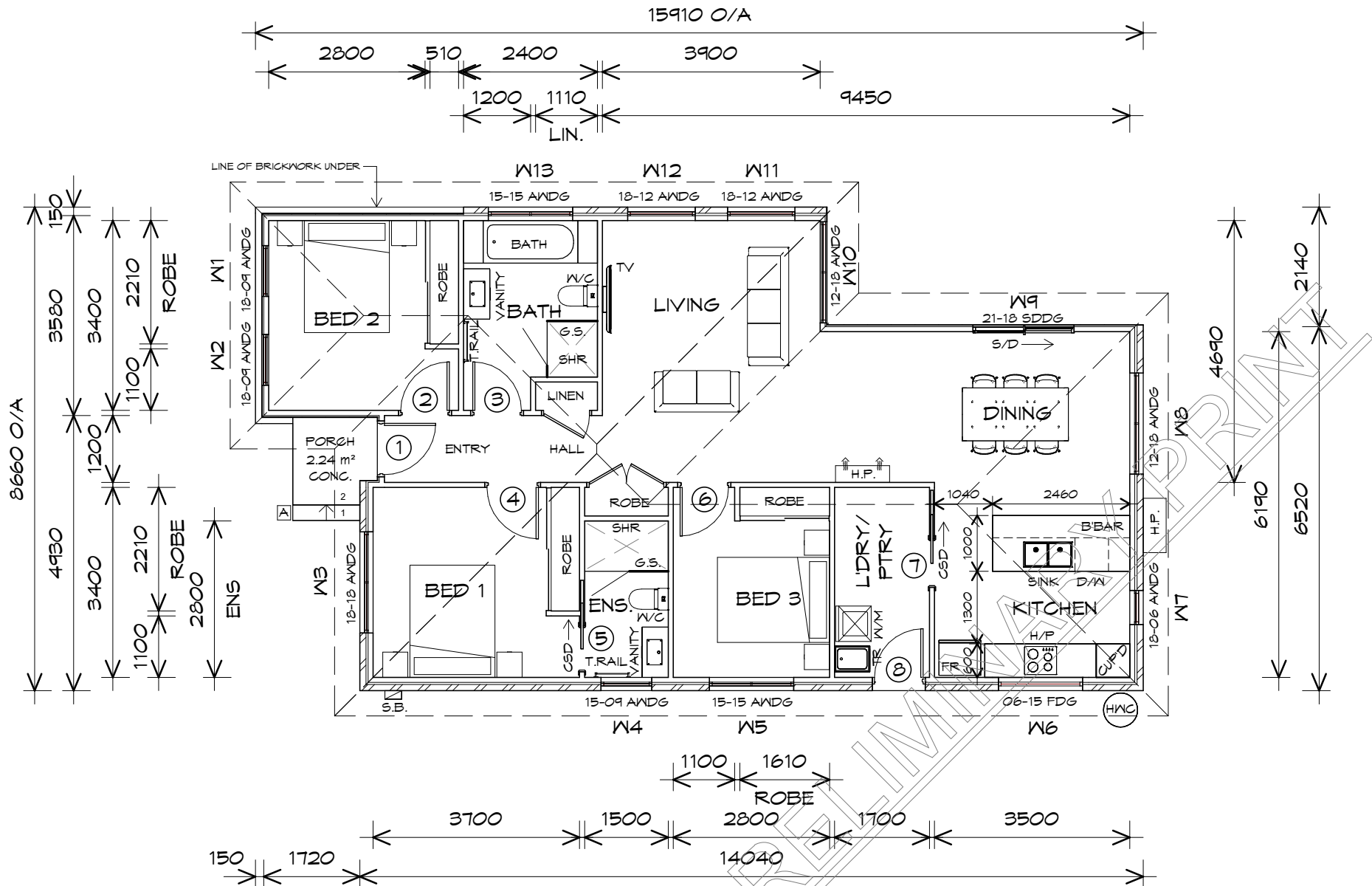
PLANNING
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Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
LOCALITY PLAN

LEGEND

- S/D SLIDING DOOR
- CSD CAVITY SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER



FLOOR PLAN

1 : 100

FLOOR AREA 115.48 m2 (12.43 SQUARES)

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED.
DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS			
STAIR	NO RISERS	RISER HT	TREAD DEPTH
A	2	180	280

NON SLIP TO COMPLY NCC 2022



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Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
FLOOR PLAN

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

REV. DATE DESCRIPTION

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	870	INTERNAL TIMBER DOOR	
3	870	INTERNAL TIMBER DOOR	
4	920	INTERNAL TIMBER DOOR	
5	820	CAVITY SLIDING DOOR	
6	870	INTERNAL TIMBER DOOR	
7	870	CAVITY SLIDING DOOR	
8	870	EXTERNAL SOLID DOOR	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	1800	1810	AWNING WINDOW	
W4	1500	910	AWNING WINDOW	OPAQUE
W5	1500	1510	AWNING WINDOW	
W6	600	1510	FIXED WINDOW	
W7	1800	610	AWNING WINDOW	
W8	1200	1810	AWNING WINDOW	
W9	2100	1810	SLIDING DOOR	
W10	1200	1810	AWNING WINDOW	
W11	1800	1210	AWNING WINDOW	
W12	1800	1210	AWNING WINDOW	
W13	1500	1510	AWNING WINDOW	OPAQUE

ALUMINIUM WINDOWS DOUBLE GLAZING WITH LOW REFLECTIVE GREY TINT COMPLETE WITH FLY SCREENS TO SUIT BAL TBC RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

PRELIMINARY PRINT



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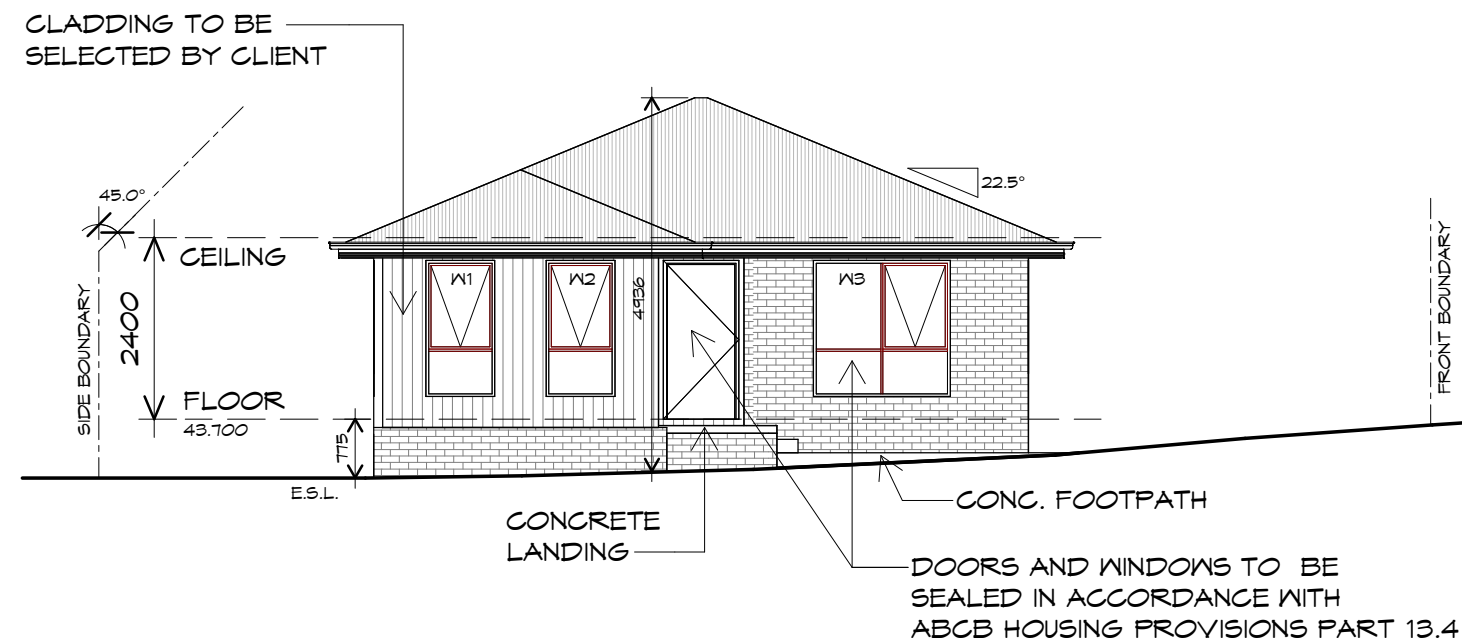
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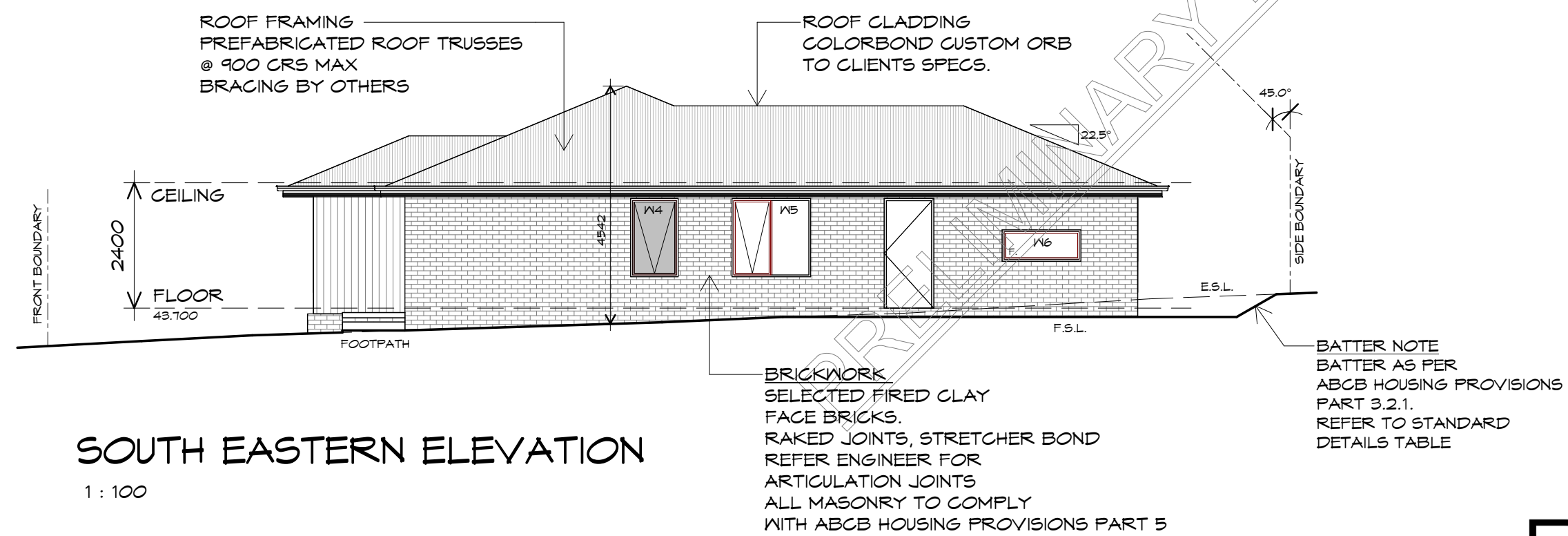
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Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
DOOR AND WINDOW SCHEDULES



SOUTH WESTERN ELEVATION
1 : 100



SOUTH EASTERN ELEVATION
1 : 100

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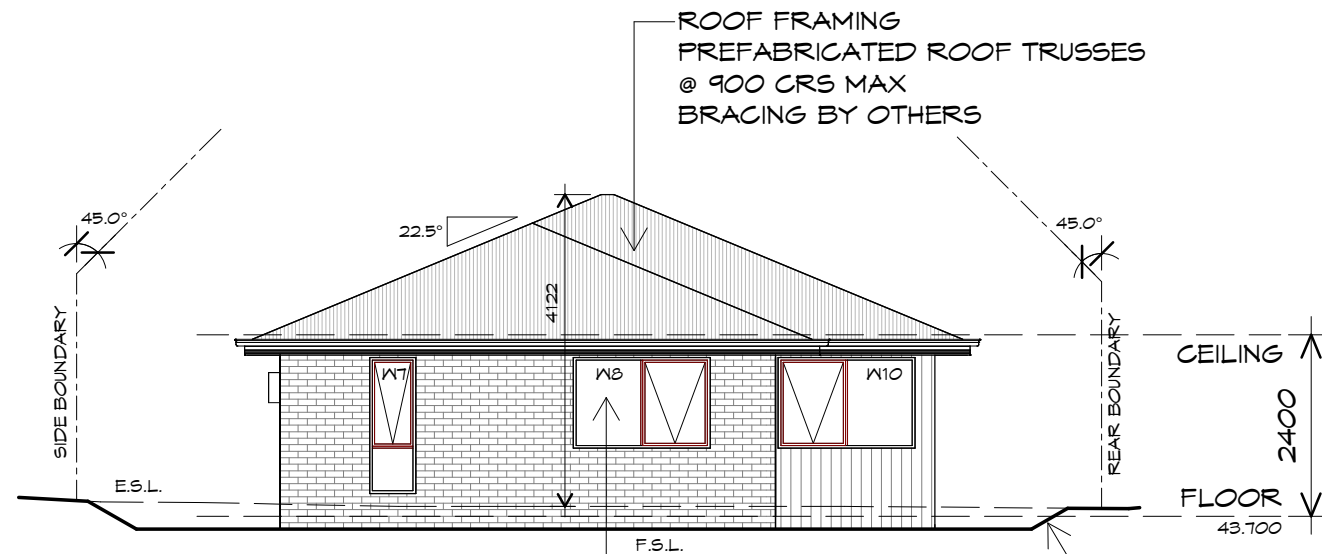
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Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
ELEVATIONS

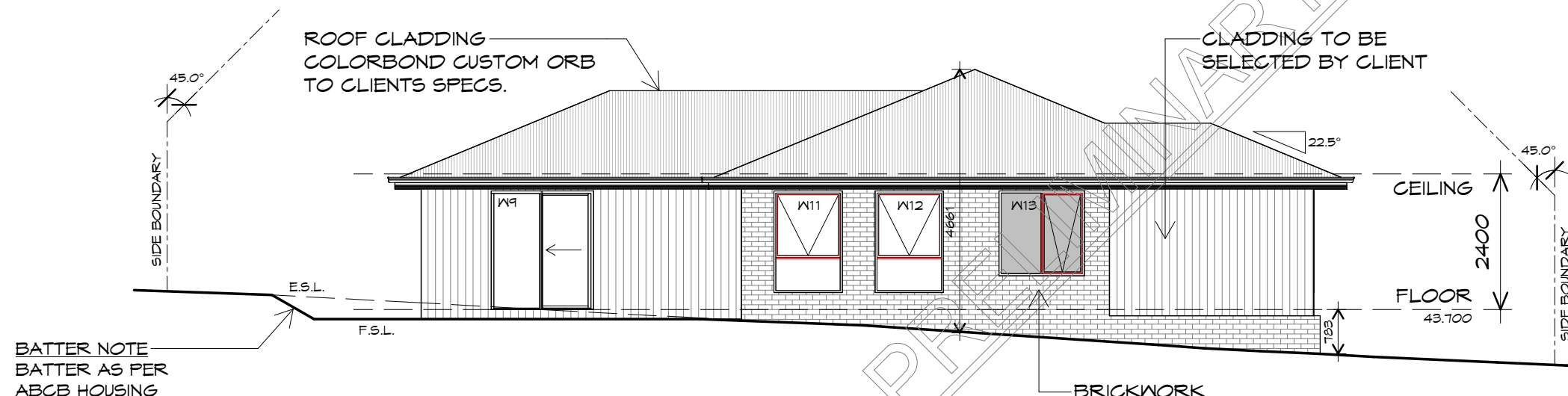


DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

BATTER NOTE
BATTER AS PER
ABCB HOUSING PROVISIONS
PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE

NORTH EASTERN ELEVATION

1 : 100



BATTER NOTE
BATTER AS PER
ABCB HOUSING
PROVISIONS PART 3.2.1.
REFER TO STANDARD
DETAILS TABLE

BRICKWORK
SELECTED FIRED CLAY
FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR
ARTICULATION JOINTS
ALL MASONRY TO COMPLY
WITH ABCB HOUSING PROVISIONS PART 5

NORTH WESTERN ELEVATION

1 : 100

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PLANNING

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Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
ELEVATIONS

Prime Design

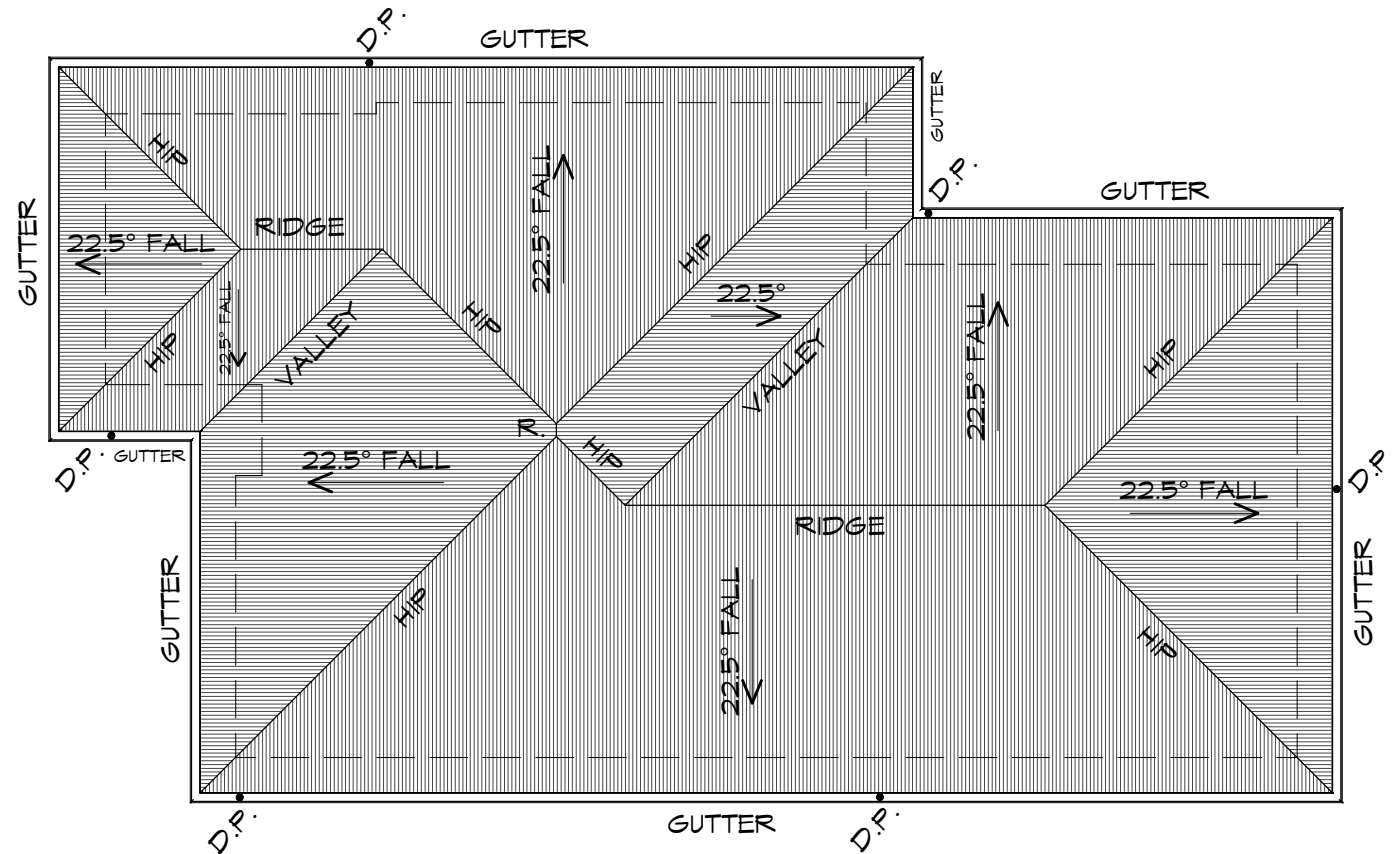
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ASSOCIATION OF AUSTRALIA

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ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER
BOX GUTTERS IN ACCORDANCE WITH
A533500.3:2021

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



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Approved by: Approver

Project/Drawing no: PD26321 - 09
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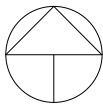
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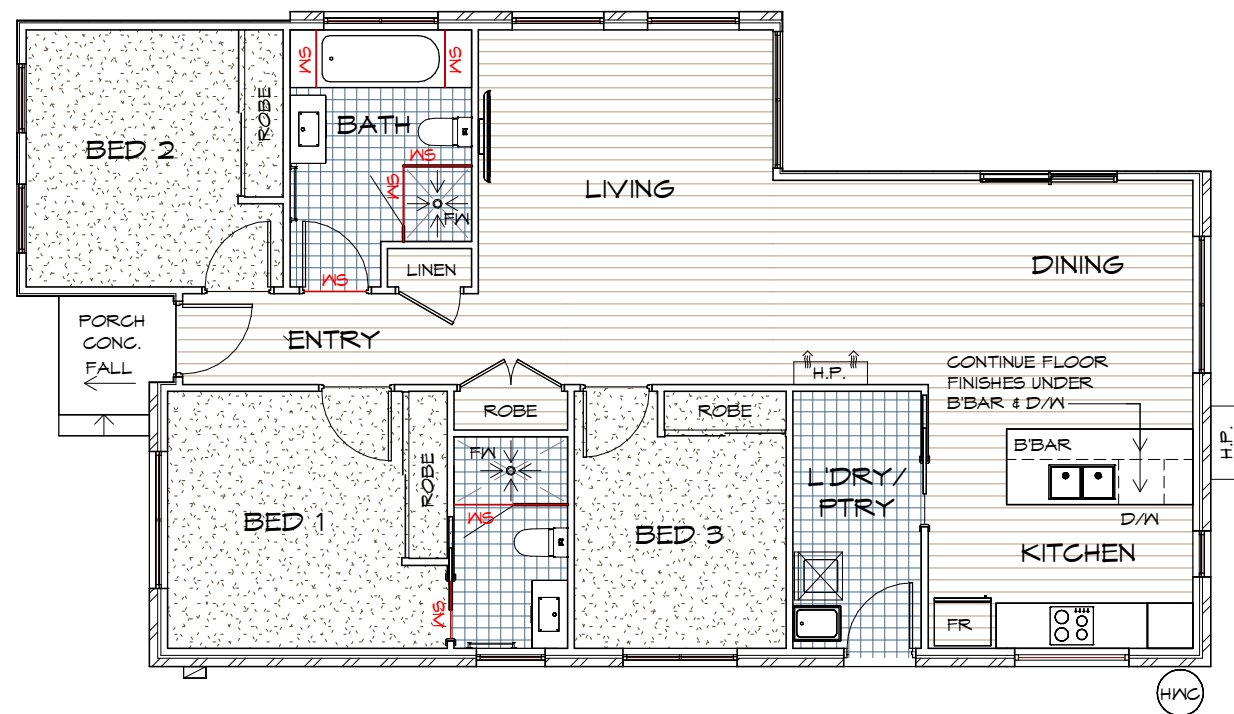
Client name:
G. AMBLER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
ROOF PLAN





LEGEND

- CARPET
- TILES
- HYBRID FLOORING
- WS WATERSTOP
- FW FLOOR WASTE

IMPORTANT NOTE:

- REFER TO WATERPROOFING DETAILS ON BDXX
- NO ALLOWANCE GIVEN FOR HANDHELD SPRAY DEVICES ON SHOWERS, BATH OR W/C'S U.N.O.

FLOOR FINISHES PLAN

1 : 100

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.



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Client name:
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PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
FLOOR FINISHES PLAN



Date:	Drafted by:	Approved by:
18.08.2026	L.L./T.W.	Approver

Project/Drawing no:	Scale:	Revision:
PD26321 - 10	1 : 100	02

Accredited building practitioner: Frank Geskus -No CC246A
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ELECTRICAL INDEX

LIGHTING

- FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
- L.E.D. - SEALED DOWN LIGHT *

*INSTALL AS PER MANUFACTURERS SPECIFICATION

HEATING

- HEAT PUMP
- HEAT PUMP, OUTDOOR UNIT

OTHER

- 240V SMOKE ALARM
- SWITCH BOX
- EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER

SWITCH TYPE

- ONE-WAY SWITCH
- TWO-WAY SWITCH

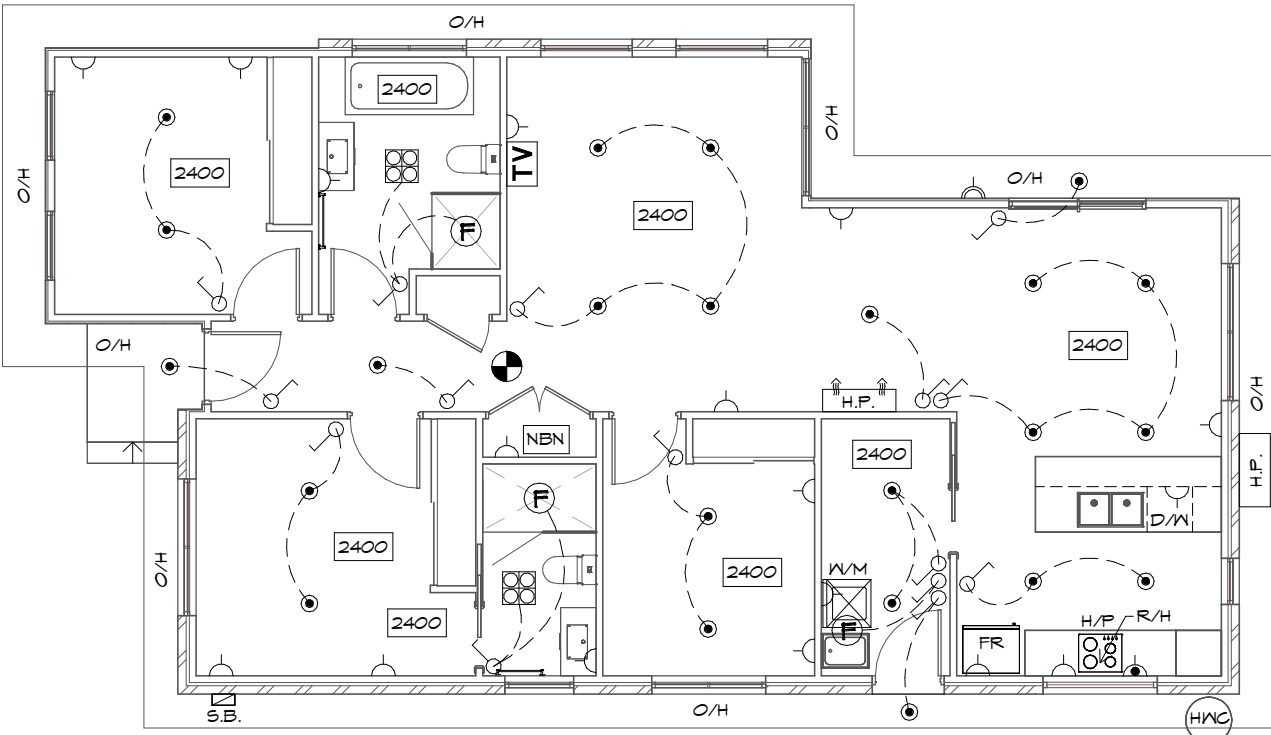
WALL OUTLETS

- GENERAL PURPOSE OUTLET (DOUBLE)
- WEATHER PROOF OUTLET
- HOTPLATE SAFETY CUT-OFF
- T.V. OUTLET

NOTE: POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

CEILING

- DENOTES CEILING HEIGHT
- ROOF OVERHANG/EAVES



ELECTRICAL/REFLECTED CEILING PLAN

1 : 100

IMPORTANT:
PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT.
IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

EXHAUST FANS

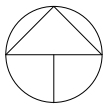
EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2

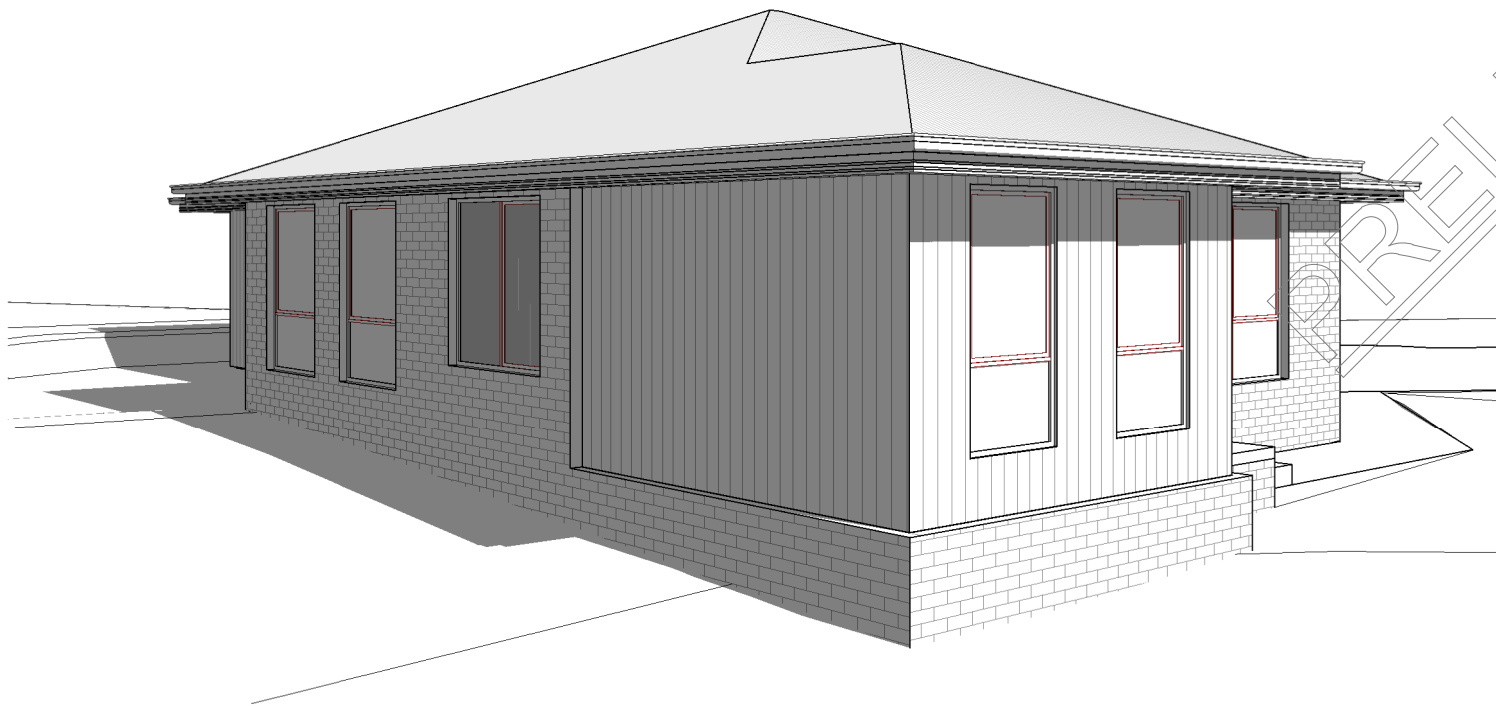
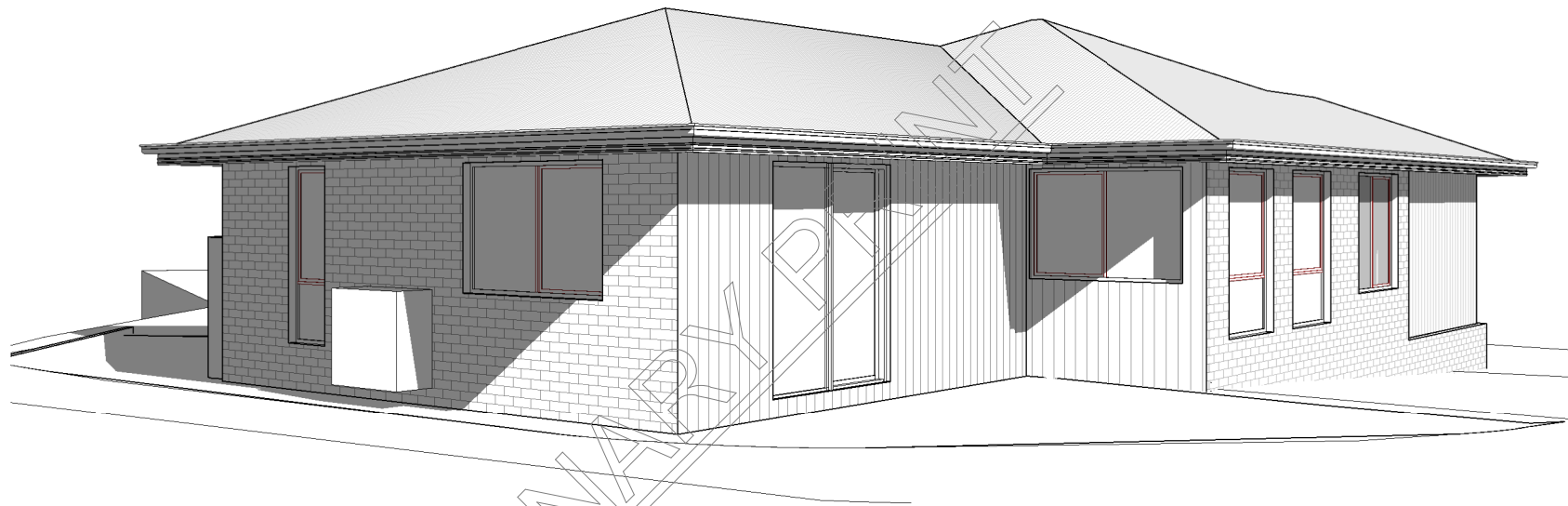
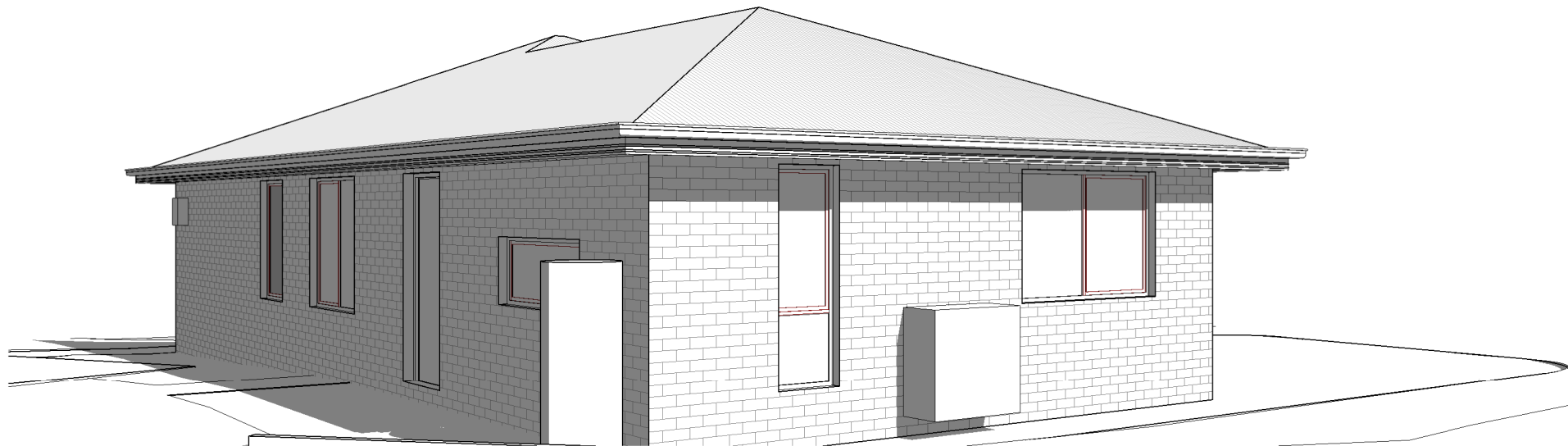
ARTIFICIAL LIGHTING
RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m2 FOR CLASS 1 BUILDING
- 4W/m2 FOR VERANDAHS & BALCONIES
- 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.





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REV.	DATE	DESCRIPTION
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Client name:
G. AMBLER

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

Project:
PROPOSED NEW RESIDENCE
LOT 47, 1 PYRMONT ROAD
ROKEBY

Drawing:
PERSPECTIVES